

LOT AREA = 108,912 SF

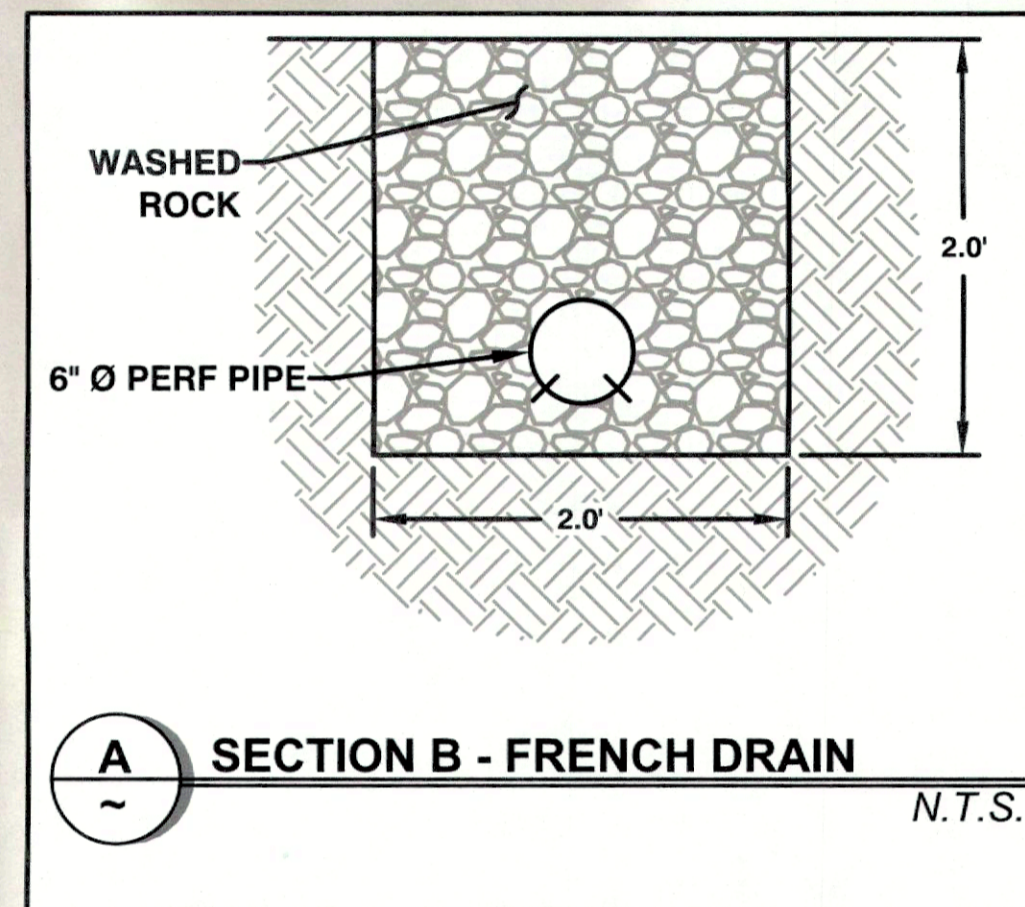
EXISTING IMPERVIOUS AREAS:

BUILDING (ROOF) FOOTPRINT =19,086 SF (17.5% OF LOT AREA)
ROAD AND PARKING LOT (ON-SITE) =40,719 SF (37.4% OF LOT AREA)
TOTAL EXISTING IMPERVIOUS =59,805 SF (54.9% OF LOT AREA)

PROPOSED IMPERVIOUS AREAS:

GRAVEL ADDITION =37,193 SF (34.1% OF LOT AREA)
TOTAL PROPOSED IMPERVIOUS =37,193 SF (34.1% OF LOT AREA)

TOTAL EXISTING (TO REMAIN) AND PROPOSED IMPERVIOUS SURFACES =96,998 SF (89.1% OF LOT AREA)



LOT 3
2' WIDE FRENCH DRAIN WITH 6" PERFORATED PIPE

PROPOSED GRAVEL AREA ADDITION & IMPROVEMENTS FOR SENSORLINK POLE YARD

PROPOSED 6" FRENCH DRAIN TO BE INSTALLED AT MIN. 1.5% SLOPE, TYP.

ALL PERIMETER GRADING IS TO BE SLOPED SO THAT RUNOFF WILL BE DIRECTED BACK TOWARDS PERIMETER DRAINS AS SHOWN. IN ADDITION, EXTERIOR EDGE OF GRAVEL SHALL BE THICKENED TO A MINIMUM DEPTH OF 4 INCHES AROUND ENTIRE PERIMETER OF GRAVEL AREA.

ALL STORMWATER RUNOFF FROM PROPOSED IMPROVEMENTS IS TO BE CAPTURED AS SHOWN AND ROUTED TO DOWNSTREAM TREATMENT AND DETENTION POND

PROPOSED 8" FRENCH DRAIN TO BE INSTALLED AT 1.0% SLOPE

"I HEREBY CERTIFY THAT THE IMPROVEMENTS IN SENSORLINK DEVELOPMENT HAVE BEEN INSPECTED BY AXE ENGINEERING AND TO THE BEST OF MY KNOWLEDGE, HAVE BEEN CONSTRUCTED IN CONFORMANCE WITH THE CITY OF FERNDAL MUNICIPAL CODE, SUBSEQUENT STANDARDS ADOPTED BY REFERENCE THEREIN, AND ENGINEERING PRACTICE."

3/11/2024

SENSORLINK POLE YARD:

THE SENSORLINK POLE YARD IS INTENDED TO BE A TRAINING FACILITY FOR THE SENSORLINK TEAM, AND AN AREA FOR PROVING MECHANICAL PRODUCT DESIGN, CURATING MARKETING CONTENT FOR EXISTING AND NEW PRODUCTS, AND TO CONDUCT PRODUCT DEMONSTRATIONS.

THIS OUTDOOR BUILD WILL INCLUDE 16 CLASS TWO WOODEN UTILITY POLES, SET AND STRUNG FROM EAST TO WEST AS SHOWN. EACH POLE AND SET ARE TO BE BUILT TO LOOK IDENTICAL TO A REAL-WORLD POLE SET AND WILL FOLLOW OVERHEAD DISTRIBUTION STANDARDS AND BEST PRACTICES. HOWEVER, THESE UTILITY POLES WILL NOT BE ENERGIZED, AND ARE FOR DISPLAY PURPOSES ONLY.

EXST. STORM DRAIN LINES ALREADY INSTALLED, TYP. (UNDISTURBED BY CURRENT PROJECT)

EXST. BUILDING

RURAL AVE

EXST. PARKING LOT

EXST. LANDSCAPING AREAS TO REMAIN, TYP.

STONEGATE WAY

EXST. 12" Ø PVC SD @ 1.0% (PER RECORD DWG INFO PROVIDED BY CITY)

EXST. TYPE 1 CB
RIM 38.40
INV. N 34.96 8" SD
INV. W 35.05 8" SD
INV. S 35.00 8" SD

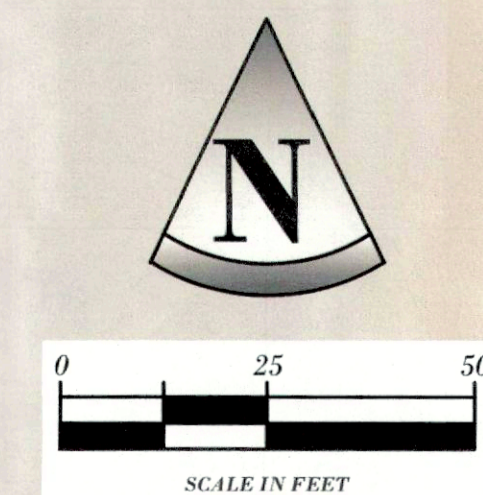
8,494 SF LOT 1A IMPERVIOUS AREA WITHIN STONEGATE WAY

2,514 SF OFFSITE IMPERVIOUS AREA WITHIN STONEGATE WAY CONTRIBUTING TO DOWNSTREAM 12-INCH PIPE @ 0.66% SLOPE

EXISTING STORMWATER CONVEYANCE SYSTEM

APPROVED

3/11/2024
CITY OF FERNDAL
PUBLIC WORKS DEPARTMENT



CALL BEFORE YOU DIG

Call: TOLL FREE

1-800-424-5555

RECORD DRAWING - 3/11/2024

AXE ENGINEERING SERVICES, LLC
"CUTTING THROUGH PROJECT BARRIERS"

ENGINEERING SERVICES
CIVIL - STORMWATER STRUCTURAL
axeengineering.com



FERNDAL, WA
SENSORLINK DEVELOPMENT
1360 STONEGATE WAY
POST-DEVELOPED BASIN PLAN

DATE: 3/11/2024
DESIGN: ELR
DRAWN: CJW
SCALE: AS SHOWN

PROJECT # 22045

SHEET # OF

Ex 1 REV #

REVISIONS
DATE
BY