5797 GOLDEN EAGLE DRIVE MULTI-FAMILY **ONSITE CIVIL & SHUKSAN STREET FRONTAGE IMPROVEMENTS**

BEING A PTN. OF THE NE 1/4 OF THE SW 1/4, SEC. 20, TWP. 39N., RGE. 2 E., W.M., CITY OF FERNDALE, WHATCOM COUNTY

LEGEND = EXISTING STORM DRAIN CATCH BASIN (TYPE I) = EXISTING OVERHEAD ELECTRIC LINES = EXISTING STORM DRAIN CATCH BASIN (TYPE 2) = EXISTING OVERHEAD UTILITES (UNKNOWN) # PROPOSED RAINLEADER/DOWNSPOUT PROPOSED STORM DRAIN CLEANOUT PROPOSED STORM DRAIN CATCH BASIN EXISTING SANITARY SEWER MANHOLE = EXISTING WATER VALVE # PROPOSED WATER METER BOX = PROPOSED FIRE HYDRANT # EXISTING POWER/AND OR UTILITY POLE **= EXISTING POWER METER/STRUCTURE** # EXISTING POWER VAULT = EXISTING POWER JBOX/HANDHOLD = EXISTING LIGHT POLE = PROPOSED SPOT ELEV @ TOP OF PAVEMENT = EXISTING UTILITY POLE # EXISTING LANDSCAPING = EXISTING GAS METER XXXX = DETAIL CALLOUT

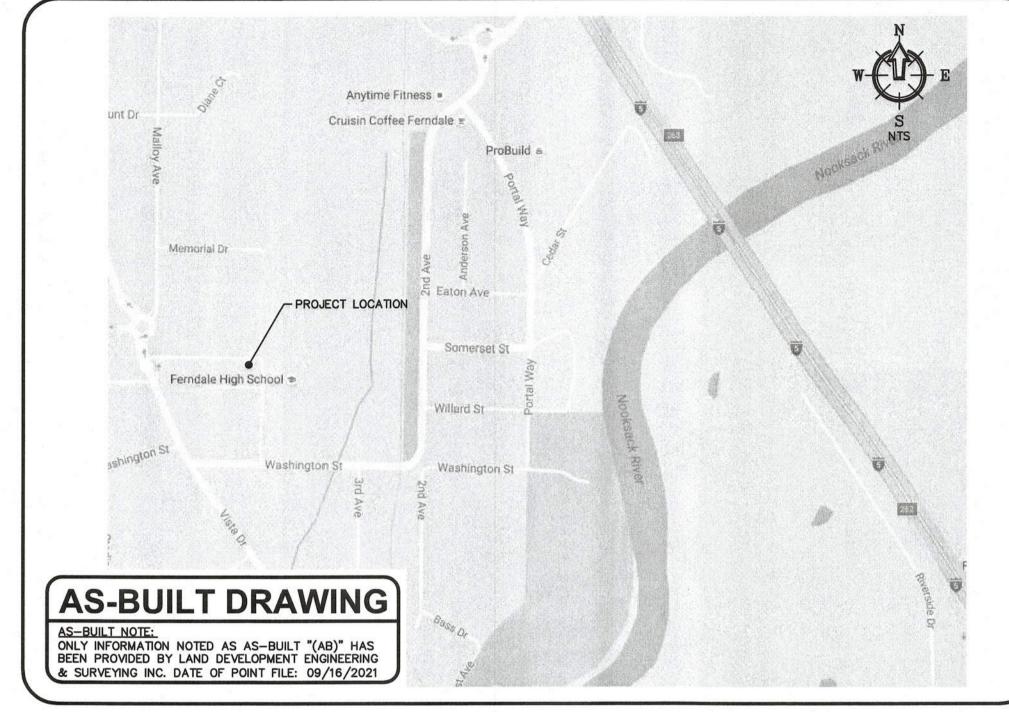
SHEET INDEX

- C1 **COVER SHEET** C2 **EXISTING CONDITION PLAN TEMPORARY EROSION & SEDIMENTATION**
- CONTROL PLAN **TEMPORARY EROSION & SEDIMENTATION**
- **CONTROL DETAILS & NOTES** WATER, SEWER & DRAINAGE PLAN
- **GRADING & PAVING PLAN** C7 SEWER DETAILS
- WATER DETAILS C9 DRAINAGE DETAILS
- **PAVING DETAILS**
- **ROAD FRONTAGE PLAN & PROFILE**

"I HEREBY CERTIFY THAT THE IMPROVEMENTS OF 5797 GOLDEN EAGLE DRIVE MULTI-FAMILY HAVE BEEN INSPECTED BY FREELAND & ASSOCIATES, INC. TO THE BEST OF MY KNOWLEDGE IMPROVEMENTS HAVE BEEN CONSTRUCTED II GENERAL CONFORMANCE WITH THE PLANS APPROVED BY PUBLIC WORKS DIRECTOR FOR SAID DEVELOPMENT, CITY OF FERNDALE DEVELOPMENT STANDARDS. THE CITY OF FERNDALE MUNICIPAL CODE, SUBSEQUENT STANDARDS ADOPTED BY

REFERENCE THÉREIN, AND STANDARD ENGINEERING PRACTICE.

VICINITY MAP



GENERAL NOTES

GENERAL REQUIREMENTS

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR ROAD. BRIDGE AND MUNICIPAL CONSTRUCTION, CURRENT EDITION AND THE CITY OF FERNDALE DEVELOPMENT STANDARDS AND SHALL BE SUBJECT TO APPROVAL BY THE CITY OF FERNDALE. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENT SHALL APPLY.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWS ALL PLANS AND OTHER CONSTRUCTION DOCUMENT'S APPROVED BY ALL OF THE PERMITTING AUTHORITIES. THROUGHOUT THE PERIOD OF CONSTRUCTION, CONTRACTOR SHALL COMPLY WITH THE THE TERMS OF ALL PERMITS.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING SUB-SURFACE CONDITIONS AND SOILS
- 4. THE SURVEYOR SHALL LAY OUT AND SET ANY CONSTRUCTION STAKES AND MARKS NEEDED TO ESTABLISH THE LINES, GRADES, SLOPES OR CROSS-SECTIONS AS SHOWN ON THE PLANS OR AS STAKED BY THE
- 5. THE CONTRACTOR SHALL PROTECT ALL PRIVATE AND PUBLIC UTILITIES FROM DAMAGE RESULTING FROM THE WORK. CONTRACTOR SHALL RESTORE ALL PRIVATE AND PUBLIC PROPERTY DISRUPTED BY THE PROJECT
- 6. WHEN THE CONTRACTOR CONSIDERS THE WORK PHYSICALLY COMPLETE AND READY FOR FINAL INSPECTION. THE CONTRACTOR SHALL REQUEST THAT CITY INSPECTOR SCHEDULE A FINAL INSPECTION. THE INSPECTOR WILL MAKE A FINAL INSPECTION AND NOTIFY THE CONTRACTOR IN WRITING OF ALL PARTICULARS IN WHICH THE FINAL INSPECTION REVEALS THE WORK INCOMPLETE OR UNACCEPTABLE. THE CONTRACTOR SHALL IMMEDIATELY TAKE SUCH CORRECTIVE MEASURES AS ARE NECESSARY TO REMEDY THE LISTED
- 7. BEFORE ANY CONSTRUCTION OR DEVELOPMENT ACTIVITY A PRE-CONSTRUCTION MEETING MUST BE HELD BETWEEN THE CONTRACTOR, OWNER, CITY ENGINEER AND PROJECT ENGINEER. (MINIMUM 3 DAYS PRIOR TO
- 8. A COPY OF THESE APPROVED PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS
- 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS. SAFETY DEVICES. PROTECTIVE EQUIPMENT, FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH AND SAFETY OF THE PUBLIC, AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK COVERED BY THE CONTRACTOR. ANY WORK WITHIN THE TRAVELED RIGHT-OF-WAY THAT MAY INTERRUPT NORMAL TRAFFIC FLOW SHALL REQUIRE AT LEAST ONE FLAGGER FOR EACH LANE OF TRAFFIC AFFECTED. ALL SECTIONS OF THE WSDOT STANDARD SPECIFICATIONS 1-07.23-PUBLIC CONVENIENCE AND
- 10. PROOF OF LIABILITY INSURANCE SHALL BE SUBMITTED TO THE CITY PRIOR TO THE PRE- CONSTRUCTION
- 11. NO WORK SHALL OCCUR BETWEEN 7:00 PM & 7:00 AM.
- 12. ALL HARD SURFACED PAVEMENTS MUST BE REPAIRED AT THE CLOSE OF EACH WORK DAY. THE REPAIRS CAN BE TEMPORARY WITH ASPHALT COLD MIX OR PERMANENT WITH HOT MIX ASPHALT OR CONCRETE. ALL REPAIRS SHALL BE ACCORDING TO CITY OF FERNDALE DRAWING R-11.
- 13. ALL WORK MUST BE INSPECTED BY A REPRESENTATIVE OF THE CITY OF FERNDALE ENGINEERING DIVISION, AND 24 HOURS NOTICE MUST BE GIVEN PRIOR TO STARTING WORK OR TO SCHEDULE INSPECTIONS IN ACCORDANCE WITH SECTION 302 OF THE DEVELOPMENT STANDARDS.
- 14. THE CONTRACTOR SHALL INFORM THE ENGINEER AND OBTAIN APPROVAL FROM THE CITY OF FERNDALE PUBLIC WORKS DIRECTOR OF ANY PROPOSED DEVIATION FROM THE APPROVED PLANS PRIOR TO CONSTRUCTION OF THE REVISED IMPROVEMENTS. THE CONTRACTOR SHALL KEEP RECORDS OF ALL DEVIATIONS AND SHALL FORWARD THEM TO THE ENGINEER AND TO THE CITY OF FERNDALE PUBLIC WORKS
- 15. AS-BUILT DATA SHALL BE PROVIDED TO THE CITY OF FERNDALE UPON COMPLETION OF CONSTRUCTION AND PROVIDED IN CITY OF FERNDALE DATUM-VERTICAL (NGVD 29) AND HORIZONTAL (NAD 83/91). CONTACT THE CITY FOR MORE INFORMATION ON SUBMITTAL REQUIREMENTS.
- 16. METHOD OF SURVEY, SURVEY DATA, AND SURVEY EQUIPMENT UTILIZED TO CREATE THE BASE MAP/EXISTING CONDITIONS ARE NOTED ON SHEET C2 OF THIS PLAN SET.

GENERAL REQUIREMENTS CONTINUED

= PROPOSED ASPHALT PAVEMENT

= PROPOSED CONCRETE

= 1-1/2" GRIND & OVERLAY

- 17. THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE. CALL 1-800-424-5555 FOR UTILITY LOCATE 48 HOURS PRIOR TO WORK, CONTRACT TO HOLD. THE CONTRACTOR SHALL NOTIFY THE ENGINEER PROMPTLY OF ANY CONFLICT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF ALL ADJACENT UTILITIES WHICH INCLUDE BUT ARE NOT LIMITED TO: WATER, SEWER, STORM SEWER, POWER, TELEPHONE, CABLE TV. IRRIGATION. AND STREET LIGHTING. SHALL RESTORE ALL PRIVATE AND PUBLIC PROPERTY DISTURBED BY THE PROJECT UPON COMPLETION
- 18. A REVOCABLE ENCROACHMENT PERMIT SHALL BE OBTAINED PRIOR TO COMMENCING WORK IN THE PUBLIC RIGHT-OF-WAY.
- GRAVEL BASES AND BALLAST MAXIMUM PARTICLE SIZE PASSING THE U.S. NO. 200 SIEVE SHALL NOT
- BALLAST, GRAVEL BASE AND CRUSHED SURFACING SHALL BE COMPACTED TO AT LEAST 95% OF ITS MAXIMUM DRY DENSITY.
- THE CONTRACTOR OR PROPONENT SHALL BE RESPONSIBLE FOR ALL COMPACTION TESTING. PRIOR TO IMPORTING OF MATERIAL FOR BASE AND CSTC THE CONTRACTOR SHALL PROVIDE EVIDENCE OF SATISFACTORY PASSING GRADING AND DEGRADATION TEST RESULTS TO THE ENGINEER.

BASES

- WHERE SHOWN ON THE PLANS, PAVEMENT MARKINGS SHALL BE OBLITERATED UNTIL BLEMISHES CAUSED BY THE PAVEMENT MARKING REMOVAL CONFORM TO THE COLORATION OF THE ADJACENT PAVEMENT.
- 2. SOIL RESIDUAL HERBICIDE SHALL BE PLACED WITHIN 24 HOURS OF PAVING.
- A TACK COAT OF ASPHALT SHALL BE APPLIED BETWEEN ALL COURSES OF ASPHALT.
- 4. ALL PAVEMENT REPAIR SHALL BE SAW-CUT BEFORE REMOVAL. AR-4000W SHALL BE APPLIED TO ALL EDGES OF EXISTING PAVEMENT.
- ASPHALT CONCRETE PAVEMENT SHALL NOT BE PLACED NOR COMPACTED DURING HOURS OF DARKNESS. 6. SUBGRADE SHALL BE CERTIFIED IN WRITTING BY THE ENGINEER PRIOR TO PAVING.

- ALL WORK AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF FERNDALE DEVELOPMENT STANDARDS, SECTIONS 702 AND 705 AND THE MOST RECENT VERSION OF WSDOT STANDARD SPECIFICATIONS.
- ALL BACKFILL SHALL BE IMPORTED GRAVEL AND SHALL CONFORM TO SECTION 2-09 OF THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION.
- ALL PIPE SHALL HAVE A MINIMUM COVER OF 3.0 FEET.

- 1. THE CONTRACTOR SHALL CLEAR, GRUB AND CLEAN UP THOSE AREAS SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL EXCAVATE AND GRADE TO THE ALIGNMENT, GRADE AND CROSS-SECTIONS SHOWN IN THE PLANS OR ESTABLISHED BY THE ENGINEER. IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL ENGINEERING STUDY.
- MAXIMUM DENSITY AND OPTIMUM MOISTURE FOR GRANULAR MATERIALS WILL BE DETERMINED USING ASTM D-1557 TEST METHOD.

EARTHWORK CONTINUED

THE UNSUITABLE MATERIAL NOT FIT FOR A SUB-GRADE SHALL BE EXCAVATED TO THE BOUNDARIES SET BY THE ENGINEER AND REPLACED WITH A SUITABLE BACKFILL MATERIAL.

- ALL PIPE AND APPURTENANCES SHALL BE LAID ON A PROPERLY PREPARED FOUNDATION IN ACCORDANCE WITH WSDOT 7-08. THIS SHALL INCLUDE LEVELING AND COMPACTING THE TRENCH BOTTOM, THE TOP OF THE FOUNDATION MATERIAL AND ANY REQUIRED PIPE BEDDING, TO A UNIFORM GRADE SO THAT THE ENTIRE PIPE IS SUPPORTED BY A UNIFORMLY DENSE UNYIELDING BASE.
- ALL DRAINAGE STRUCTURES, SUCH AS CATCH BASINS AND MANHOLES, NOT LOCATED WITHIN A TRAVELED ROADWAY OR SIDEWALK, SHALL HAVE SOLID LOCKING LIDS. ALL DRAINAGE STRUCTURES ASSOCIATED WITH A PERMANENT RETENTION/DETENTION FACILITY SHALL HAVE SOLID LOCKING LIDS.
- 3. ALL CATCH BASIN GRATES SHALL INCLUDE THE STAMPING "OUTFALL TO STREAM, DUMP NO POLLUTANTS".
- ALL DRIVEWAY CULVERTS LOCATED WITHIN THE RIGHT-OF-WAY SHALL BE OF SUFFICIENT LENGTH TO PROVIDE A MINIMUM 3:1 SLOPE FROM THE EDGE OF THE DRIVEWAY TO THE BOTTOM OF THE DITCH. CULVERTS SHALL HAVE BEVELED END SECTIONS PER WSDOT
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE LOCATIONS OF ALL STUB-OUT CONVEYANCE LINES WITH RESPECT TO THE UTILITIES (E.G. POWER, GAS, TELEPHONE, TELEVISION).

SANITARY SEWER

- ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIRFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCITON, CURRENT EDITION AND THE CITY OF FERNDALE DEVELOPMENT STANDARDS SECTON 5 AND SHALL BE SUBJECT TO APPROVAL BY THE CITY OF FERNDALE.
- FOUR INCH THROUGH TWELVE-INCH PIPE SHALL BE PVC PIPE CONFORMING TO ASTM D-3034, SDR-35 OR EQUAL. PIPE JOINTS SHALL BE MADE WITH FLEXIBLE GASKETS CONFOMING TO THE REQUIREMENTS OF SECTION 7-17.3G (2)E OF THE STANDARD SPECIFICATIONS.
- 3. TRENCH EXCAVATION SHALL BE ACCORDING TO SECTION 7-08.3(1) OF THE STANDARD SPECIFICATIONS.
- THE BEDDING SHALL BE PEA GRAVEL PER SS-1.
- 5. PIPE LAYING SHALL MEET THE REQUIREMENTS OF SECTION 7-08.3(2)B OF THE STANDARD SPECIFICATIONS.
- ALL SIDE SEWERS SHALL BE CONSTRUCTED ACCORDING TO THE CITY OF FERNDALE STANDARD PLAN SS-6 THROUGH SS-8. CONNECT SIDE SEWERS PER COF DWG SS-12.
- 7. ALL TRENCH BACKFILL UNDER EXISTING OR FUTURE PAVING SHALL BE BANK RUN GRAVEL, CLASS "B"
- AND SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY.
- 8. ALL SEWER PIPE WILL BE PRESSURE TESTED PRIOR TO ACCEPTANCE BY THE CITY OF FERNDALE.
- 9. ALL CLEANOUTS SHALL BE ACCORDING TO CITY OF FERNDALE STANDARD PLAN NO. SS-5.
- 10. ALL HARD SURFACED PAVEMENTS MUST BE REPAIRED AT THE CLOSE OF EACH WORK DAY. THE REPAIRS CAN BE TEMPORARY WITH ASPHALT COLD MIX OR PERMANENT WITH HOT MIX ASPHALT OR CONCRETE.
- 11. ALL WORK MUST BE INSPECTED AND APPROVED BY A REPRESENTATIVE OF THE CITY OF FERNDALE PUBLIC WORKS, AND 24 HOURS NOTICE MUST BE GIVEN PRIOR TO STARTING WORK OR TO SCHEDULE INSPECTIONS. 13. ALL TESTING SHALL BE DONE IN THE PRESENCE AND UNDER THE SUPERVISION OF A REPRESENTATIVE OF THE CITY OF FERNDALE.

POTHOLING NOTE

POTHOLING EXISTING SERVICES IS REQUIRED PRIOR TO CONSTRUCTION TO VERIFY DESIGN FEASIBILITY. THE CITY DOES NOT GUARANTEE THAT THE AS-BUILT INFORMATION PROVIDED ON THE CITY DATA BASE IS ACCURATE AND WILL NOT BE HELD RESPONSIBLE IF FIELD MODIFICATIONS AND/OR ADDITIONAL COSTS ARE REQUIRED BECAUSE POTHOLING WAS NOT DONE PRIOR TO DESIGN.

PROJECT INFORMATION

OWNER GALLANT TRUST AUSTIN GALLANT 2310 BROWN ROAD FERNDALE, WASHINGTON 98248

(208) 757-3187

NOT IN CONTRACT

CIVIL ENGINEER FREELAND & ASSOCIATES, INC. MILES MCEATHRON, PE 220 W. CHAMPION ST., SUITE 200

BELLINGHAM, WA 98225 mmceathron@freelandengineering.com (360) 650-1408

SURVEYOR CHRISTIE & CHRISTIE LAND SURVEYING 222 GRAND AVENUE, SUITE #D christiesa@hotmail.com

ARCHITECT LIBOLT RESIDENTIAL DRAFTING CLYDE LIBOLT 110 PARK VIEW DRIVE LYNDEN, WA 98264

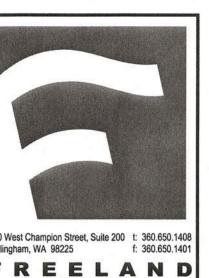
(360) 933-1105

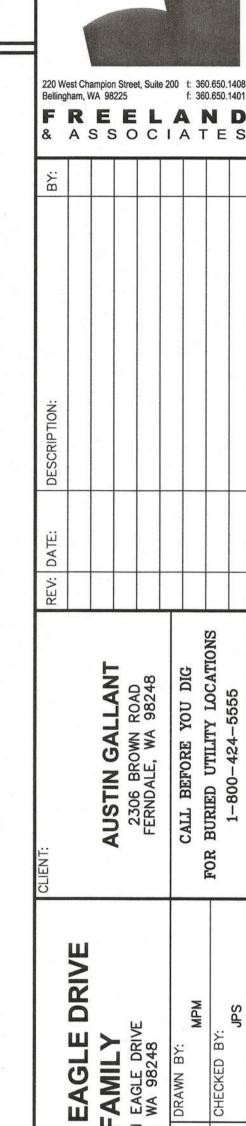
liboltrd@comcast.net

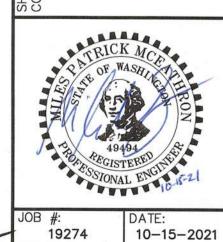
ABBREVIATIONS

ADD	SKEVIATIONS					8 k
1'/1"	ONE FOOT/ONE INCH	N	NORTH		GOLD	FERNI
AĆ	ACRE	No./#	NUMBER			5
AD	ABSOLUTE VALUE OF THE ALGEBRAIC	O.C. "	ON CENTER		I	1 =
	GRADE DIFFERENCE	PC	POINT OF CURVATURE			
AF#	GRADE DIFFERENCE AUDITORS FILE NUMBER APPROXIMATE	PCL	PARCEL			DRAWING #:
APPROX	APPROXIMATE	PERF	PERFORATED			₩ 0
ASB/AB	AS-BUILT	PI	POINT OF INTERSECTION		LZ.	(2 m
ASPH	ASPHALT	PIV	POST INDICATOR VALVE		02	žĶ
BLDG	BUILDING	POB	POINT OF BEGINNING		25 43	× 4
BMP	BEST MANAGEMENT PRACTICE	PP	POWER POLE		88	2 ₹
BNDRY	BOUNDARY	PROP	PROPERTY		PROJECT LOCATION: 579	□ 5
BVCS	BEGINNING OF VERTICAL CURVE STATION	K	LENGTH OF VERTICAL CURVE PER			
BVCE	BEGINNING OF VERTICAL CURVE		PERCENT GRADE DIFFERENCE			
ELEVATION	COMPACT PARKING CTAIL	PT/POT	POINT OF TANGENCY			
C	COMPACT PARKING STALL	PVC	POLYVINYL CHLORIDE			
CC	CURB CUT	PVI	POINT OF VERTICAL INFLECTION			
CB	CATCH BASIN CENTERLINE	PWR	POWER			
CL CMP	CORRUGATED METAL PIPE	R R	RADIUS			
CNTRL	CONTROL	R/C RCP	REBAR WITH CAP REINFORCED CONCRETE PIPE		l 1	
CO	CLEANOUT	RET	RETAINING		i .	Ш
COR	CORNER	RIM	RIM		1 1	Ш
CPP	CORRUGATED POLYETHYLENE PIPE	ROW	RIGHT-OF-WAY			SHEEL
CONC	CONCRETE	RPP	REDUCED PRESSURE PRINCIPAL		1 7	20
CSTC	CRUSHED SURFACING TOP COURSE	RR	RAILROAD			
CULV	CULVERT	S	SOUTH			r
Ø	DIAMETER	SAN	SANITARY		1 !	ш
DEMO	DEMOLITION	SCH	SCHEDULE		1	COVER
DI	DUCTILE IRON	SD	STORM DRAIN		1 (O
DWGS	DRAWINGS	SDCB	STORM DRAIN CATCH BASIN		1 (
E	EAST	SDCO	STORM DRAIN CLEANOUT			
EA	EACH	SDMH	STORM DRAIN MAN HOLE		ii	
EL/ELEV	ELEVATION	SERV	SERVICE		SHEET CONTENTS:	
ENC	REVOCABLE ENCROACHMENT PERMIT	STND/STD	STANDARD		⊢ ₩	
EP/EOP ESMT	EDGE OF PAVEMENT EASEMENT	SSCO	SANITARY SEWER		띮늗	
EVCS	END OF VERTICAL CURVE STATION	SSMH	SANITARY SEWER CLEANOUT SANITARY SEWER MANHOLE		I O	
EVCE	END OF VERTICAL CURVE ELEVATION	ST	STREET		0,0	
EX/EXIST	EXISTING	ТВМ	TEMPORARY BENCH MARK		200	
FDC	FIRE DEPARTMENT CONNECTION	TC	TOP OF CURB		ARTIC	V
FFE/FF	FINISH FLOOR ELEVATION	TEL/TELE	TELEPHONE		TRIC	A MCA
FG	FINISH GRADE	TESC	TEMPORARY EROSION &		Q P OF	WASHIN
FH	FIRE HYDRANT	.200	SEDIMENTATION CONTROL	- 5	38/50/1	A CXT
FND	FOUND	TP	TOP OF PAVEMENT		33/5-/66	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
GND	GROUND	TS	TOP OF SIDEWALK		1 2 // // ±	
GUTT	GUTTER	TW	TOP OF WALL		JEN VIEW	
HP	HIGH POINT	TYP	TYPICAL DODOVED		Mar	
INV	INVERT	UG	UNDERGROUND	22	1 2 A 49	494
IE/I.E.	INVERT ELEVATION	VC	VERTICAL CURVE		FEGIS	TERED TERED
IRRIG	IRRIGATION	VEG	VEGETATION 1/9 2021		SION	AL ENG
LF	LINEAR FOOT	W	WEST 1 1 1 1		MA	1000
L.S.	LAND SURVEYOR	WA	WATER WITHING KEN			-
MAX	MAXIMUM	W/IN WSDOT			JOB #:	DATE:
MIN	MINIMUM	WSDOT	WASHINGTON STATE DEPARTMENT	12	19274	10-15-

OF TRANSPORTATION MENT



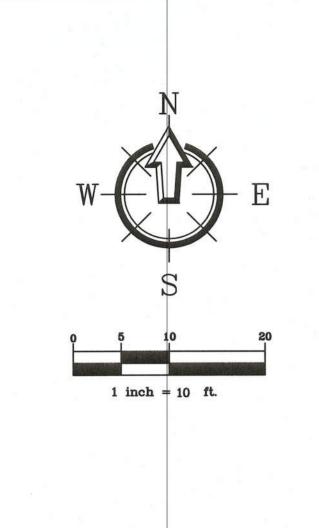


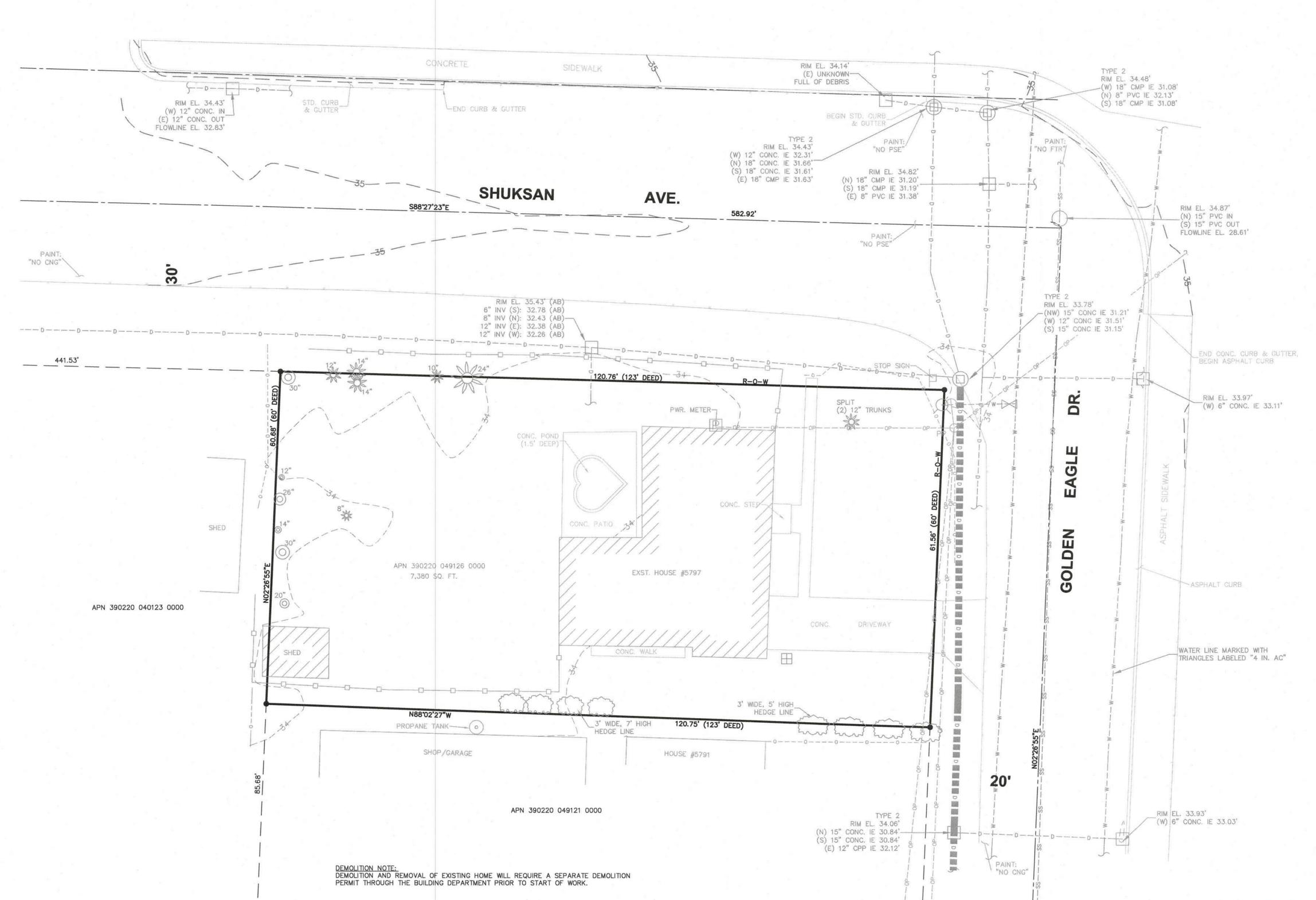


HORIZ: N/A VERT: N/A

220 West Champion Street, Suite 200 t: 360.650.1408 Bellingham, WA 98225 f: 360.650.1401

FREELAND & ASSOCIATES





APPROVED

AS-BUILT DRAWING AS-BUILT NOTE:
ONLY INFORMATION NOTED AS AS-BUILT "(AB)" HAS
BEEN PROVIDED BY LAND DEVELOPMENT ENGINEERING

& SURVEYING INC. DATE OF POINT FILE: 09/16/2021

19274 10-15-2021 SCALE: HORIZ: 1"=10' VERT: N/A

SURVEYOR'S NOTES

ELEVATION DATUM

LEGAL DESCRIPTION

DESCRIBED AS FOLLOWS, TO-WIT:

GENERAL STATEMENTS

1. PURPOSE: CIVIL ENGINEERING DESIGN

SITUATE IN WHATCOM COUNTY, WASHINGTON.

1. BASIS OF BEARINGS: CITY OF FERNDALE MONUMENT NETWORK; REFER TO R.O.S. A.F. NO. 1507849.

A TRACT OF LAND SITUATE IN THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 20, TOWNSHIP 39 NORTH, RANGE 2 EAST OF W.M., MORE PARTICULARLY

COMMENCING AT A POINT 1340.3 FEET SOUTH OF THE QUARTER CORNER POST BETWEEN SECTIONS 19 AND 20, SAID TOWNSHIP AND RANGE; THENCE EAST 565 FEET TO THE WEST LINE OF SCHOOL STREET; THIS POINT IS THE BEGINNING OF THE LAND HEREIN CONVEYED; THENCE SOUTH ALONG SCHOOL STREET TO FEET; THENCE SOUTH ALONG SCHOOL STREET TO FEET;

THENCE NORTH 60 FEET; THENCE EAST 123 FEET TO THE POINT OF BEGINNING; EXCEPT

GOLDEN EAGLE DRIVE ALONG THE EASTERLY BOUNDARY THEREOF.

2. CONTOURS WERE DERIVED FROM DIRECT FIELD OBSERVATIONS.

3. THIS MAP COMPLIES WITH NATIONAL MAP ACCURACY STANDARDS.

NGVD 29; USED CITY OF FERNDALE MON. I.D. NO. 341, EL. 42.70'

LOCATED AT AN ANGLE POINT ON VISTA DRIVE (AS SHOWN).

4. UNDERGROUND UTILITIES SHOWN ARE BASED UPON FIELD MEASUREMENT OF SURFACE MARKINGS BY OTHERS.

5. UNDERGROUND UTILITIES WERE MARKED WITHIN PUBLIC R-O-W ONLY, AND THIS MAP DOES NOT PURPORT TO SHOW ALL U.G. UTILITIES ON PRIVATE PROPERTY, IF ANY.

- 2. THIS SURVEY WAS PERFORMED ON JANUARY 31 & FEBRUARY 5 & 7, 2020. ALL MONUMENTS SHOWN HEREON WERE
- VISITED DURING THE COURSE OF THIS SURVEY, UNLESS OTHERWISE NOTED.
- 3. ANGULAR AND LINEAR MEASUREMENTS WERE PERFORMED USING A 5-SECOND PENTAX PTS-V5 TOTAL STATION.
- 4. PROCEDURES USED IN THIS SURVEY MEET OR EXCEED STANDARDS SET FORTH BY W.A.C. 332-130-090.
- 5. THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND DOES NOT PURPORT TO SHOW ANY OR ALL EASEMENTS, COVENANTS, RESTRICTIONS AND/OR AGREEMENTS THAT A CURRENT TITLE REPORT MIGHT REVEAL.

220 West Champion Street, Suite 200 t: 360.650.1408

FREELAND & ASSOCIATE

f: 360.650.1401

Bellingham, WA 98225

CONTRACTORS ¢ESCL OR ENGINEER OF RECORD.

14. COVER ALL DIRT/TOPSOIL PILES WITH PLASTIC SHEETING (BMP C123) DURING CONSTRUCTION WHEN NOT IN USE.

17. ADDITIONAL BMPs MAY BE USED OR REQUIRED AS CONDITIONS WARRANT. BMPs SHALL BE INSTALLED PER RECOMMENDATIONS IN THE DOE STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON, CURRENT

15. NETS AND/OR EROSION CONTROL BLANKETS (BMP C122) MAY BE USED IN LIEU OF TEMPORARY MULCHING.

16. CONSTRUCTION SCHEDULE- PENDING APPROVAL OF PLANS FROM THE CITY OF FERNDALE.



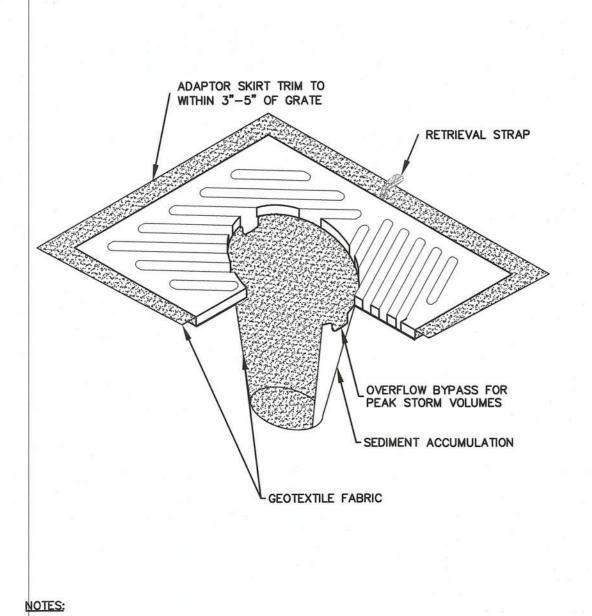
DRIV

GOLDE MUL' 5797 GO FERNE

5797

AS-BUILT DRAWING AS-BUILT NOTE:
ONLY INFORMATION NOTED AS AS-BUILT "(AB)" HAS

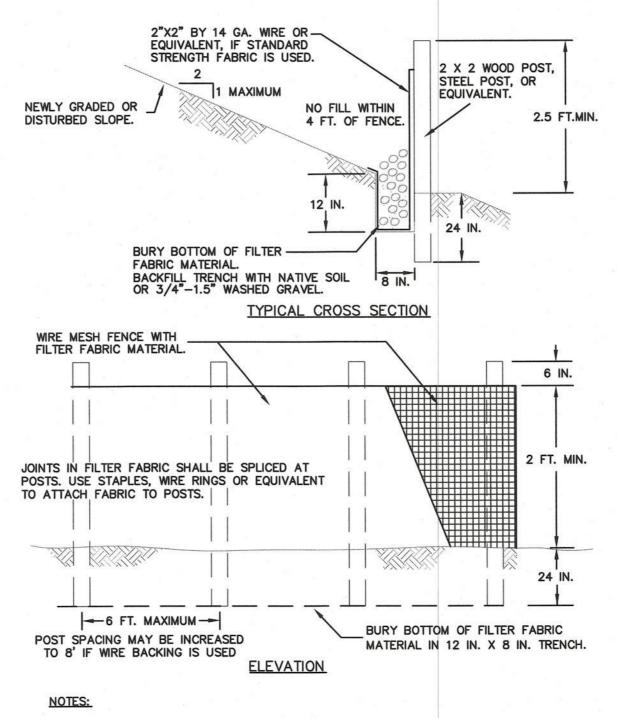
10-15-2021 19274 SHEET: SCALE: BEEN PROVIDED BY LAND DEVELOPMENT ENGINEERING & SURVEYING INC. DATE OF POINT FILE: 09/16/2021 HORIZ: 1"=10' VERT: N/A



INSERT SHALL BE INSTALLED PRIOR TO CLEARING AND GRADING ACTIVITY, OR UPON PLACEMENT OF A NEW CATCH BASIN.

SEDIMENT SHALL BE REMOVED FROM THE UNIT WHEN IT BECOMES HALF FULL

SEDIMENT REMOVAL SHALL BE ACCOMPLISHED BY REMOVING THE INSERT, EMPTYING, AND RE-INSERTING IT INTO THE CATCH BASIN.



1. FENCE SHALL NOT BE INSTALLED ON SLOPES STEEPER THAN 2 : 1.

2. JOINTS IN FILTER FABRIC SHALL BE OVERLAPPED 6 INCHES AT POST.

3. USE STAPLES, WIRE RINGS, OR EQUIVALENT TO ATTACH FABRIC TO WIRE FENCE. 4. REMOVE SEDIMENT WHEN IT REACHES 1/3 FENCE HEIGHT.

BMP C152: Sawcutting and Surfacing Pollution Prevention

Sawcutting and surfacing operations generate slurry and process water that contains fine particles and high pH (concrete cutting), both of which can violate the water quality standards in the receiving water. Concrete spillage or concrete discharge to surface waters of the State is prohibited. Use this BMP to minimize and eliminate process water and slurry created through sawcutting or surfacing from entering waters of the State.

Installation

Specifications

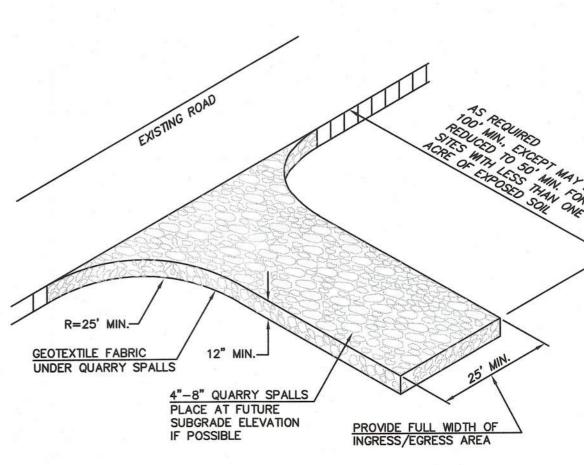
Conditions of Use Utilize these management practices anytime sawcutting or surfacing operations take place. Sawcutting and surfacing operations include, but are not limited to, the following:

- Sawing
- Coring
- Grinding Roughening
 - Hydro-demolition
- Bridge and road surfacing Design and Vacuum slurry and cuttings during cutting and surfacing operations.
 - Slurry and cuttings shall not remain on permanent concrete or asphalt pavement overnight.
 - Slurry and cuttings shall not drain to any natural or constructed drainage conveyance including stormwater systems. This may require temporarily blocking catch basins.
 - Dispose of collected slurry and cuttings in a manner that does not violate ground water or surface water quality standards.
 - Do not allow process water generated during hydro-demolition, surface roughening or similar operations to drain to any natural or constructed drainage conveyance including stormwater systems. Dispose process water in a manner that does not violate ground water or surface water quality standards.
 - Handle and dispose cleaning waste material and demolition debris in a manner that does not cause contamination of water. Dispose of sweeping material from a pick-up sweeper at an appropriate disposal

Continually monitor operations to determine whether slurry, cuttings, or process water could enter waters of the state. If inspections show that a violation of water quality standards could occur, stop operations and immediately implement preventive measures such as berms, barriers, secondary containment, and vacuum trucks.

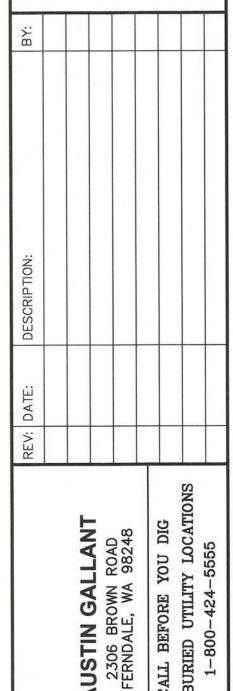
Volume II - Construction Stormwater Pollution Prevention - August 2012

SAWCUTTING



MAINTENANCE:

- . THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 4 TO 8-INCH STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY STRUCTURES USED TO
- 2. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.



20 West Champion Street, Suite 200 t: 360.650.14

REELAN

ASSOCIATES

ellingham, WA 98225

TEMPORARY CONSTRUCTION ENTRANCE

A INLET PROTECTION nts

ELEMENT #1: MARK CLEARING LIMITS

CLEARING LIMITS AND NEARBY SENSITIVE AREAS AND THEIR BUFFERS, WILL BE CLEARLY MARKED PRIOR TO BEGINNING LAND DISTURBING ACTIVITIES, WHICH INCLUDES CLEARING AND GRADING. THESE AREAS WILL BE CLEARLY MARKED N THE FIELD TO PREVENT DAMAGE AND OFFSITE IMPACTS.

WASHINGTON STATE DEPARTMENT OF ECOLOGY BMP'S CONSIDERED FOR ELEMENT #1 INCLUDE:

BMP C101: PRESERVING NATURAL VEGETATION BMP C103: HIGH VISIBILITY PLASTIC OR METAL FENCE

ELEMENT #2: ESTABLISH CONSTRUCTION ACCESS

BMP C104: STAKE AND WIRE FENCE

IT IS RECOMMENDED THAT THE PROPOSED PARKING AREA BE ESTABLISHED AS THE SITE ACCESS POINT, CONTRACTOR PARKING, AND MATERIAL STORAGE. THIS AREA SHALL BE STABILIZED, MONITORED FOR SEDIMENT, AND MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS. EARTHWORK EQUIPMENT WILL REMAIN WITHIN THE DISTURBED AREA TO THE MAXIMUM EXTENT PRACTICABLE. CONSTRUCTION TRAFFIC THAT WILL ROUTINELY LEAVE THE SITE (E.G. WORK TRUCKS, PERSONAL VEHICLES) SHALL REMAIN ON PAVED SURFACES TO THE MAXIMUM EXTENT PRACTICABLE. PAVED ROADS & PARKING AREAS SHALL BE CLEANED AT THE END OF EACH DAY. SEDIMENT TRANSPORTED TO ROADS FROM THE SITE SHALL BE SWEPT AND DISPOSED OF AT A CONTROLLED SEDIMENT DISPOSAL AREA ON SITE OR REMOVED OFF SITE AND DISPOSED AT AN APPROVED FILL SITE. IF STREET WASHING IS NEEDED, IT WILL ONLY OCCUR AFTER SEDIMENT HAS BEEN REMOVED AS DESCRIBED. THE RESULTING WASH WASTEWATER WOULD THEN BE CONTROLLED BY PUMPING IT

WASHINGTON STATE DEPARTMENT OF ECOLOGY BMPS CONSIDERED FOR ELEMENT #2 INCLUDE:

BACK ON SITE. ALL CONSTRUCTION ACCESS POINTS WILL BE RESTORED TO PRE-CONSTRUCTION OR

BMP C105: STABILIZED CONSTRUCTION ENTRANCE

HOUSEKEEPING/MAINTENANCE BMP: DAILY STREET SWEEPING HOUSEKEEPING/MAINTENANCE BMP: BMP C140 DUST CONTROL

ELEMENT #3: CONTROL FLOW RATES

PROPOSED CONDITIONS.

FLOW RATES SHALL BE CONTROLLED TO THE MAXIMUM EXTENT PRACTICAL. CONTRACTOR SHALL PRESERVE VEGETATED AREAS ON OR NEAR THE SITE AS ALLOWABLE THROUGHOUT THE CONSTRUCTION PROCESS. TEMPORARY SEDIMENT TRAPS OR PONDS MAY BE DESIGNED, LOCATED, AND INSTALLED IF THE CONTRACTOR, PROJECT ENGINEER, OR CESCL DEEMS NECESSARY.

WASHINGTON STATE DEPARTMENT OF ECOLOGY BMPS CONSIDERED FOR ELEMENT #3 INCLUDE: BMP C241: TEMPORARY SEDIMENT POND

ELEMENT #4: INSTALL SEDIMENT CONTROLS

THE DUFF LAYER, NATIVE TOPSOIL, AND NATURAL AND EXISTING VEGETATION WILL BE RETAINED IN AN UNDISTURBED STATE TO THE MAXIMUM EXTENT PRACTICABLE. ELEMENT #1 OF THIS PLAN, INCLUDING IMPLEMENTING PRESERVING NATURAL VEGETATION, WILL HELP RETAIN SOME AREAS IN AN UNDISTURBED STATE. SILT FENCING WILL BE INSTALLED DOWNHILL FROM DISTURBED AREAS TO TRAP AND RETAIN SEDIMENT ON SITE. OTHER SEDIMENT CONTROLS, SUCH AS TEMPORARY SEDIMENT TRAPS, SUMPS, GRAVEL FILER BERMS, STRAW WATTLES, ETC. MAY BE INSTALLED IF WARRANTED AS CONDITIONS CHANGE ON SITE DURING CONSTRUCTION.

WASHINGTON STATE DEPARTMENT OF ECOLOGY BMPS CONSIDERED FOR ELEMENT #4 INCLUDE:

BMP C233 SILT FENCE BMP C208: TRIANGULAR SILT DIKE

ELEMENT #5: STABILIZE SOILS

IF CONSTRUCTION OCCURS IN THE DRY SEASON, (5/1 THROUGH 9/30) SOILS WILL NOT REMAIN EXPOSED AND UNWORKED FOR MORE THAN 7 DAYS. IF CONSTRUCTION OCCURS IN THE WET SEASON (10/1 THROUGH 4/30) SOILS WILL NOT REMAIN EXPOSED AND UNWORKED FOR MORE THAN 2 DAYS. WHEN ACTIVE GRADING IS IN PROGRESS, THE DEADLINE FOR SOIL STABILIZATION MAY BE EXTENDED UPON DETERMINING THAT THE LIKELIHOOD OF EROSION IMPACTS IS LOW BASED ON THE TYPE AND AMOUNT OF SOIL EXPOSED, SITE TOPOGRAPHY, POTENTIAL FOR DISCHARGE TO CRITICAL AREAS AND LAKES, AND OTHER FACTORS. IN ADDITION, WEATHER CONDITIONS WILL CONTINUALLY BE MONITORED, INCLUDING BEFORE HOLIDAYS AND WEEKENDS, FOR PURPOSES OF PREPARING THE SITE FOR PREDICTED WEATHER CONDITIONS. BMPS THAT ARE EFFECTIVE IN STABILIZING SOILS AND PROTECTING THEM FROM EXPOSURE TO RAIN AND WIND OR OTHER CLIMATIC CONDITIONS WILL BE IMPLEMENTED THROUGHOUT THE PROJECT. EVALUATION AND MONITORING OF BMP EFFECTIVENESS WILL OCCUR ON A DAILY BASIS. IN ADDITION, IN THE EVENT OF FORECASTED PRECIPITATION EVENTS. ADDITIONAL MEASURES TO STABILIZE SOILS WILL BE TAKEN.

BMPS THAT WILL BE CONSIDERED THROUGHOUT CONSTRUCTION INCLUDE BUT ARE NOT LIMITED TO TEMPORARY AND PERMANENT SEEDING, SODDING, MULCHING, PLASTIC COVERING, EROSION CONTROL FABRICS AND MATTING, THE EARLY APPLICATION OF GRAVEL BASE ON AREAS TO BE PAVED. AND DUST CONTROL.

WASHINGTON STATE DEPARTMENT OF ECOLOGY BMPS CONSIDERED FOR ELEMENT #5 INCLUDE:

BMP C120: TEMPORARY AND PERMANENT SEEDING

BMP C121: MULCHING BMP C122: NETS AND BLANKETS

BMP C123: PLASTIC COVERING BMP C124: SODDING

BMP C125: TOPSOILING BMP C140: DUST CONTROL

ELEMENT #6: PROTECT SLOPES

SIGNIFICANT CUT OR FILL SLOPES ARE NOT PROPOSED AS PART OF THIS PROJECT

ELEMENT #7: PROTECT DRAIN INLETS

STORM DRAIN INLETS ARE PROPOSED AS PART OF THIS PROJECT. OPERABLE STORM DRAIN INLETS ON THE SITE AND WITHIN 500 FEET DOWNSTREAM OF THE CONSTRUCTION AREA ROADS WILL BE PROTECTED SO THAT STORMWATER RUNOFF DOES NOT ENTER THE CONVEYANCE SYSTEM WITHOUT FILTRATION OR OTHER TREATMENT FOR SEDIMENT. STORM DRAIN INLET PROTECTION WILL BE USED TO DETERMINE THE MOST APPROPRIATE INLET PROTECTION DESIGN FOR THE SITE AND THE DOWNSTREAM AREA.

INLETS WILL BE INSPECTED WEEKLY AT A MINIMUM AND DAILY DURING STORM EVENTS. INLET PROTECTION DEVICES SHALL BE CLEANED OR REMOVED AND REPLACED BEFORE SIX INCHES OF SEDIMENT CAN ACCUMULATE. CONSTRUCTION ACCESS POINTS AND APPROACHES WILL BE MONITORED AND SWEPT TO MINIMIZE THE POTENTIAL OF SEDIMENT TRANSPORT. IF STREET WASHING OCCURS. THE WASH WASTEWATER WILL BE PUMPED BACK ON SITE.

WASHINGTON STATE DEPARTMENT OF ECOLOGY BMPS CONSIDERED FOR ELEMENT #7 INCLUDE: BMP C220: STORM DRAIN INLET PROTECTION

STORMWATER POLLUTION PREVENTION PLAN

ELEMENT #8: STABILIZE CHANNELS AND OUTLETS

NO NEW MANMADE CHANNELS OR OUTLETS ARE PROPOSED AS PART OF THIS PROJECT.

ELEMENT #9: CONTROL POLLUTANTS

WASTE MATERIALS GENERATED ON SITE WILL BE HANDLED AND DISPOSED OF IN A MANNER THAT DOES NOT CAUSE CONTAMINATION OF STORMWATER; INCLUDING COVERING SOIL STOCKPILES. ROUTINE INSPECTIONS OF THE WASTE MATERIAL STORAGE AREAS WILL BE CONDUCTED TO MAKE SURE THAT LEAKS OR SPILLS DO NOT OCCUR. ANY LEAKAGE OR SPILLS WILL BE CLEANED UP IMMEDIATELY.

MAINTENANCE OF HEAVY EQUIPMENT INVOLVING OIL CHANGES, HYDRAULIC SYSTEM DRAIN DOWN, SOLVENT AND DE-GREASING CLEANING AND/OR OTHER ACTIVITIES THAT MAY RESULT IN DISCHARGE OR SPILLAGE OF POLLUTANTS TO THE GROUND OR INTO STORMWATER RUNOFF WILL BE CONDUCTED WITH SPILL PREVENTION MEASURES IN PLACE, INCLUDING CONDUCTING MAINTENANCE ON A TEMPORARY PAD THAT CAN BE USED TO CAPTURE LARGE SPILLS AND THE USE OF DRIP PANS. IN THE EVENT THAT EMERGENCY REPAIRS NEED TO BE PERFORMED AND CLIMATIC CONDITIONS MAY RESULT IN A PRECIPITATION EVENT PRIOR TO THE REPAIR BEING COMPLETED, THE REPAIR AREA, WHICH INCLUDES THE VEHICLE, WILL BE COVERED WITH TARPS OR OTHER PLASTIC SHEETING. DISCHARGES, SPILLS, OR LEAKS WILL BE CLEANED IMMEDIATELY. THE NOTIFICATION PROCEDURE OUTLINED IN THE PERMANENT SITE SWPPP IS AS FOLLOWS:

ALL SPILLS WILL BE REPORTED TO THE DEPARTMENT OF ECOLOGY, SPILL RESPONSE PROGRAM

BMPS CONSIDERED FOR ELEMENT #9 INCLUDE: SPILL CLEANUP AND RESPONSE PRACTICES

ELEMENT #10: CONTROL DE-WATERING

EXCEPT FOR THE SANITARY SEWER TAP, NO DE-WATERING IS PROPOSED AS PART OF THIS PROJECT. IF NECESSARY, CLEAN, NON-TURBID DE-WATERING WATER, SUCH AS WELL-POINT GROUND WATER, CAN BE DISCHARGED TO SYSTEMS TRIBUTARY TO STATE SURFACE WATERS, PROVIDED THE DE-WATERING FLOW DOES NOT CAUSE EROSION OR FLOODING OF RECEIVING WATERS. THESE CLEAN WATERS SHOULD NOT BE ROUTED THROUGH A STORMWATER SEDIMENT POND.

HIGHLY TURBID OR CONTAMINATED DEWATERING WATER FROM CONSTRUCTION EQUIPMENT OPERATION, CONCRETE TREMIE, POUR, OR WORK INSIDE A COFFERDAM SHALL BE HANDLED SEPARATELY FROM STORMWATER.

OTHER DISPOSAL OPTIONS, DEPENDING ON SITE CONSTRAINTS, MAY INCLUDE:

- INFILTRATION
- TRANSPORT OFF SITE IN VEHICLE, SUCH AS A VACUUM FLUSH TRUCK, FOR LEGAL DISPOSAL IN A MANNER THAT DOES NOT POLLUTE STATE WATERS,
- ON-SITE TREATMENT USING CHEMICAL TREATMENT OR OTHER SUITABLE TREATMENT
- TECHNOLOGIES, SANITARY SEWER DISCHARGE WITH LOCAL SEWER DISTRICT APPROVAL, OR
- USE OF A SEDIMENTATION BAG WITH OUTFALL TO A DITCH OR SWALE FOR SMALL VOLUMES OF LOCALIZED DEWATERING.

AS-BUILT NOTE: ONLY INFORMATION NOTED AS AS-BUILT "(AB)" HAS BEEN PROVIDED BY LAND DEVELOPMENT ENGINEERING & SURVEYING INC. DATE OF POINT FILE: 09/16/2021

AS-BUILT DRAWING

ELEMENT #11: MAINTAIN BMPS

ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL BMPS WILL BE INSPECTED BY THE CESCL, AND SHALL BE MAINTAINED, AND REPAIRED BY THE CONTRACTOR TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION. MAINTENANCE AND REPAIR SHALL BE CONDUCTED IN ACCORDANCE WITH THE RELEVANT BMP IDENTIFIED IN ELEMENTS #1 THROUGH #10. TEMPORARY EROSION AND SEDIMENT CONTROLS IDENTIFIED ABOVE WILL BE INSPECTED DAILY DURING THE WET SEASON. NEEDED REPAIRS AND MAINTENANCE WILL OCCUR WITHIN SEVEN (7) DAYS OR, IN THE EVENT OF A FORECAST OF INCLEMENT WEATHER, REPAIRS AND MAINTENANCE WILL OCCUR IMMEDIATELY.

TEMPORARY EROSION AND SEDIMENT CONTROL BMPS WILL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY BMPS ARE NO LONGER NEEDED. TRAPPED SEDIMENT WILL BE REMOVED OR STABILIZED ON SITE. DISTURBED SOIL RESULTING FROM REMOVAL OF BMPS OR VEGETATION SHALL BE PERMANENTLY STABILIZED.

ELEMENT #12: MANAGE THE PROJECT

CONSTRUCTION EXPOSED AREAS DURING THE CLEARING AND GRADING PROCESS WILL BE MULCHED AS PART OF THE CLEARING AND GRADING ACTIVITIES. CLEARING AND GRADING ACTIVITIES WILL OCCUR AFTER THE APPLICABLE PERMITS HAVE BEEN OBTAINED. REVEGETATION OF EXPOSED AREAS AND MAINTENANCE OF THAT VEGETATION WILL OCCUR AS PART OF THE PLANTING PHASE OF THE PROJECT TO BE INSTALLED AFTER SUB-GRADE ROAD BASE MATERIAL HAS BEEN INSTALLED AND PRIOR TO FINAL GRAVEL SURFACING.

SEASONAL WORK LIMITATIONS

FROM MAY 1 THROUGH SEPTEMBER 30, SOIL WILL NOT BE EXPOSED/UNWORKED FOR 7 DAYS. FROM OCTOBER 1 THROUGH APRIL 30, SOIL WILL NOT REMAIN EXPOSED AND UNWORKED FOR MORE THAN 2 DAYS. IN ADDITION, WEATHER CONDITIONS WILL CONTINUALLY BE MONITORED INCLUDING BEFORE HOLIDAYS AND WEEKENDS FOR PURPOSES OF PREPARING THE SITE FOR PREDICTED WEATHER CONDITIONS. BMPS THAT ARE EFFECTIVE IN STABILIZING SOILS AND PROTECTING THEM FROM EXPOSURE TO RAIN AND WIND OR OTHER CLIMATIC CONDITIONS WIL BE IMPLEMENTED THROUGHOUT THE PROJECT. INSPECTION AND EVALUATION OF THE EFFECTIVENESS OF THE BMPS WILL OCCUR ON A DAILY BASIS. IN ADDITION, IN THE EVENT OF FORECASTED PRECIPITATION EVENTS, ADDITIONAL MEASURES TO STABILIZE SOILS WILL BE TAKEN.

COORDINATION WITH UTILITIES AND OTHER CONTRACTORS

THE STORMWATER MANAGEMENT REQUIREMENTS FOR ALL ASPECTS OF THE CONSTRUCTION PROJECT, INCLUDING UTILITIES, WERE CONSIDERED IN PREPARING THE CONSTRUCTION SWPF

INSPECTION AND MONITORING

AS PREVIOUSLY MENTIONED, ALL BMPS WILL BE INSPECTED, MAINTAINED, AND REPAIRED AS NEEDED TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION. IN THE EVEN THAT INSPECTION AND/OR MONITORING REVEALS THAT THE BMPS IDENTIFIED IN THIS CONSTRUCTION SWPPP ARE INADEQUATE, DUE TO THE ACTUAL DISCHARGE OF OR POTENTIAL DISCHARGE A SIGNIFICANT AMOUNT OF ANY POLLUTANT, THIS SWPPP SHALL BE MODIFIED, AS APPROPRIATE, IN A TIMELY MANNER.

MAINTENANCE OF THE CONSTRUCTION SWPPF

THE CONSTRUCTION SWPPP WILL BE RETAINED ON-SITE AND WILL BE UPDATED ON A REGULAR BASIS. MODIFICATIONS TO THE CONSTRUCTION SWPPP WILL BE MADE WHENEVER THERE IS A SIGNIFICANT CHANGE IN THE DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE OF ANY

ELEMENT #13:PROTECT LOW IMPACT DEVELOPMENT BMPS ALL PERVIOUS AREAS DISTURBED DURING CONSTRUCTION MUST BE RESTORED TO MEET BMP
T5.13. PROTECT RESTORED AREAS FROM VEHICULAR TRAFFIC OR OTHER ACTIVITY OF ENSURE
SOIL QUALITY AND DEPTH IS MAINTAINED.

APPROVED SCALE: PUBLIC WORKS DEPARTMENT

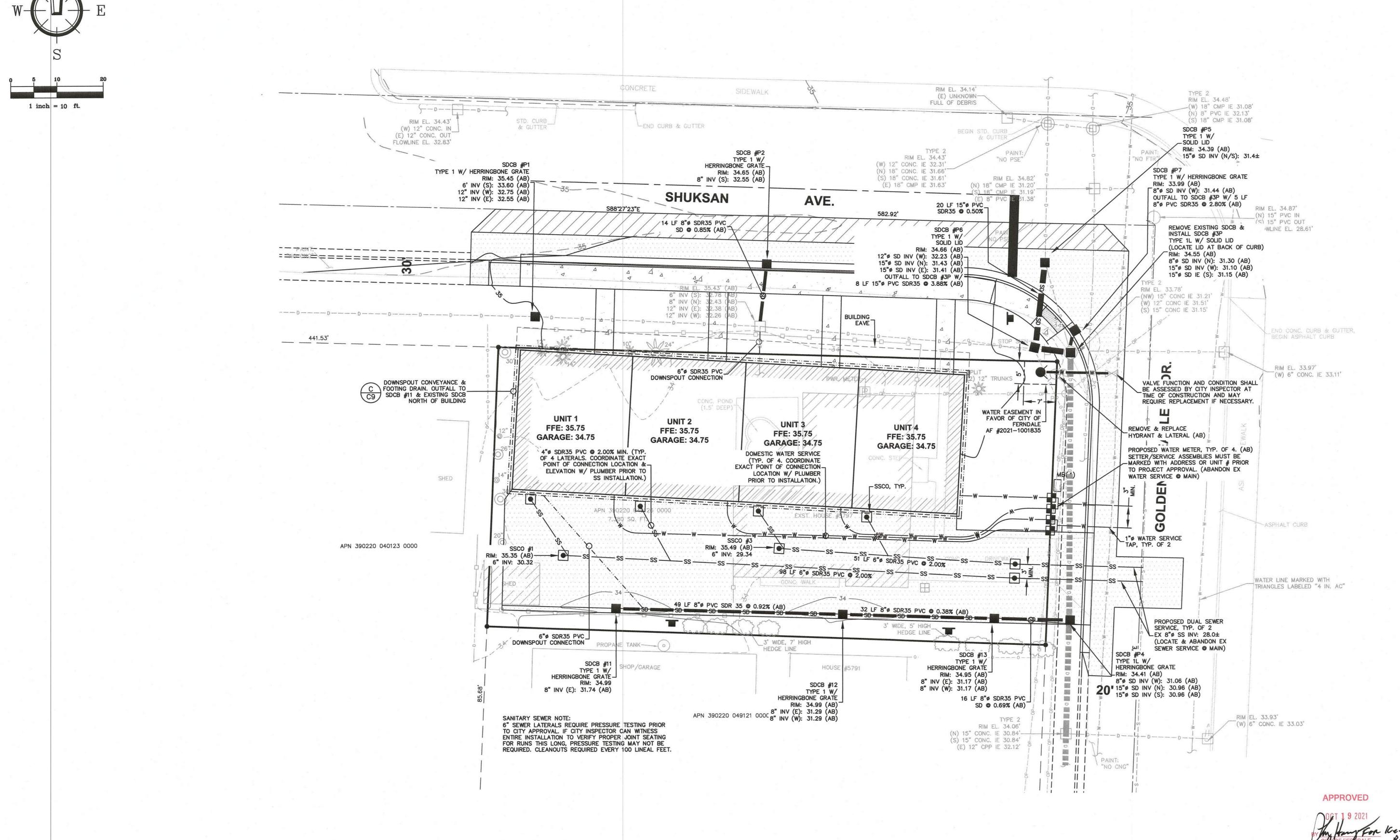
SHEET CONTENTS:	TEMPORARY EROSION SEDIMENTATION CONTR DETAILS & NOTES
, , , , , , , , , , , , , , , , , , ,	TRICK MC MASHING TO SERVING THE PROPERTY OF MASHING TO SERVING THE PROPERTY OF MASHING THE PROPERTY OF THE PRO

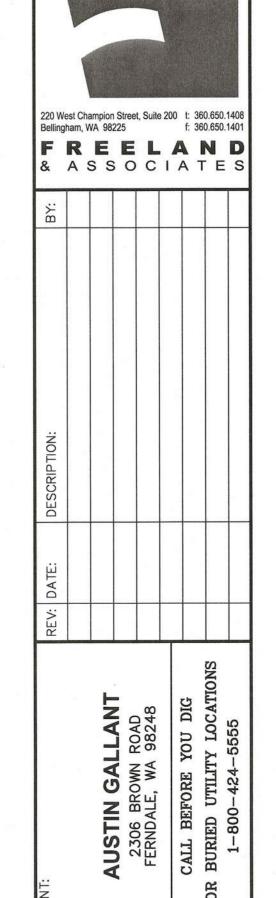
O 0

MULTI-F 5797 GOLDEN FERNDALE,



19274 10-15-2021 SHEET: HORIZ: N/A VERT: N/A





DRIV

5797

GOLDEN EAGLE I
MULTI-FAMILY
5797 GOLDEN EAGLE DRIVE
FERNDALE, WA 98248

SSIONAL ENGIN **AS-BUILT DRAWING** AS-BUILT NOTE:
ONLY INFORMATION NOTED AS AS-BUILT "(AB)" HAS
BEEN PROVIDED BY LAND DEVELOPMENT ENGINEERING 10-15-2021 19274

SCALE:

HORIZ: 1"=10" VERT: N/A

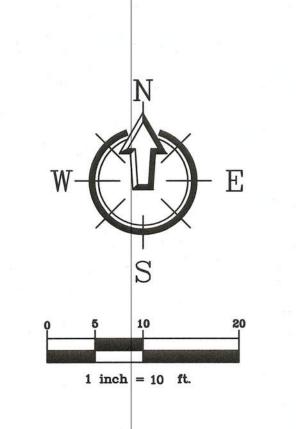
& SURVEYING INC. DATE OF POINT FILE: 09/16/2021

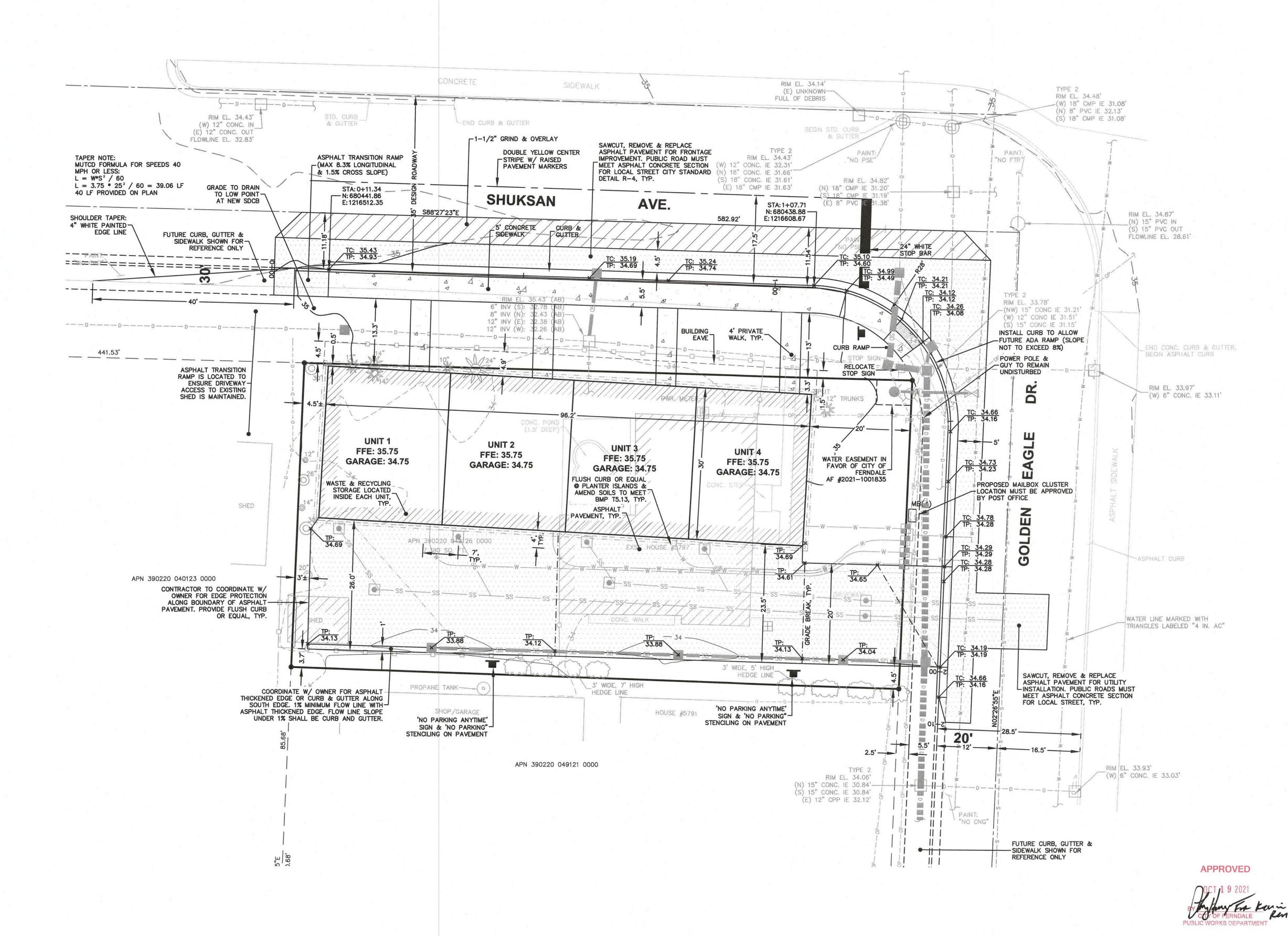
SHEET:

220 West Champion Street, Suite 200 t: 360.650.1408 Bellingham, WA 98225 f: 360.650.1401

FREELAND

& ASSOCIATES







DRIV

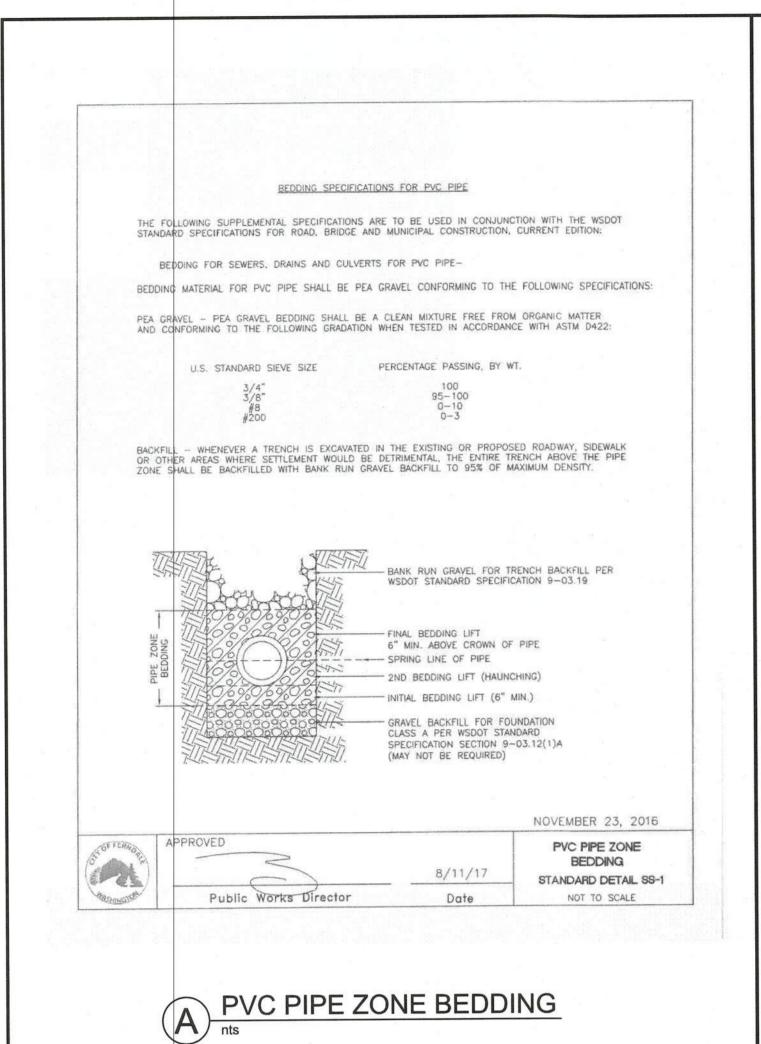
5797

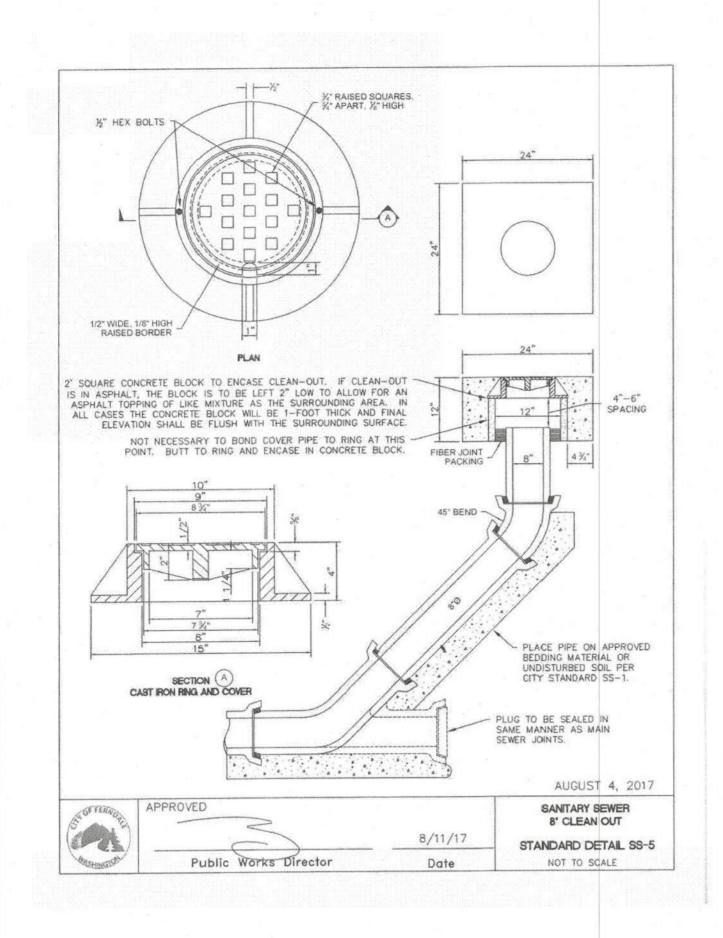
MULTI-FAMILY
5797 GOLDEN EAGLE DRIVE
FERNDALE, WA 98248

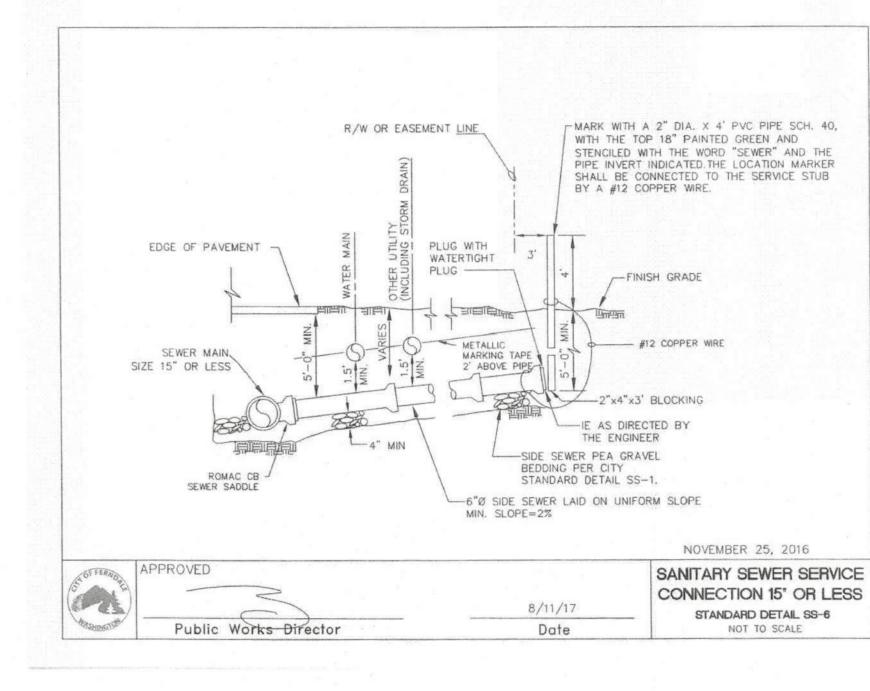
AS-BUILT DRAWING

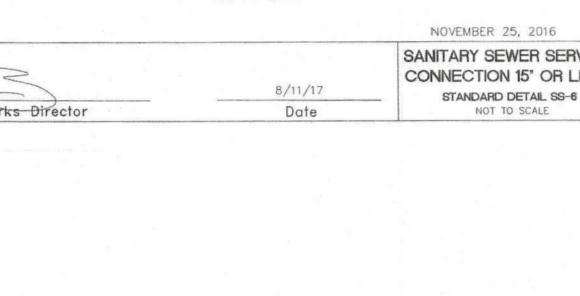
AS-BUILT NOTE:
ONLY INFORMATION NOTED AS AS-BUILT "(AB)" HAS BEEN PROVIDED BY LAND DEVELOPMENT ENGINEERING & SURVEYING INC. DATE OF POINT FILE: 09/16/2021

1		A BARA IN				
1	JOB #: 19274	DATE: 10-15-20				
	SCALE: HORIZ: 1"=10' VERT: N/A	SHEET:				

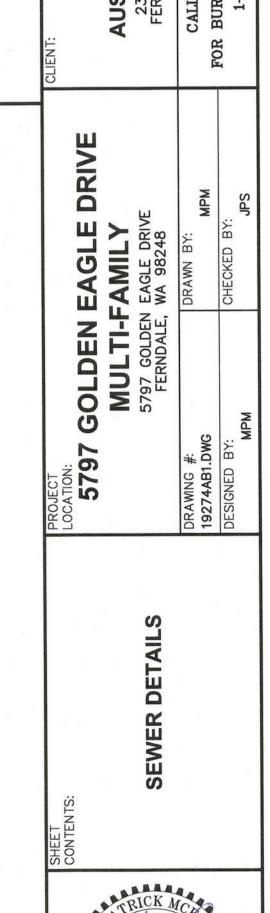










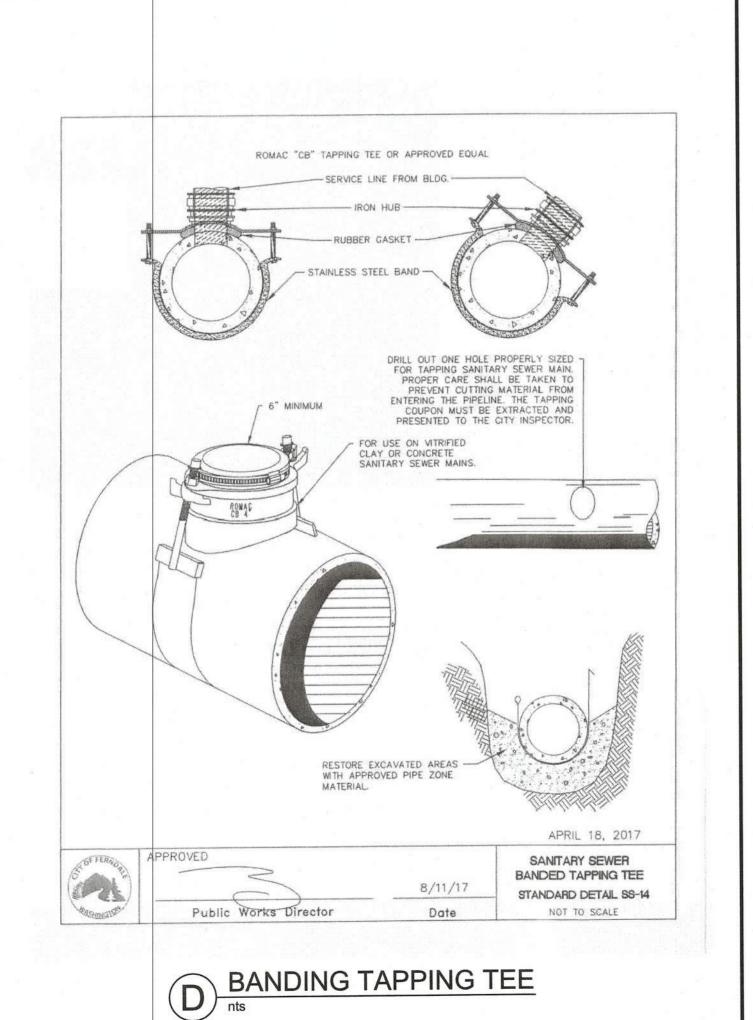


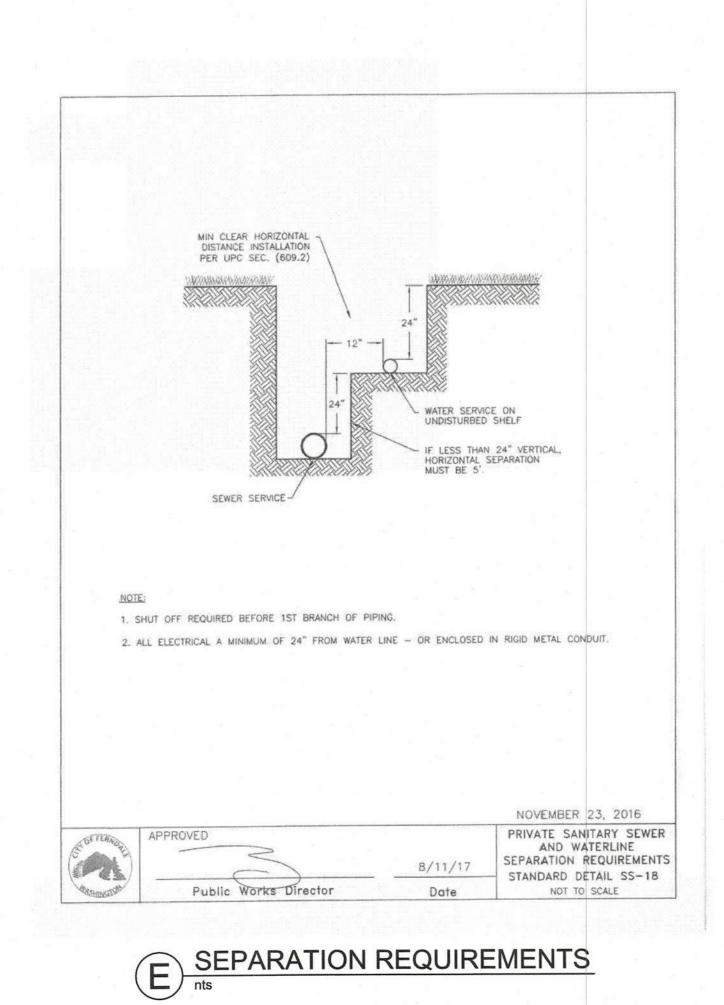
10-15-2021

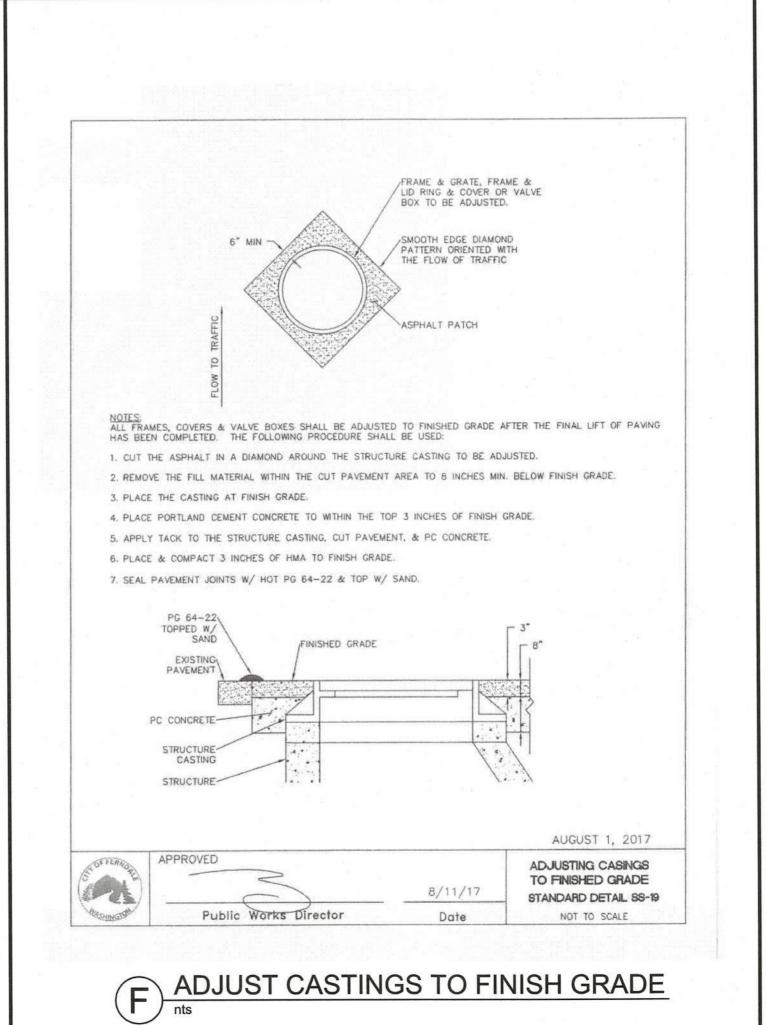
19274

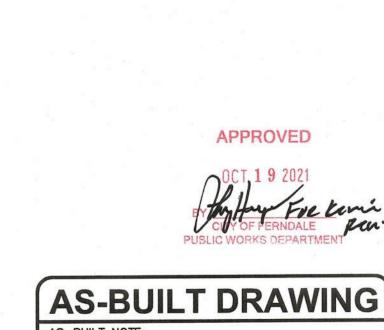
HORIZ: N/A VERT: N/A



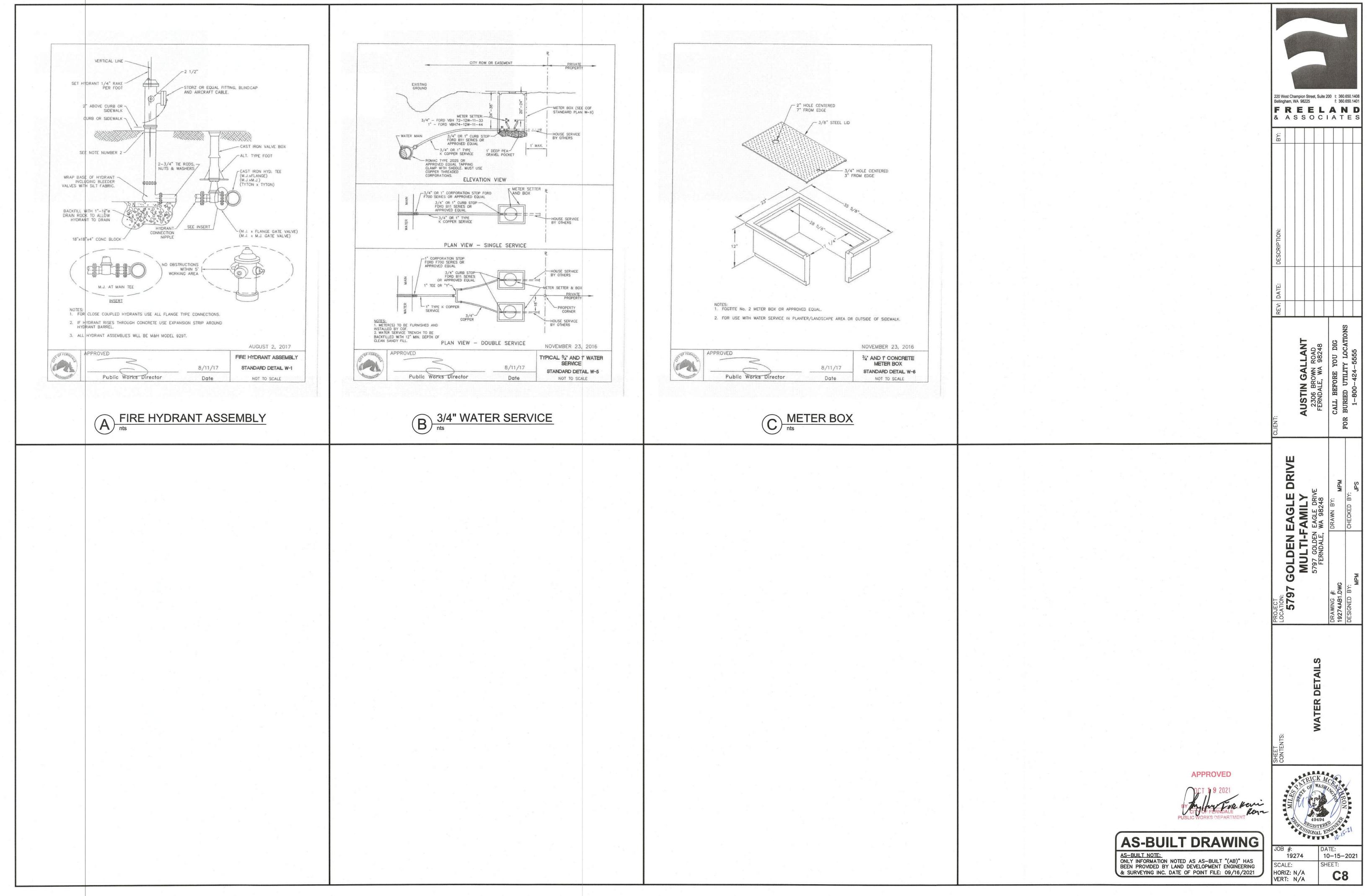








ONLY INFORMATION NOTED AS AS-BUILT "(AB)" HAS BEEN PROVIDED BY LAND DEVELOPMENT ENGINEERING & SURVEYING INC. DATE OF POINT FILE: 09/16/2021



220 West Champion Street, Suite 200 t: 360.650.1408

FREELAND

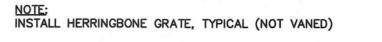
& ASSOCIATES

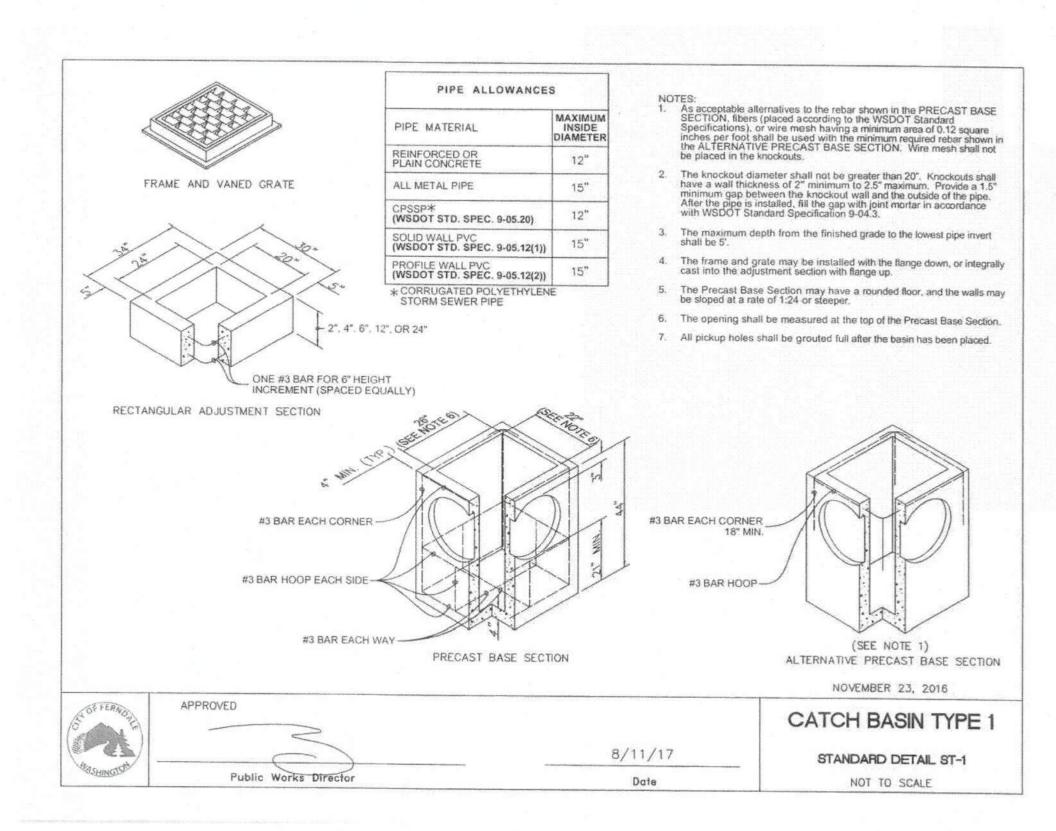
f: 360.650.1401

Bellingham, WA 98225

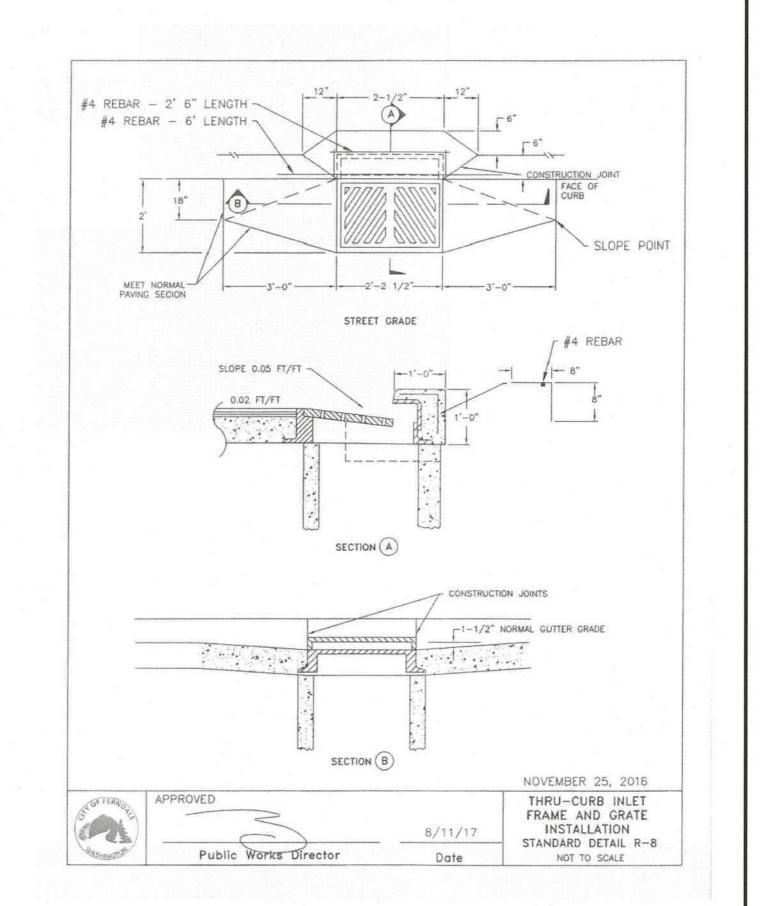
DRI

MULTI-F/ 5797 GOLDEN E FERNDALE, W

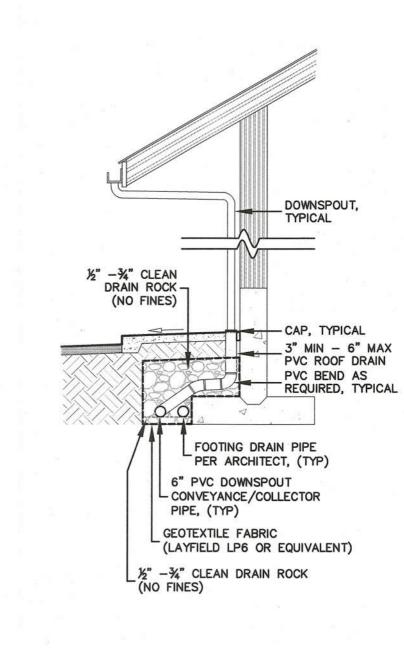








B THRU-CURB INLET



C ROOF DOWNSPOUT CONNECTION nts

BEDDING SPECIFICATIONS FOR PVC PIPE - ASPHALT SURFACE

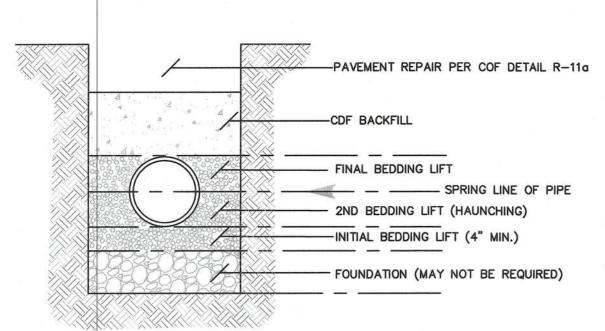
THE FOLLOWING SUPPLEMENTAL SPECIFICATIONS ARE TO BE USED IN CONJUNCTION WITH THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION, CURRENT EDITION:

BEDDING FOR SEWERS, DRAINS AND CULVERTS FOR THERMOPLASTIC PIPE-

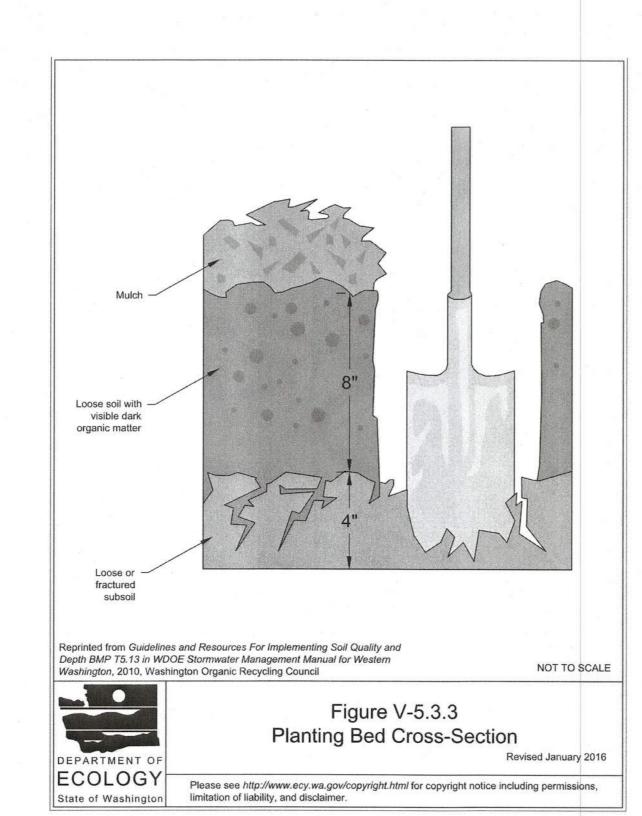
BEDDING MATERIAL FOR THERMOPLASTIC PIPE SHALL BE PEA GRAVEL CONFORMING TO THE FOLLOWING SPECIFICATIONS.

PEA GRAVEL — PEA GRAVEL BEDDING SHALL BE A CLEAN MIXTURE FREE FROM ORGANIC MATTER AND

CONFORMING TO THE FOLLOWING GRADATION WHEN TESTED IN ACCORDANCE WITH ASTM D422:



PVC PIPE BEDDING SPECIFICATIONS
2' OR LESS OF COVER



ESTABLISHING A MINIMUM SOIL QUALITY AND DEPTH IS NOT THE SAME AS PRESERVATION OF NATURALLY OCCURRING SOIL AND VEGETATION. HOWEVER, ESTABLISHING A MINIMUM SOIL QUALITY AND DEPTH WILL PROVIDE IMPROVED ON-SITE MANAGEMENT OF STORMWATER FLOW AND WATER QUALITY. SOIL ORGANIC MATTER CAN BE ATTAINED THROUGH NUMEROUS MATERIALS SUCH AS COMPOST, COMPOSTED WOODY MATERIAL, BIOSOLIDS, AND FOREST PRODUCT RESIDUALS, IT IS IMPORTANT THAT THE MATERIALS USED TO MEET THE SOIL QUALITY AND DEPTH BMP BE APPROPRIATE AND BENEFICIAL TO THE PLANT COVER TO BE ESTABLISHED. LIKEWISE, IT IS IMPORTANT THAT IMPORTED TOPSOILS IMPROVE SOIL CONDITIONS AND DO NOT HAVE AN EXCESSIVE PERCENT OF CLAY FINES. THIS BMP CAN BE CONSIDERED INFEASIBLE ON TILL SOIL SLOPES GREATER THAN 33 PERCENT.

DESIGN GUIDELINES
SOIL RETENTION: RETAIN, IN AN UNDISTURBED STATE, THE DUFF LAYER AND NATIVE TOPSOIL TO THE MAXIMUM EXTENT PRACTICABLE. IN ANY AREAS REQUIRING GRADING REMOVE AND STOCKPILE THE DUFF LAYER AND TOPSOIL ON SITE IN A DESIGNATED, CONTROLLED AREA, NOT ADJACENT TO PUBLIC RESOURCES AND CRITICAL AREAS, TO BE REAPPLIED TO OTHER PORTIONS OF THE SITE WHERE FEASIBLE.

SOIL QUALITY: ALL AREAS SUBJECT TO CLEARING AND GRADING THAT HAVE NOT BEEN COVERED BY IMPERVIOUS SURFACE, INCORPORATED INTO A DRAINAGE FACILITY OR ENGINEERED AS STRUCTURAL FILL OR SLOPE SHALL, AT PROJECT COMPLETION, DEMONSTRATE THE FOLLOWING:

1. A TOPSOIL LAYER WITH A MINIMUM ORGANIC MATTER CONTENT OF 10% DRY WEIGHT IN PLANTING BEDS, AND 5% ORGANIC MATTER CONTENT IN TURF AREAS, AND A PH FROM 6.0 TO 8.0 OR MATCHING THE PH OF THE UNDISTURBED SOIL. THE TOPSOIL LAYER SHALL HAVE A MINIMUM DEPTH OF EIGHT INCHES EXCEPT WHERE TREE ROOTS LIMIT THE DEPTH OF INCORPORATION OF AMENDMENTS NEEDED TO MEET THE CRITERIA. SUBSOILS BELOW THE TOPSOIL LAYER SHOULD BE SCARIFIED AT LEAST 4 INCHES WITH SOME INCORPORATION OF THE UPPER MATERIAL TO AVOID STRATIFIED LAYERS, WHERE FEASIBLE.

2.MULCH PLANTING BEDS WITH 2 INCHES OF ORGANIC MATERIAL 3.USE COMPOST AND OTHER MATERIALS THAT MEET THESE ORGANIC CONTENT REQUIREMENTS:

a. THE ORGANIC CONTENT FOR

"PRE—APPROVED" AMENDMENT RATES
CAN BE MET ONLY USING COMPOST
MEETING THE COMPOST SPECIFICATION
FOR BIORETENTION (BMP T7.30), WITH
THE EXCEPTION THAT THE COMPOST
MAY HAVE UP TO 35% BIOSOLIDS OR
MANURE. THE COMPOST MUST ALSO
HAVE AN ORGANIC MATTER CONTENT
OF 40% TO 65%, AND A CARBON TO
NITROGEN RATION BELOW 25:1. THE
CARBON TO NITROGEN RATION MAY BE
AS HIGH 35:1 FOR PLANTINGS
COMPOSED ENTIRELY OF PLANTS NATIVE
TO THE PUGET SOUND LOWLANDS

REGION.

b. CALCULATED AMENDMENT RATES MAY BE MET THROUGH USE OF COMPOSTED MATERIALS MEETING (A.) ABOVE; OR OTHER ORGANIC MATERIALS AMENDED TO MEET THE CARBON TO NITROGEN RATIO REQUIREMENTS, AND MEETING THE CONTAMINANT STANDARDS OF GRADE A COMPOST.

THE RESULTING SOIL SHOULD BE CONDUCIVE TO THE TYPE OF VEGETATION TO BE ESTABLISHED.

IMPLEMENTATION OPTIONS: THE SOIL QUALITY DESIGN GUIDELINES LISTED ABOVE CAN BE MET BY USING ONE OF THE METHODS LISTED BELOW:

1. LEAVE UNDISTURBED NATIVE VEGETATION

AND SOIL, AND PROTECT FROM
COMPACTION DURING CONSTRUCTION.

2. AMEND EXISTING SITE TOPSOIL OR SUBSOIL
EITHER AT DEFAULT 'PRE—APPROVED"
RATES, OR AT CUSTOM CALCULATED RATES
BASED ON TESTS OF THE SOIL AND

AMENDMENT.

3.STOCKPILE EXISTING TOPSOIL DURING GRADING, AND REPLACE IT PRIOR TO PLANTING. STOCKPILED TOPSOIL MUST ALSO BE AMENDED IF NEEDED TO MEET THE ORGANIC MATTER OR DEPTH REQUIREMENTS, EITHER AT A DEFAULT 'PRE—APPROVED" RATE OR AT A CUSTOM CALCULATED RATE.

4.IMPORT TOPSOIL MIX OF SUFFICIENT ORGANIC CONTENT AND DEPTH TO MEET

THE REQUIREMENTS.

MORE THAN ONE METHOD MAY BE USED ON DIFFERENT PORTIONS OF THE SAME SITE. SOIL THAT ALREADY MEETS THE DEPTH AND ORGANIC MATTER QUALITY STANDARDS, AND IS NOT COMPACTED, DOES NOT NEED TO BE AMENDED.



AS-BUILT DRAWING

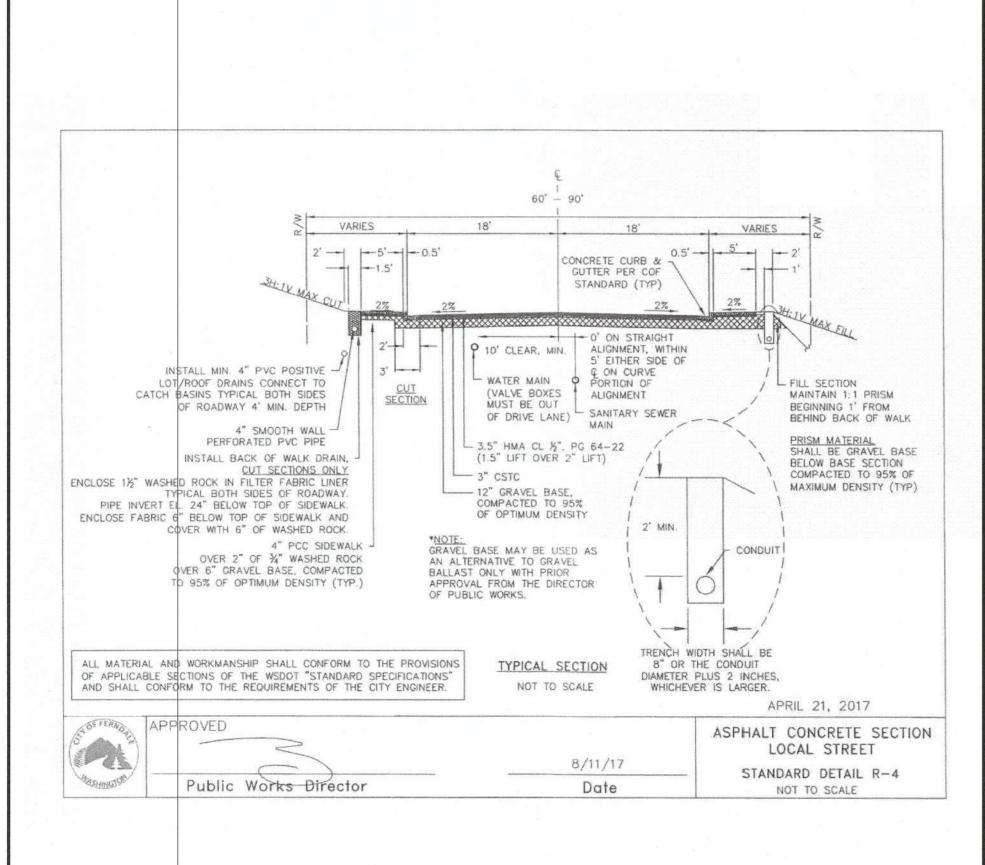
AS-BUILT NOTE:
ONLY INFORMATION NOTED AS AS-BUILT "(AB)" HAS

BEEN PROVIDED BY LAND DEVELOPMENT ENGINEERING & SURVEYING INC. DATE OF POINT FILE: 09/16/2021

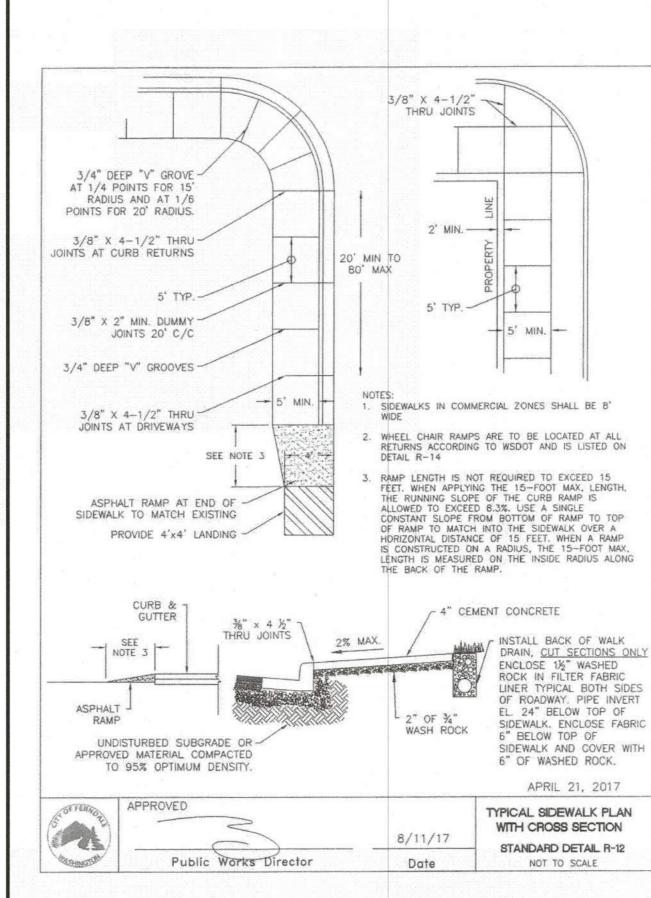
	SHEET		
2)		CK MCC WASH BON 9494 STERED NEW NAL ENGINE	
1	JOB #: 19274	DATE: 10-15-2021	
	SCALE:	SHEET:	

HORIZ: N/A VERT: N/A

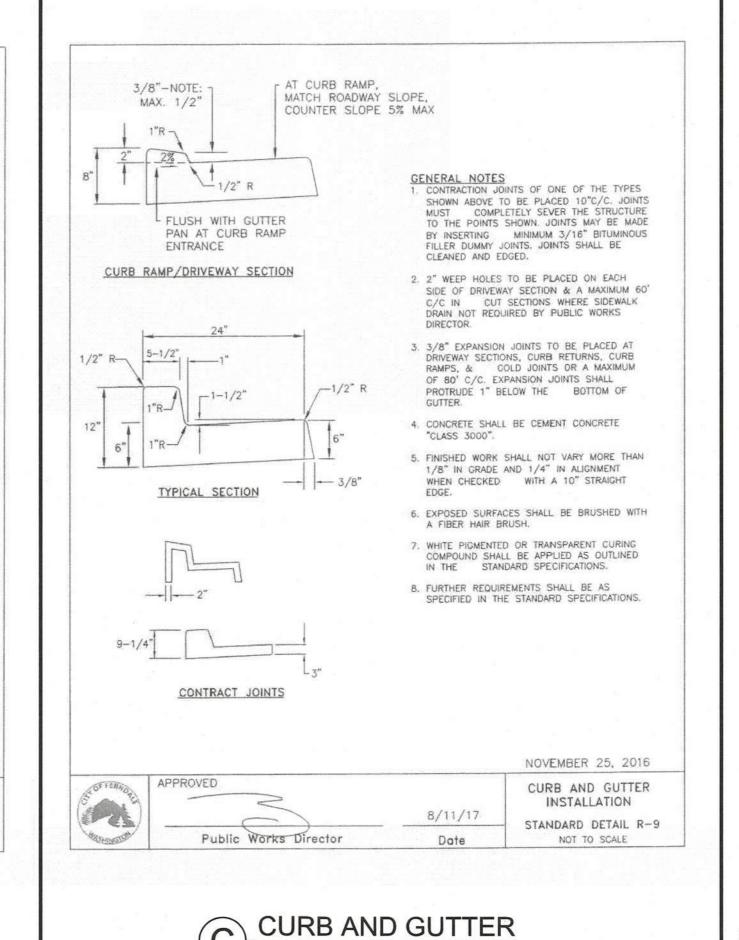
E SOIL AMENDMENTS (BMP T5.13)

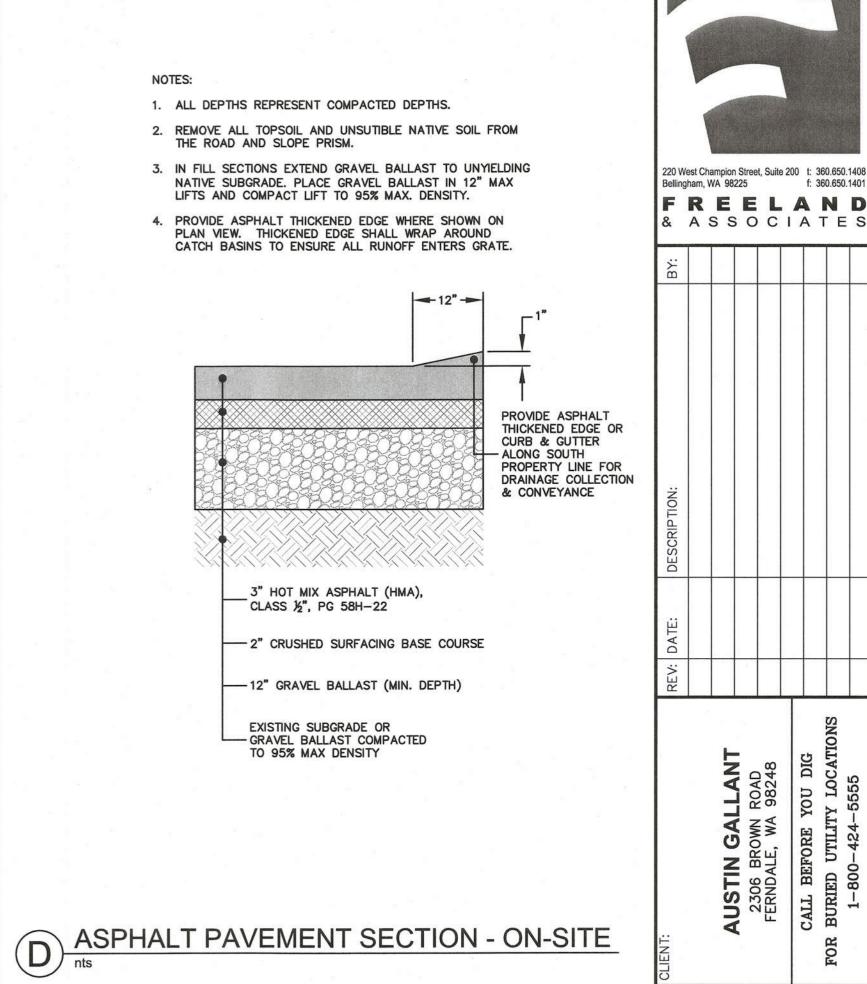


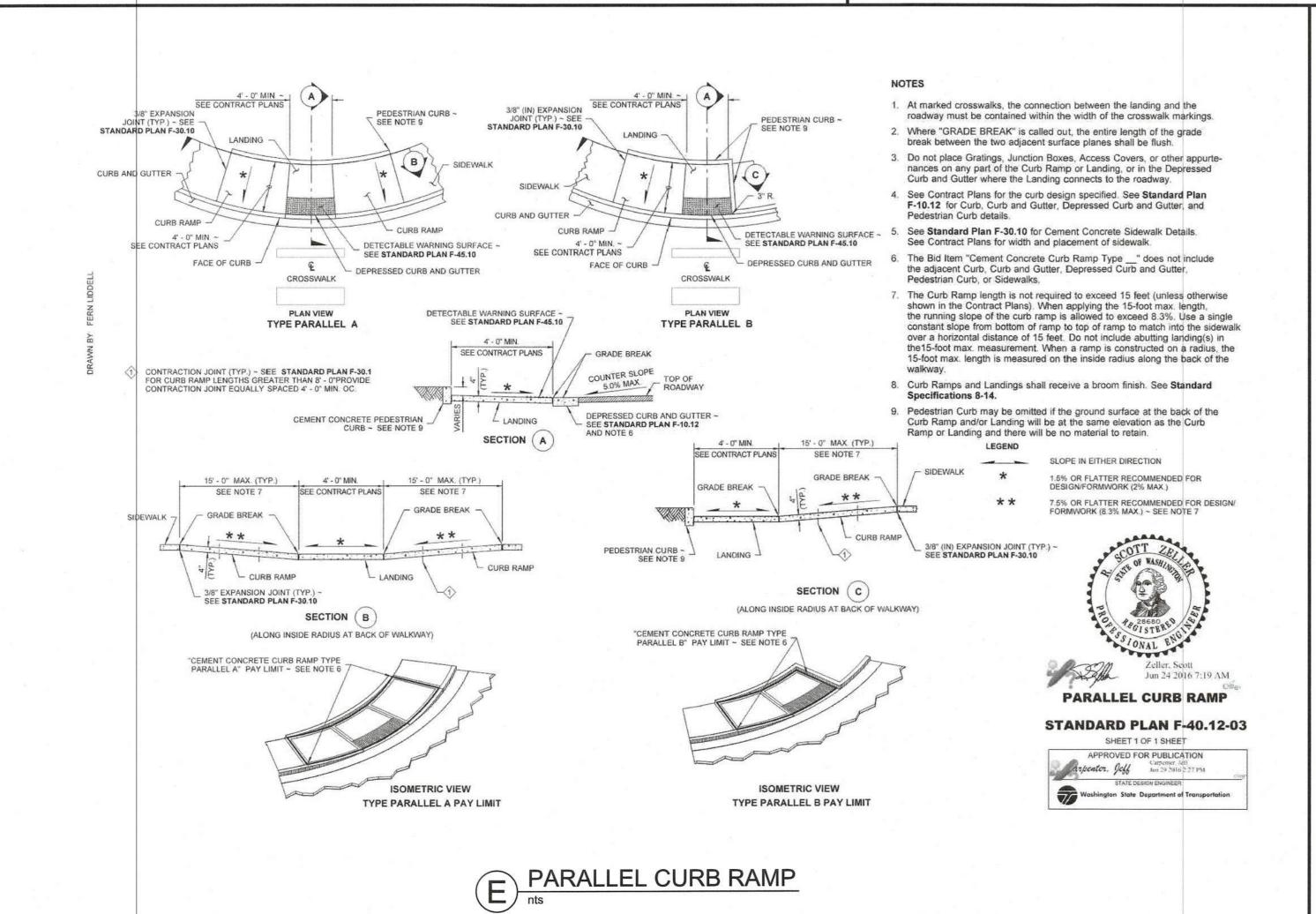
A COF MINIMUM STREET SECTION nts

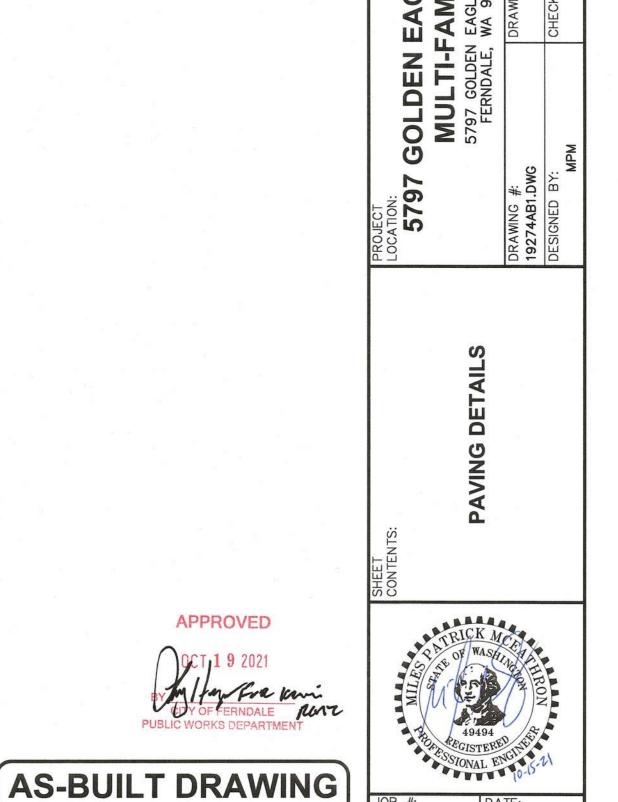


SIDEWALK DETAILS









10-15-2021

SHEET:

19274

SCALE:

HORIZ: N/A VERT: N/A

AS-BUILT NOTE:
ONLY INFORMATION NOTED AS AS-BUILT "(AB)" HAS

BEEN PROVIDED BY LAND DEVELOPMENT ENGINEERING & SURVEYING INC. DATE OF POINT FILE: 09/16/2021

DRI

