

LEGAL DESCRIPTION
A TRACT OF LAND SITUATE IN THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 20, TOWNSHIP 39 NORTH, RANGE 2 EAST OF W.M., MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT:
COMMENCING AT A POINT 1340.3 FEET SOUTH OF THE QUARTER CORNER POST BETWEEN SECTIONS 19 AND 20, SAID TOWNSHIP AND RANGE; THENCE EAST 565 FEET TO THE WEST LINE OF SCHOOL STREET; THIS POINT IS THE BEGINNING OF THE LAND HEREIN CONVEYED; THENCE SOUTH ALONG SCHOOL STREET 60 FEET; THENCE WEST 123 FEET; THENCE NORTH 60 FEET; THENCE EAST 123 FEET TO THE POINT OF BEGINNING; EXCEPT GOLDEN EAGLE DRIVE ALONG THE EASTERLY BOUNDARY THEREOF.
SITUATE IN WHATCOM COUNTY, WASHINGTON.

- GENERAL STATEMENTS**
1. PURPOSE: CIVIL ENGINEERING DESIGN
 2. CONTOURS WERE DERIVED FROM DIRECT FIELD OBSERVATIONS.
 3. THIS MAP COMPLIES WITH NATIONAL MAP ACCURACY STANDARDS.
 4. UNDERGROUND UTILITIES SHOWN ARE BASED UPON FIELD MEASUREMENT OF SURFACE MARKINGS BY OTHERS.
 5. UNDERGROUND UTILITIES WERE MARKED WITHIN PUBLIC R-O-W ONLY, AND THIS MAP DOES NOT PURPORT TO SHOW ALL U.G. UTILITIES ON PRIVATE PROPERTY, IF ANY.

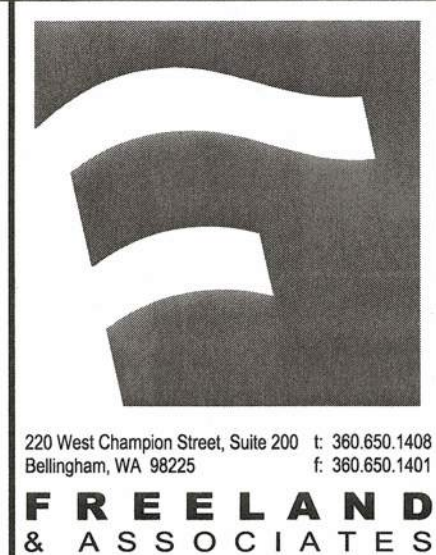
ELEVATION DATUM
NGVD 29; USED CITY OF FERDALE MON. I.D. NO. 341, EL. 42.70'
LOCATED AT AN ANGLE POINT ON VISTA DRIVE (AS SHOWN).

- SURVEYOR'S NOTES**
1. BASIS OF BEARINGS: CITY OF FERDALE MONUMENT NETWORK; REFER TO R.O.S. A.F. NO. 1507849.
 2. THIS SURVEY WAS PERFORMED ON JANUARY 31 & FEBRUARY 5 & 7, 2020. ALL MONUMENTS SHOWN HEREON WERE VISITED DURING THE COURSE OF THIS SURVEY, UNLESS OTHERWISE NOTED.
 3. ANGULAR AND LINEAR MEASUREMENTS WERE PERFORMED USING A 5-SECOND PENTAX PTS-V5 TOTAL STATION.
 4. PROCEDURES USED IN THIS SURVEY MEET OR EXCEED STANDARDS SET FORTH BY W.A.C. 332-130-090.
 5. THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND DOES NOT PURPORT TO SHOW ANY OR ALL EASEMENTS, COVENANTS, RESTRICTIONS AND/OR AGREEMENTS THAT A CURRENT TITLE REPORT MIGHT REVEAL.

DEMOLITION NOTE:
DEMOLITION AND REMOVAL OF EXISTING HOME WILL REQUIRE A SEPARATE DEMOLITION PERMIT THROUGH THE BUILDING DEPARTMENT PRIOR TO START OF WORK.

APPROVED
OCT 19 2021
By: [Signature]
CITY OF FERDALE
PUBLIC WORKS DEPARTMENT

AS-BUILT DRAWING
AS-BUILT NOTE:
ONLY INFORMATION NOTED AS AS-BUILT "(AB)" HAS BEEN PROVIDED BY LAND DEVELOPMENT ENGINEERING & SURVEYING INC. DATE OF POINT FILE: 09/16/2021



REV.	DATE	DESCRIPTION

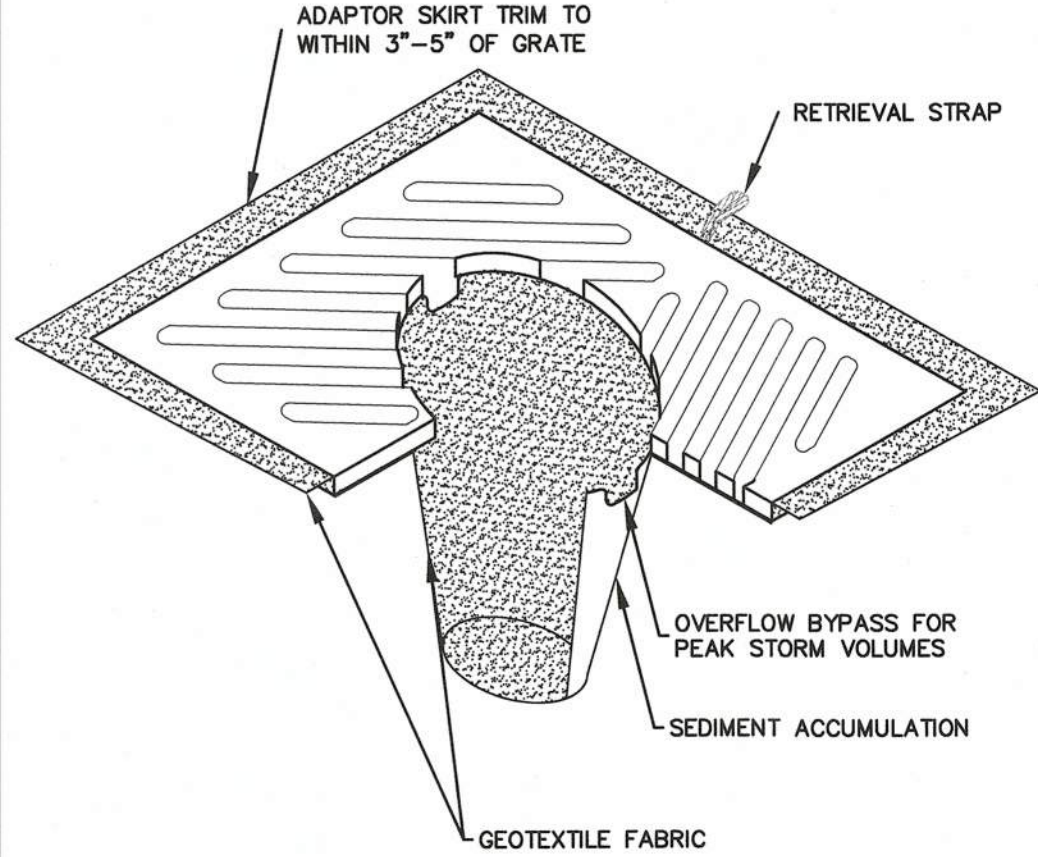
CLIENT:
AUSTIN GALLANT
2306 BROWN ROAD
FERDALE, WA 98248
CALL BEFORE YOU DIG
FOR BURIED UTILITY LOCATIONS
1-800-424-5555

PROJECT LOCATION:
5797 GOLDEN EAGLE DRIVE
MULTI-FAMILY
5797 GOLDEN EAGLE DRIVE
FERDALE, WA 98248
DRAWING #: 19274AB1.DWG
DESIGNED BY: JPS
DRAWN BY: MPW
CHECKED BY: MPW

SHEET CONTENTS:
EXISTING CONDITION PLAN



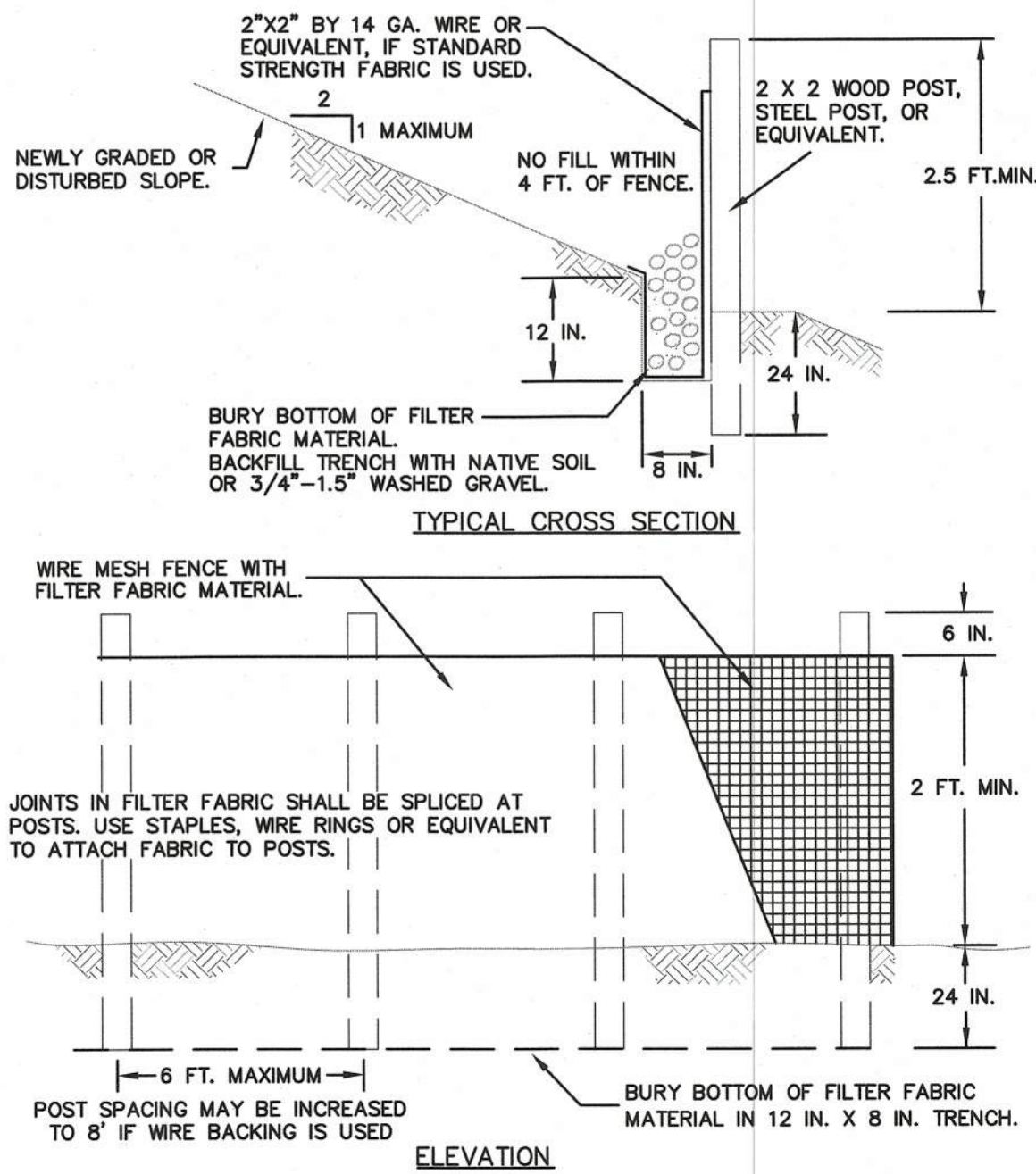
JOB #: 19274
SCALE: HORIZ: 1"=10'
VERT: N/A
DATE: 10-15-2021
SHEET: C2



NOTES:

1. INSERT SHALL BE INSTALLED PRIOR TO CLEARING AND GRADING ACTIVITY, OR UPON PLACEMENT OF A NEW CATCH BASIN.
2. SEDIMENT SHALL BE REMOVED FROM THE UNIT WHEN IT BECOMES HALF FULL .
3. SEDIMENT REMOVAL SHALL BE ACCOMPLISHED BY REMOVING THE INSERT, EMPTYING, AND RE-INSERTING IT INTO THE CATCH BASIN.

A INLET PROTECTION



NOTES:

1. FENCE SHALL NOT BE INSTALLED ON SLOPES STEEPER THAN 2 : 1.
2. JOINTS IN FILTER FABRIC SHALL BE OVERLAPPED 6 INCHES AT POST.
3. USE STAPLES, WIRE RINGS, OR EQUIVALENT TO ATTACH FABRIC TO WIRE FENCE.
4. REMOVE SEDIMENT WHEN IT REACHES 1/3 FENCE HEIGHT.

B SILT FENCE

BMP C152: Sawcutting and Surfacing Pollution Prevention

Purpose

Sawcutting and surfacing operations generate slurry and process water that contains fine particles and high pH (concrete cutting), both of which can violate the water quality standards in the receiving water. Concrete spillage or concrete discharge to surface waters of the State is prohibited. Use this BMP to minimize and eliminate process water and slurry created through sawcutting or surfacing from entering waters of the State.

Conditions of Use

Utilize these management practices anytime sawcutting or surfacing operations take place. Sawcutting and surfacing operations include, but are not limited to, the following:

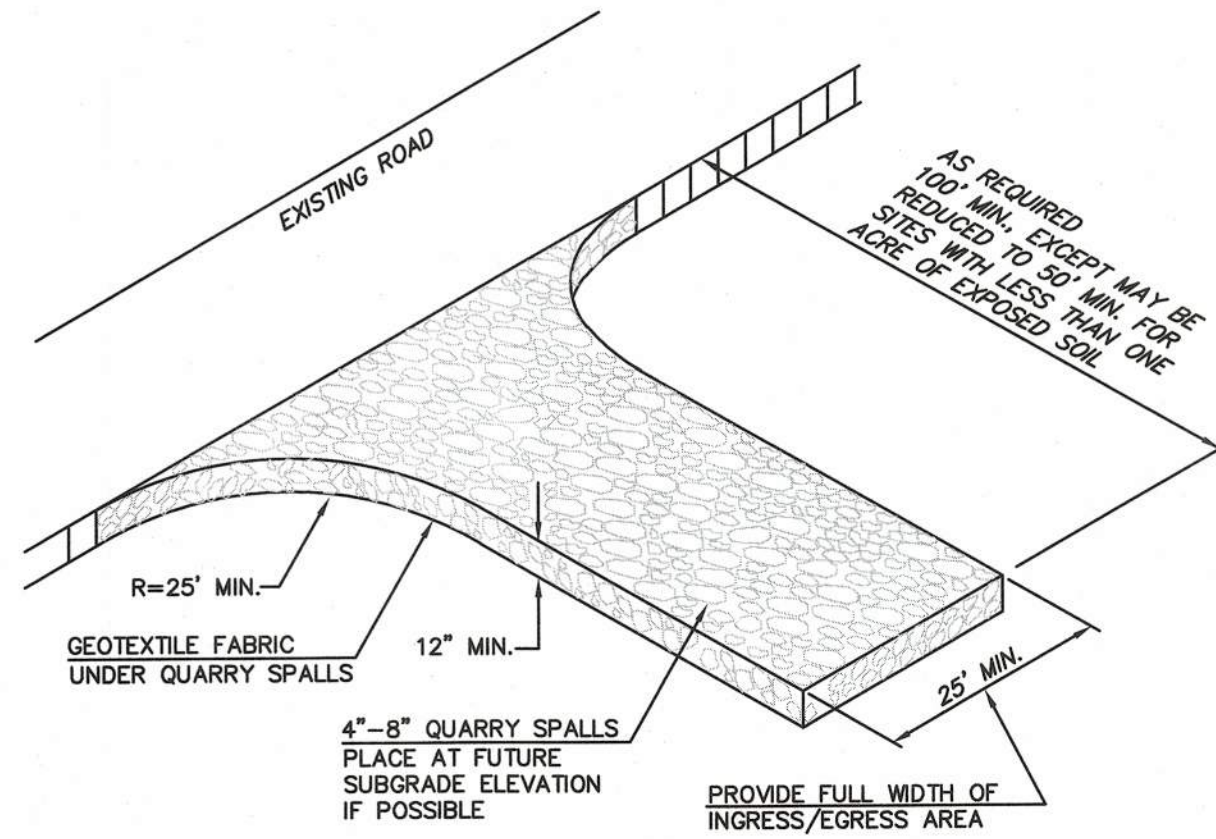
- Sawing
- Coring
- Grinding
- Roughening
- Hydro-demolition
- Bridge and road surfacing
- Vacuum slurry and cuttings during cutting and surfacing operations.
- Slurry and cuttings shall not remain on permanent concrete or asphalt pavement overnight.
- Slurry and cuttings shall not drain to any natural or constructed drainage conveyance including stormwater systems. This may require temporarily blocking catch basins.
- Dispose of collected slurry and cuttings in a manner that does not violate ground water or surface water quality standards.
- Do not allow process water generated during hydro-demolition, surface roughening or similar operations to drain to any natural or constructed drainage conveyance including stormwater systems.
- Dispose process water in a manner that does not violate ground water or surface water quality standards.
- Handle and dispose cleaning waste material and demolition debris in a manner that does not cause contamination of water. Dispose of sweeping material from a pick-up sweeper at an appropriate disposal site.

Maintenance Standards

Continually monitor operations to determine whether slurry, cuttings, or process water could enter waters of the state. If inspections show that a violation of water quality standards could occur, stop operations and immediately implement preventive measures such as berms, barriers, secondary containment, and vacuum trucks.

Volume II – Construction Stormwater Pollution Prevention - August 2012
4-44

C SAWCUTTING



MAINTENANCE:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 4 TO 6-INCH STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY STRUCTURES USED TO TRAP SEDIMENT.
2. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.

D TEMPORARY CONSTRUCTION ENTRANCE

ELEMENT #1: MARK CLEARING LIMITS

CLEARING LIMITS AND NEARBY SENSITIVE AREAS AND THEIR BUFFERS, WILL BE CLEARLY MARKED PRIOR TO BEGINNING LAND DISTURBING ACTIVITIES, WHICH INCLUDES CLEARING AND GRADING. THESE AREAS WILL BE CLEARLY MARKED IN THE FIELD TO PREVENT DAMAGE AND OFFSITE IMPACTS.

WASHINGTON STATE DEPARTMENT OF ECOLOGY BMP'S CONSIDERED FOR ELEMENT #1 INCLUDE:

- BMP C101: PRESERVING NATURAL VEGETATION
- BMP C103: HIGH VISIBILITY PLASTIC OR METAL FENCE
- BMP C104: STAKE AND WIRE FENCE

ELEMENT #2: ESTABLISH CONSTRUCTION ACCESS

IT IS RECOMMENDED THAT THE PROPOSED PARKING AREA BE ESTABLISHED AS THE SITE ACCESS POINT, CONTRACTOR PARKING, AND MATERIAL STORAGE. THIS AREA SHALL BE STABILIZED, MONITORED FOR SEDIMENT, AND MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS. EARTHWORK EQUIPMENT WILL REMAIN WITHIN THE DISTURBED AREA TO THE MAXIMUM EXTENT PRACTICABLE. CONSTRUCTION TRAFFIC THAT WILL ROUTINELY LEAVE THE SITE (E.G. WORK TRUCKS, PERSONAL VEHICLES) SHALL REMAIN ON PAVED SURFACES TO THE MAXIMUM EXTENT PRACTICABLE. PAVED ROADS & PARKING AREAS SHALL BE CLEANED AT THE END OF EACH DAY. SEDIMENT TRANSPORTED TO ROADS FROM THE SITE SHALL BE SWEEPED AND DISPOSED OF AT A CONTROLLED SEDIMENT DISPOSAL AREA ON SITE OR REMOVED OFF SITE AND DISPOSED AT AN APPROVED FILL SITE. IF STREET WASHING IS NEEDED, IT WILL ONLY OCCUR AFTER SEDIMENT HAS BEEN REMOVED AS DESCRIBED. THE RESULTING WASH WASTEWATER WOULD THEN BE CONTROLLED BY PUMPING IT BACK ON SITE. ALL CONSTRUCTION ACCESS POINTS WILL BE RESTORED TO PRE-CONSTRUCTION OR PROPOSED CONDITIONS.

WASHINGTON STATE DEPARTMENT OF ECOLOGY BMP'S CONSIDERED FOR ELEMENT #2 INCLUDE:

- BMP C105: STABILIZED CONSTRUCTION ENTRANCE
- HOUSEKEEPING/MAINTENANCE BMP: DAILY STREET SWEEPING
- HOUSEKEEPING/MAINTENANCE BMP: BMP C140 DUST CONTROL

ELEMENT #3: CONTROL FLOW RATES

FLOW RATES SHALL BE CONTROLLED TO THE MAXIMUM EXTENT PRACTICAL. CONTRACTOR SHALL PRESERVE VEGETATED AREAS ON OR NEAR THE SITE AS ALLOWABLE THROUGHOUT THE CONSTRUCTION PROCESS. TEMPORARY SEDIMENT TRAPS OR PONDS MAY BE DESIGNED, LOCATED, AND INSTALLED IF THE CONTRACTOR, PROJECT ENGINEER, OR CESOL DEEMS NECESSARY.

WASHINGTON STATE DEPARTMENT OF ECOLOGY BMP'S CONSIDERED FOR ELEMENT #3 INCLUDE:

- BMP C241: TEMPORARY SEDIMENT POND

ELEMENT #4: INSTALL SEDIMENT CONTROLS

THE DUFF LAYER, NATIVE TOPSOIL, AND NATURAL AND EXISTING VEGETATION WILL BE RETAINED IN AN UNDISTURBED STATE TO THE MAXIMUM EXTENT PRACTICABLE. ELEMENT #1 OF THIS PLAN, INCLUDING IMPLEMENTING PRESERVING NATURAL VEGETATION, WILL HELP RETAIN SOME AREAS IN AN UNDISTURBED STATE. SILT FENCING WILL BE INSTALLED DOWNHILL FROM DISTURBED AREAS TO TRAP AND RETAIN SEDIMENT ON SITE. OTHER SEDIMENT CONTROLS, SUCH AS TEMPORARY SEDIMENT TRAPS, SLUMPS, GRAVEL FILTER BERMS, STRAW WATTLES, ETC. MAY BE INSTALLED IF WARRANTED AS CONDITIONS CHANGE ON SITE DURING CONSTRUCTION.

WASHINGTON STATE DEPARTMENT OF ECOLOGY BMP'S CONSIDERED FOR ELEMENT #4 INCLUDE:

- BMP C233: SILT FENCE
- BMP C208: TRIANGULAR SILT DIKE

ELEMENT #5: STABILIZE SOILS

IF CONSTRUCTION OCCURS IN THE DRY SEASON, (5/1 THROUGH 9/30) SOILS WILL NOT REMAIN EXPOSED AND UNWORKED FOR MORE THAN 7 DAYS. IF CONSTRUCTION OCCURS IN THE WET SEASON (10/1 THROUGH 4/30) SOILS WILL NOT REMAIN EXPOSED AND UNWORKED FOR MORE THAN 2 DAYS. WHEN ACTIVE GRADING IS IN PROGRESS, THE DEADLINE FOR SOIL STABILIZATION MAY BE EXTENDED UPON DETERMINING THAT THE LIKELIHOOD OF EROSION IMPACTS IS LOW BASED ON THE TYPE AND AMOUNT OF SOIL EXPOSED, SITE TOPOGRAPHY, POTENTIAL FOR DISCHARGE TO CRITICAL AREAS AND LAKES, AND OTHER FACTORS. IN ADDITION, WEATHER CONDITIONS WILL CONTINUALLY BE MONITORED, INCLUDING BEFORE HOLIDAYS AND WEEKENDS, FOR PURPOSES OF PREPARING THE SITE FOR PREDICTED WEATHER CONDITIONS. BMP'S THAT ARE EFFECTIVE IN STABILIZING SOILS AND PROTECTING THEM FROM EXPOSURE TO RAIN AND WIND OR OTHER CLIMATIC CONDITIONS WILL BE IMPLEMENTED THROUGHOUT THE PROJECT. EVALUATION AND MONITORING OF BMP EFFECTIVENESS WILL OCCUR ON A DAILY BASIS. IN ADDITION, IN THE EVENT OF FORECASTED PRECIPITATION EVENTS, ADDITIONAL MEASURES TO STABILIZE SOILS WILL BE TAKEN.

BMP'S THAT WILL BE CONSIDERED THROUGHOUT CONSTRUCTION INCLUDE BUT ARE NOT LIMITED TO TEMPORARY AND PERMANENT SEEDING, SODDING, MULCHING, PLASTIC COVERING, EROSION CONTROL FABRICS AND MATTING, THE EARLY APPLICATION OF GRAVEL BASE ON AREAS TO BE PAVED, AND DUST CONTROL.

WASHINGTON STATE DEPARTMENT OF ECOLOGY BMP'S CONSIDERED FOR ELEMENT #5 INCLUDE:

- BMP C120: TEMPORARY AND PERMANENT SEEDING
- BMP C121: MULCHING
- BMP C122: NETS AND BLANKETS
- BMP C123: PLASTIC COVERING
- BMP C124: SODDING
- BMP C125: TOPSOILING
- BMP C140: DUST CONTROL

ELEMENT #6: PROTECT SLOPES

SIGNIFICANT CUT OR FILL SLOPES ARE NOT PROPOSED AS PART OF THIS PROJECT.

ELEMENT #7: PROTECT DRAIN INLETS

STORM DRAIN INLETS ARE PROPOSED AS PART OF THIS PROJECT. OPERABLE STORM DRAIN INLETS ON THE SITE AND WITHIN 500 FEET DOWNSTREAM OF THE CONSTRUCTION AREA ROADS WILL BE PROTECTED SO THAT STORMWATER RUNOFF DOES NOT ENTER THE CONVEYANCE SYSTEM WITHOUT FILTRATION OR OTHER TREATMENT FOR SEDIMENT. STORM DRAIN INLET PROTECTION WILL BE USED TO DETERMINE THE MOST APPROPRIATE INLET PROTECTION DESIGN FOR THE SITE AND THE DOWNSTREAM AREA.

INLETS WILL BE INSPECTED WEEKLY AT A MINIMUM AND DAILY DURING STORM EVENTS. INLET PROTECTION DEVICES SHALL BE CLEANED OR REMOVED AND REPLACED BEFORE SIX INCHES OF SEDIMENT CAN ACCUMULATE. CONSTRUCTION ACCESS POINTS AND APPROACHES WILL BE MONITORED AND SWEEPED TO MINIMIZE THE POTENTIAL OF SEDIMENT TRANSPORT. IF STREET WASHING OCCURS, THE WASH WASTEWATER WILL BE PUMPED BACK ON SITE.

WASHINGTON STATE DEPARTMENT OF ECOLOGY BMP'S CONSIDERED FOR ELEMENT #7 INCLUDE:

- BMP C220: STORM DRAIN INLET PROTECTION

ELEMENT #8: STABILIZE CHANNELS AND OUTLETS

NO NEW MANMADE CHANNELS OR OUTLETS ARE PROPOSED AS PART OF THIS PROJECT.

ELEMENT #9: CONTROL POLLUTANTS

WASTE MATERIALS GENERATED ON SITE WILL BE HANDLED AND DISPOSED OF IN A MANNER THAT DOES NOT CAUSE CONTAMINATION OF STORMWATER, INCLUDING COVERING SOIL STOCKPILES. ROUTINE INSPECTIONS OF THE WASTE MATERIAL STORAGE AREAS WILL BE CONDUCTED TO MAKE SURE THAT LEAKS OR SPILLS DO NOT OCCUR. ANY LEAKAGE OR SPILLS WILL BE CLEANED UP IMMEDIATELY.

MAINTENANCE OF HEAVY EQUIPMENT INVOLVING OIL CHANGES, HYDRAULIC SYSTEM DRAIN DOWN, SOLVENT AND DE-GREASING CLEANING AND/OR OTHER ACTIVITIES THAT MAY RESULT IN DISCHARGE OR SPILLAGE OF POLLUTANTS TO THE GROUND OR INTO STORMWATER RUNOFF WILL BE CONDUCTED WITH SPILL PREVENTION MEASURES IN PLACE, INCLUDING CONDUCTING MAINTENANCE ON A TEMPORARY PAD THAT CAN BE USED TO CAPTURE LARGE SPILLS AND THE USE OF DRIP PANS. IN THE EVENT THAT EMERGENCY REPAIRS NEED TO BE PERFORMED AND CLIMATIC CONDITIONS MAY RESULT IN A PRECIPITATION EVENT PRIOR TO THE REPAIR BEING COMPLETED, THE REPAIR AREA, WHICH INCLUDES THE VEHICLE, WILL BE COVERED WITH TARP OR OTHER PLASTIC SHEETING. DISCHARGES, SPILLS, OR LEAKS WILL BE CLEANED IMMEDIATELY. THE NOTIFICATION PROCEDURE OUTLINED IN THE PERMANENT SITE SWPPP IS AS FOLLOWS:

ALL SPILLS WILL BE REPORTED TO THE DEPARTMENT OF ECOLOGY, SPILL RESPONSE PROGRAM (425) 649-7000.

BMP'S CONSIDERED FOR ELEMENT #9 INCLUDE: SPILL CLEANUP AND RESPONSE PRACTICES

ELEMENT #10: CONTROL DE-WATERING

EXCEPT FOR THE SANITARY SEWER TAP, NO DE-WATERING IS PROPOSED AS PART OF THIS PROJECT. IF NECESSARY, CLEAN, NON-TURBID DE-WATERING WATER, SUCH AS WELL-POINT GROUND WATER, CAN BE DISCHARGED TO SYSTEMS TRIBUTARY TO STATE SURFACE WATERS, PROVIDED THE DE-WATERING FLOW DOES NOT CAUSE EROSION OR FLOODING OF RECEIVING WATERS. THESE CLEAN WATERS SHOULD NOT BE ROUTED THROUGH A STORMWATER SEDIMENT POND.

HIGHLY TURBID OR CONTAMINATED DEWATERING WATER FROM CONSTRUCTION EQUIPMENT OPERATION, CONCRETE TREMIE, POUR, OR WORK INSIDE A COFFERDAM SHALL BE HANDLED SEPARATELY FROM STORMWATER.

OTHER DISPOSAL OPTIONS, DEPENDING ON SITE CONSTRAINTS, MAY INCLUDE:

- INFILTRATION
- TRANSPORT OFF SITE IN VEHICLE, SUCH AS A VACUUM FLUSH TRUCK, FOR LEGAL DISPOSAL IN A MANNER THAT DOES NOT POLLUTE STATE WATERS,
- ON-SITE TREATMENT USING CHEMICAL TREATMENT OR OTHER SUITABLE TREATMENT TECHNOLOGIES
- SANITARY SEWER DISCHARGE WITH LOCAL SEWER DISTRICT APPROVAL, OR
- USE OF A SEDIMENTATION BAG WITH OUTFALL TO A DITCH OR SWALE FOR SMALL VOLUMES OF LOCALIZED DEWATERING.

ELEMENT #11: MAINTAIN BMP'S

ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL BMP'S WILL BE INSPECTED BY THE CESOL, AND SHALL BE MAINTAINED, AND REPAIRED BY THE CONTRACTOR TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION. MAINTENANCE AND REPAIR SHALL BE CONDUCTED IN ACCORDANCE WITH THE RELEVANT BMP IDENTIFIED IN ELEMENTS #1 THROUGH #10. TEMPORARY EROSION AND SEDIMENT CONTROLS IDENTIFIED ABOVE WILL BE INSPECTED DAILY DURING THE WET SEASON. NEEDED REPAIRS AND MAINTENANCE WILL OCCUR WITHIN SEVEN (7) DAYS OR, IN THE EVENT OF A FORECAST OF INCLEMENT WEATHER, REPAIRS AND MAINTENANCE WILL OCCUR IMMEDIATELY.

TEMPORARY EROSION AND SEDIMENT CONTROL BMP'S WILL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY BMP'S ARE NO LONGER NEEDED. TRAPPED SEDIMENT WILL BE REMOVED OR STABILIZED ON SITE. DISTURBED SOIL, RESULTING FROM REMOVAL OF BMP'S OR VEGETATION SHALL BE PERMANENTLY STABILIZED.

ELEMENT #12: MANAGE THE PROJECT

CONSTRUCTION EXPOSED AREAS DURING THE CLEARING AND GRADING PROCESS WILL BE MULCHED AS PART OF THE CLEARING AND GRADING ACTIVITIES. CLEARING AND GRADING ACTIVITIES WILL OCCUR AFTER THE APPLICABLE PERMITS HAVE BEEN OBTAINED. REVEGETATION OF EXPOSED AREAS AND MAINTENANCE OF THAT VEGETATION WILL OCCUR AS PART OF THE PLANTING PHASE OF THE PROJECT TO BE INSTALLED AFTER SUB-GRADE ROAD BASE MATERIAL HAS BEEN INSTALLED AND PRIOR TO FINAL GRAVEL SURFACING.

SEASONAL WORK LIMITATIONS

FROM MAY 1 THROUGH SEPTEMBER 30, SOIL WILL NOT BE EXPOSED/UNWORKED FOR 7 DAYS. FROM OCTOBER 1 THROUGH APRIL 30, SOIL WILL NOT REMAIN EXPOSED AND UNWORKED FOR MORE THAN 2 DAYS. IN ADDITION, WEATHER CONDITIONS WILL CONTINUALLY BE MONITORED INCLUDING BEFORE HOLIDAYS AND WEEKENDS FOR PURPOSES OF PREPARING THE SITE FOR PREDICTED WEATHER CONDITIONS. BMP'S THAT ARE EFFECTIVE IN STABILIZING SOILS AND PROTECTING THEM FROM EXPOSURE TO RAIN AND WIND OR OTHER CLIMATIC CONDITIONS WILL BE IMPLEMENTED THROUGHOUT THE PROJECT. INSPECTION AND EVALUATION OF THE EFFECTIVENESS OF THE BMP'S WILL OCCUR ON A DAILY BASIS. IN ADDITION, IN THE EVENT OF FORECASTED PRECIPITATION EVENTS, ADDITIONAL MEASURES TO STABILIZE SOILS WILL BE TAKEN.

COORDINATION WITH UTILITIES AND OTHER CONTRACTORS

THE STORMWATER MANAGEMENT REQUIREMENTS FOR ALL ASPECTS OF THE CONSTRUCTION PROJECT, INCLUDING UTILITIES, WERE CONSIDERED IN PREPARING THE CONSTRUCTION SWPPP.

INSPECTION AND MONITORING

AS PREVIOUSLY MENTIONED, ALL BMP'S WILL BE INSPECTED, MAINTAINED, AND REPAIRED AS NEEDED TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION. IN THE EVENT THAT INSPECTION AND/OR MONITORING REVEALS THAT THE BMP'S IDENTIFIED IN THIS CONSTRUCTION SWPPP ARE INADEQUATE, DUE TO THE ACTUAL DISCHARGE OF OR POTENTIAL TO DISCHARGE A SIGNIFICANT AMOUNT OF ANY POLLUTANT, THIS SWPPP SHALL BE MODIFIED, AS APPROPRIATE, IN A TIMELY MANNER.

MAINTENANCE OF THE CONSTRUCTION SWPPP

THE CONSTRUCTION SWPPP WILL BE RETAINED ON-SITE AND WILL BE UPDATED ON A REGULAR BASIS. MODIFICATIONS TO THE CONSTRUCTION SWPPP WILL BE MADE WHENEVER THERE IS A SIGNIFICANT CHANGE IN THE DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE OF ANY BMP.

APPROVED

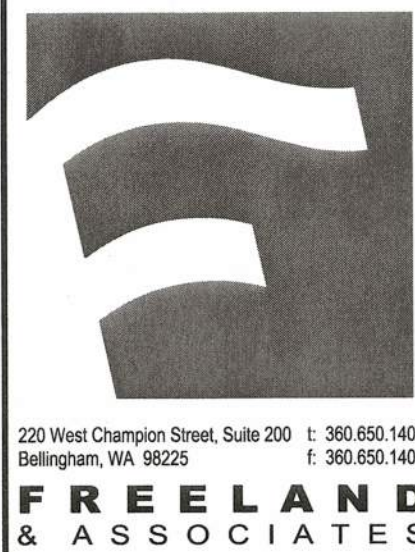
ELEMENT #13: PROTECT LOW IMPACT DEVELOPMENT BMP'S

ALL PERVIOUS AREAS DISTURBED DURING CONSTRUCTION MUST BE RESTORED TO MEET BMP TS.13. PROTECT RESTORED AREAS FROM VEHICULAR TRAFFIC OR OTHER ACTIVITIES THAT MAY DEGRADE SOIL QUALITY AND DEPTH IS MAINTAINED.

AS-BUILT DRAWING

AS-BUILT NOTE:

ONLY INFORMATION NOTED AS AS-BUILT ("AB") HAS BEEN PROVIDED BY LAND DEVELOPMENT ENGINEERING & SURVEYING INC. DATE OF POINT FILE: 09/16/2021

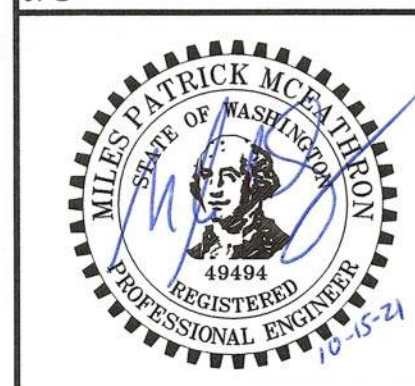


BY:	
DESCRIPTION:	
REV:	
DATE:	

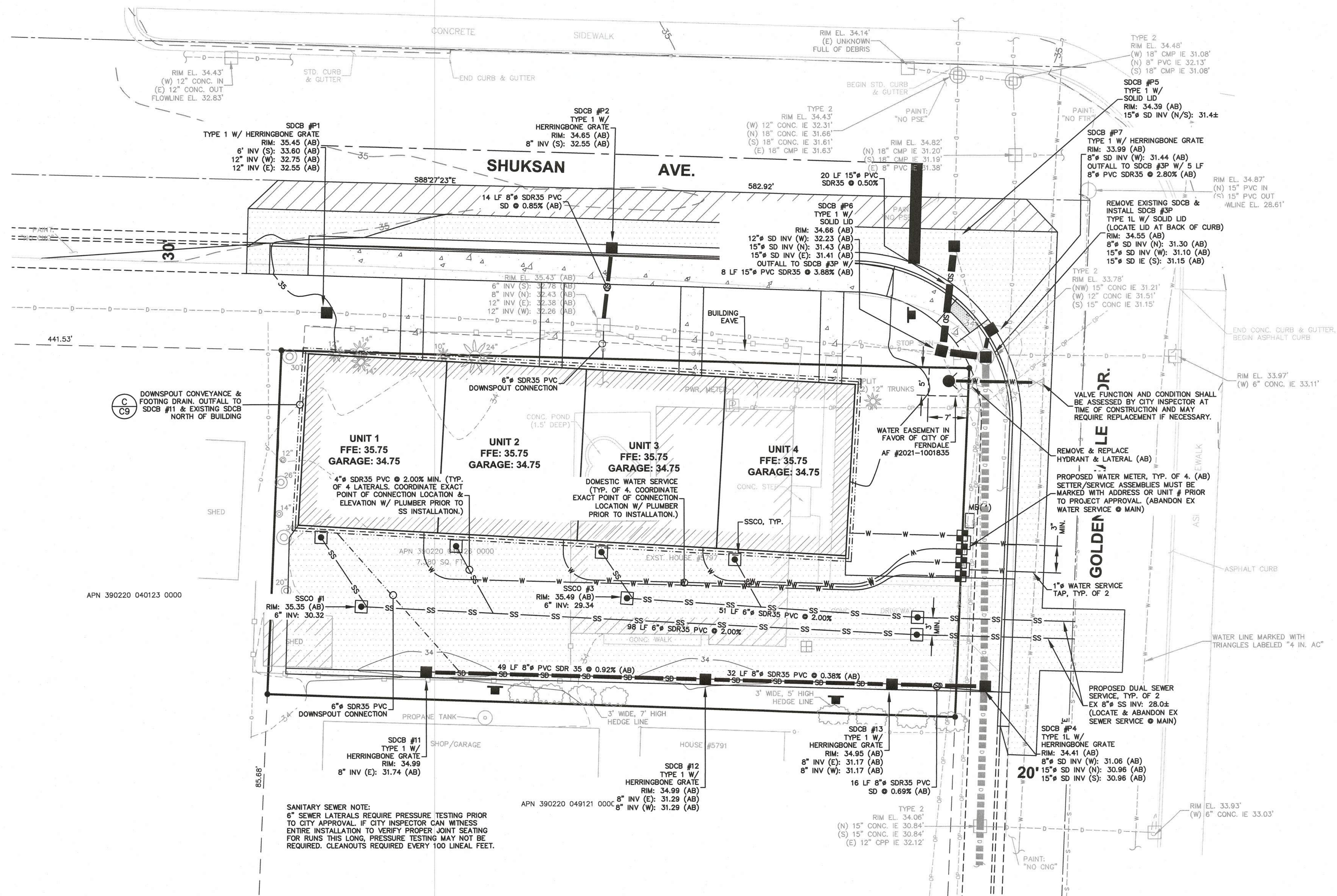
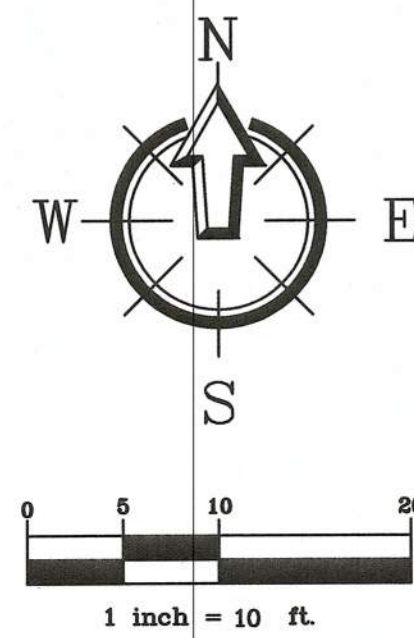
AUSTIN GALLANT 2306 BROWN ROAD FERDALE, WA 98248	CALL BEFORE YOU DIG FOR BURIED UTILITY LOCATIONS 1-800-424-5655
---	--

5797 GOLDEN EAGLE DRIVE MULTI-FAMILY 5797 GOLDEN EAGLE DRIVE FERDALE, WA 98248	DRAWN BY: MPW CHECKED BY: JPS
---	--

TEMPORARY EROSION & SEDIMENTATION CONTROL DETAILS & NOTES	DRAWING #: 19274AB/DWG DESIGNED BY: MPW
--	--



JOB #: 19274	DATE: 10-15-2021
SCALE: N/A VERT: N/A	SHEET: C4



APPROVED

OCT 19 2021
Phyllis K. Koni
CITY OF FERDALE
PUBLIC WORKS DEPARTMENT

AS-BUILT DRAWING

AS-BUILT NOTE:
ONLY INFORMATION NOTED AS AS-BUILT ("AB") HAS
BEEN PROVIDED BY LAND DEVELOPMENT ENGINEERING
& SURVEYING INC. DATE OF POINT FILE: 09/16/2021

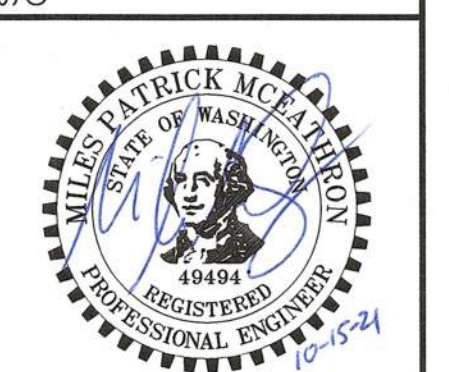


BY:	DESCRIPTION:	REV:	DATE:

CLIENT:
AUSTIN GALLANT
2306 BROWN ROAD
FERDALE, WA 98248
CALL BEFORE YOU DIG
FOR BURIED UTILITY LOCATIONS
1-800-424-5555

PROJECT LOCATION:
5797 GOLDEN EAGLE DRIVE
MULTI-FAMILY
5797 GOLDEN EAGLE DRIVE
FERDALE, WA 98248
DRAWN BY: MPM
CHECKED BY: JPS
DRAWING #: 19274AB1.DWG
DESIGNED BY: MPM

SHEET CONTENTS:
WATER, SEWER & DRAINAGE PLAN



JOB #:	19274	DATE:	10-15-2021
SCALE:	HORIZ: 1"=10'	SHEET:	C5
VERT:	N/A		

00719.005 10/19/21 RH



220 West Champion Street, Suite 200 t: 360.650.1400
Bellingham, WA 98225 f: 360.650.1400

F R E E L A N D
& A S S O C I A T E S

[illegible]

AUSTIN GALLANT
2306 BROWN ROAD
FERNDALE, WA 98248

CALL BEFORE YOU DIG
FOR BURIED UTILITY LOCATIONS
1-800-424-5555

**5797 GOLDEN EAGLE DRIVE
MULTI-FAMILY**

DRAWN BY:	MDM
-----------	-----

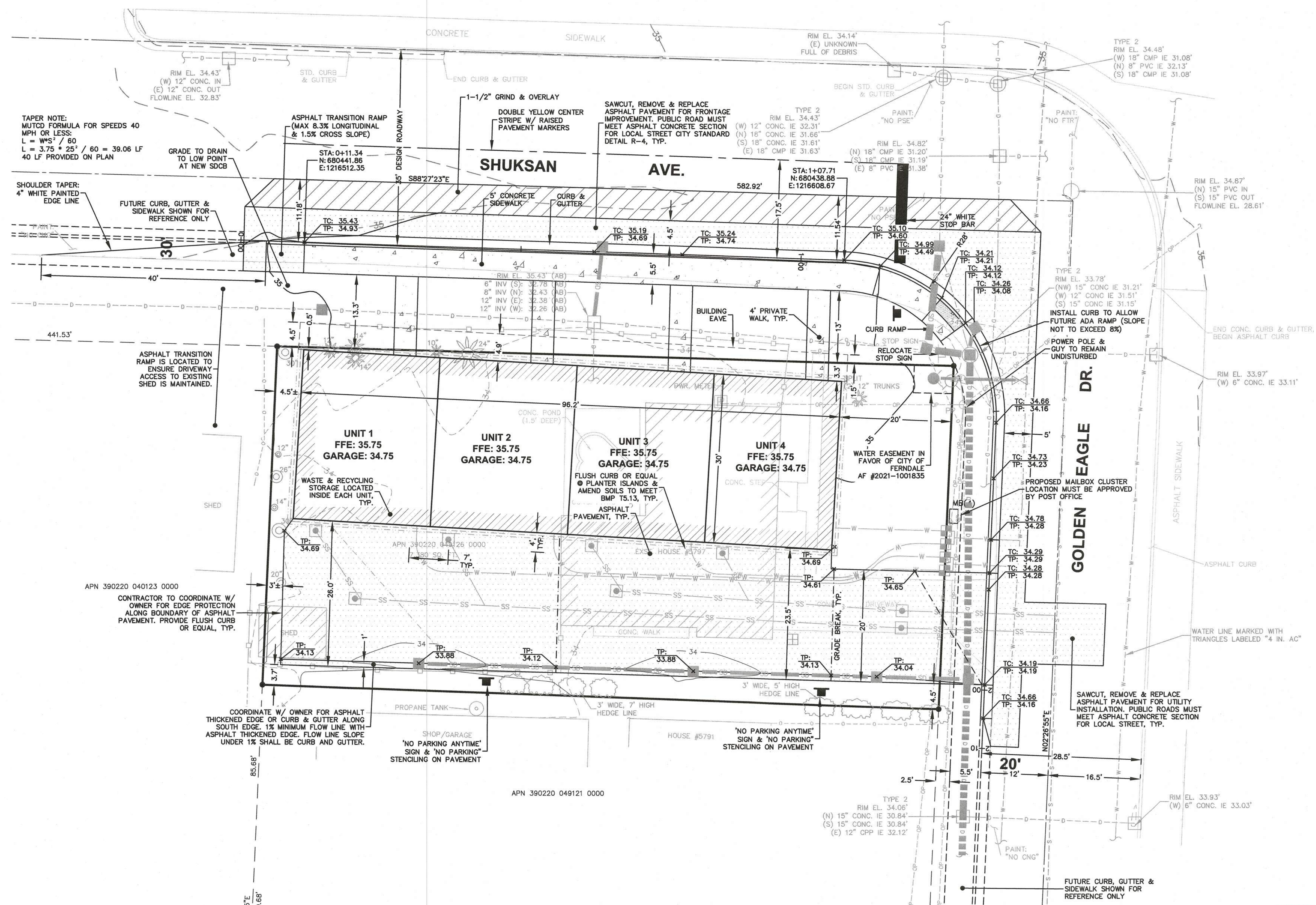
CHECKED BY: JPS

DESIGNED BY: MPM

GRADING & PAVING PLAN



JOB #: 19274	DATE: 10-15-2021
SCALE: HORIZ: 1"=10' VERT: N/A	SHEET: C6

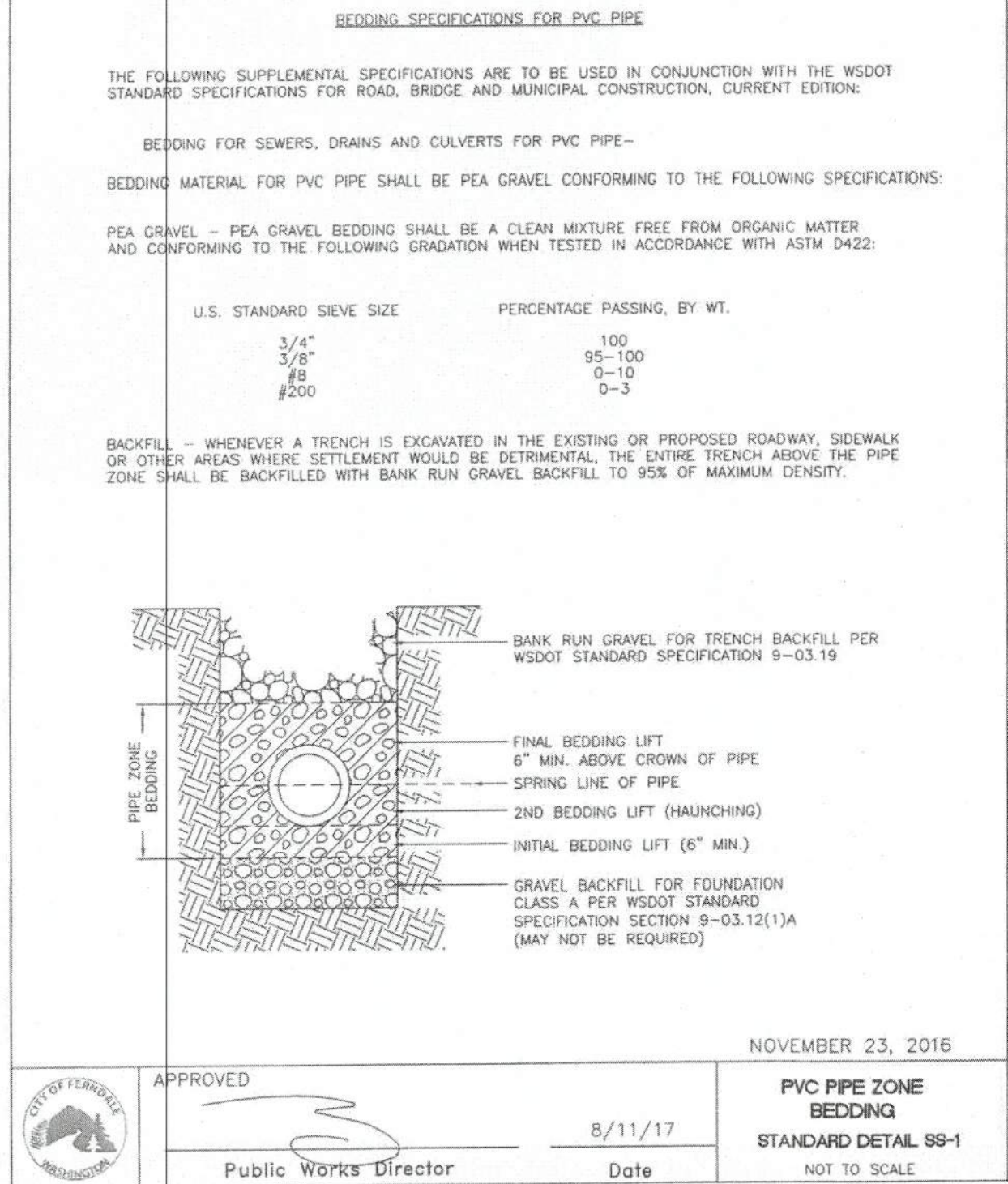


APPROVED

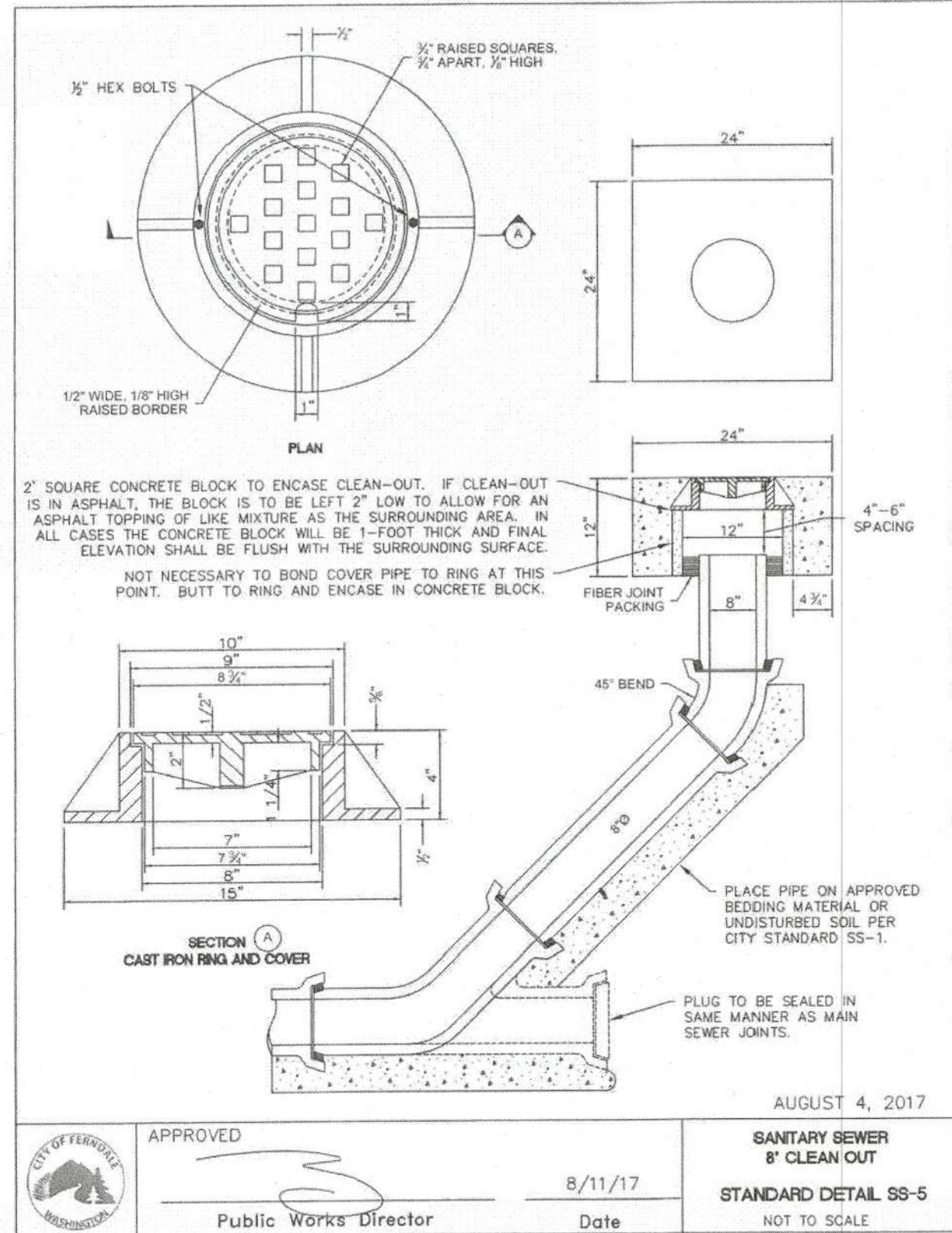
OCT 19 2021
BY *Anthony For Kevin*
CITY OF FERNDALE
PUBLIC WORKS DEPARTMENT

AS-BUILT DRAWING

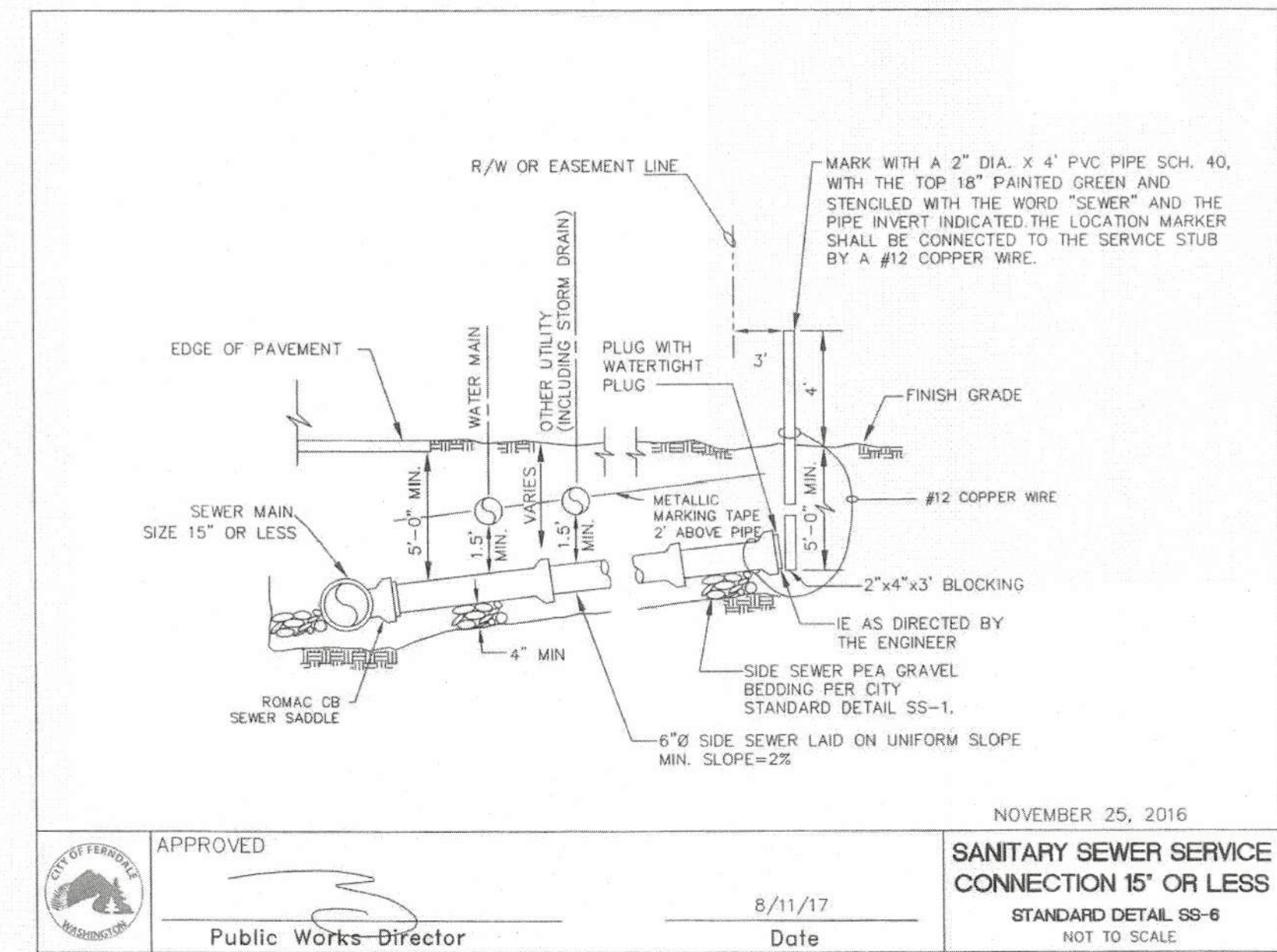
AS-BUILT NOTE:
ONLY INFORMATION NOTED AS AS-BUILT "(AB)" HAS
BEEN PROVIDED BY LAND DEVELOPMENT ENGINEERING
& SURVEYING INC. DATE OF POINT FILE: 09/16/2021



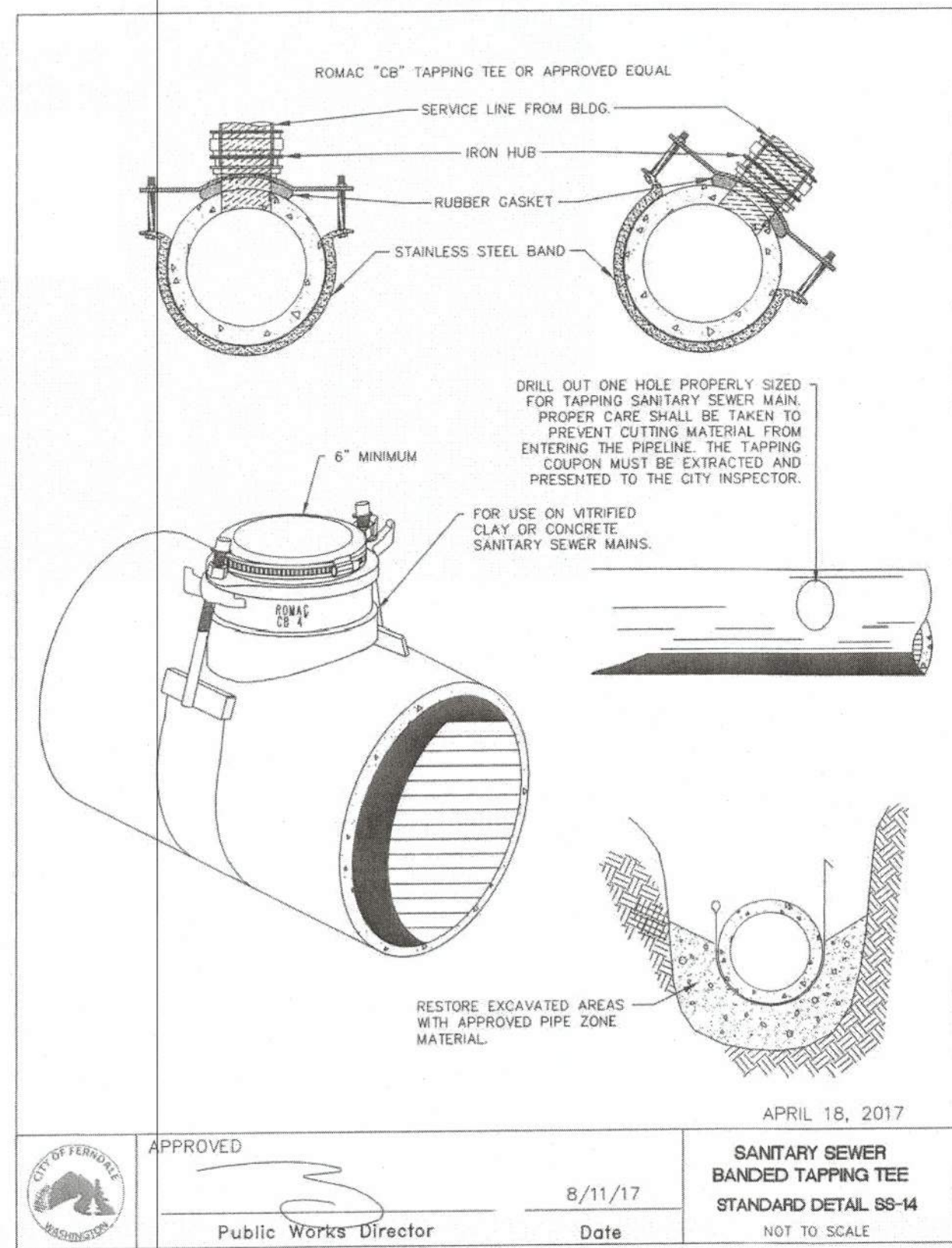
A PVC PIPE ZONE BEDDING



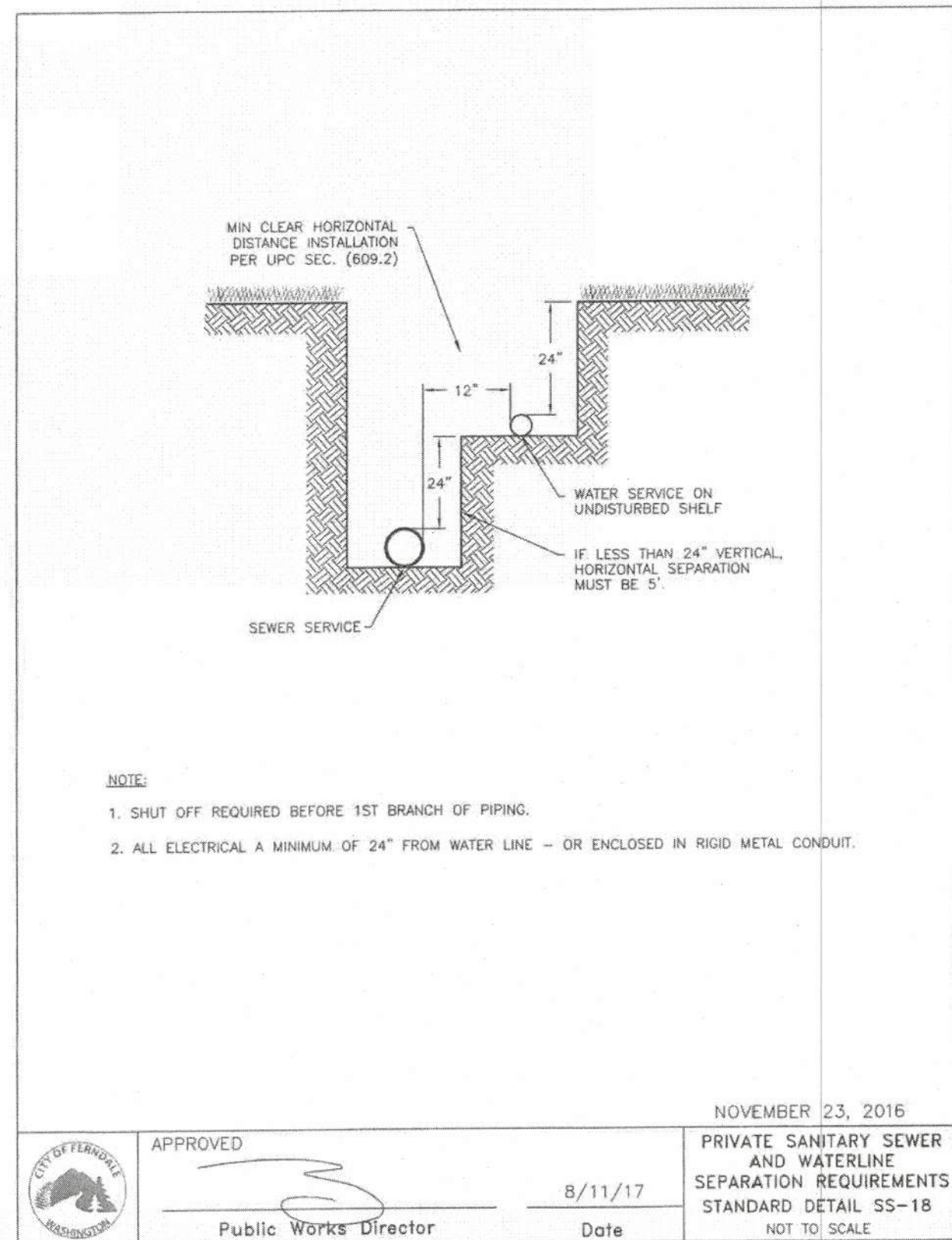
B SANITARY SEWER CLEAN OUT



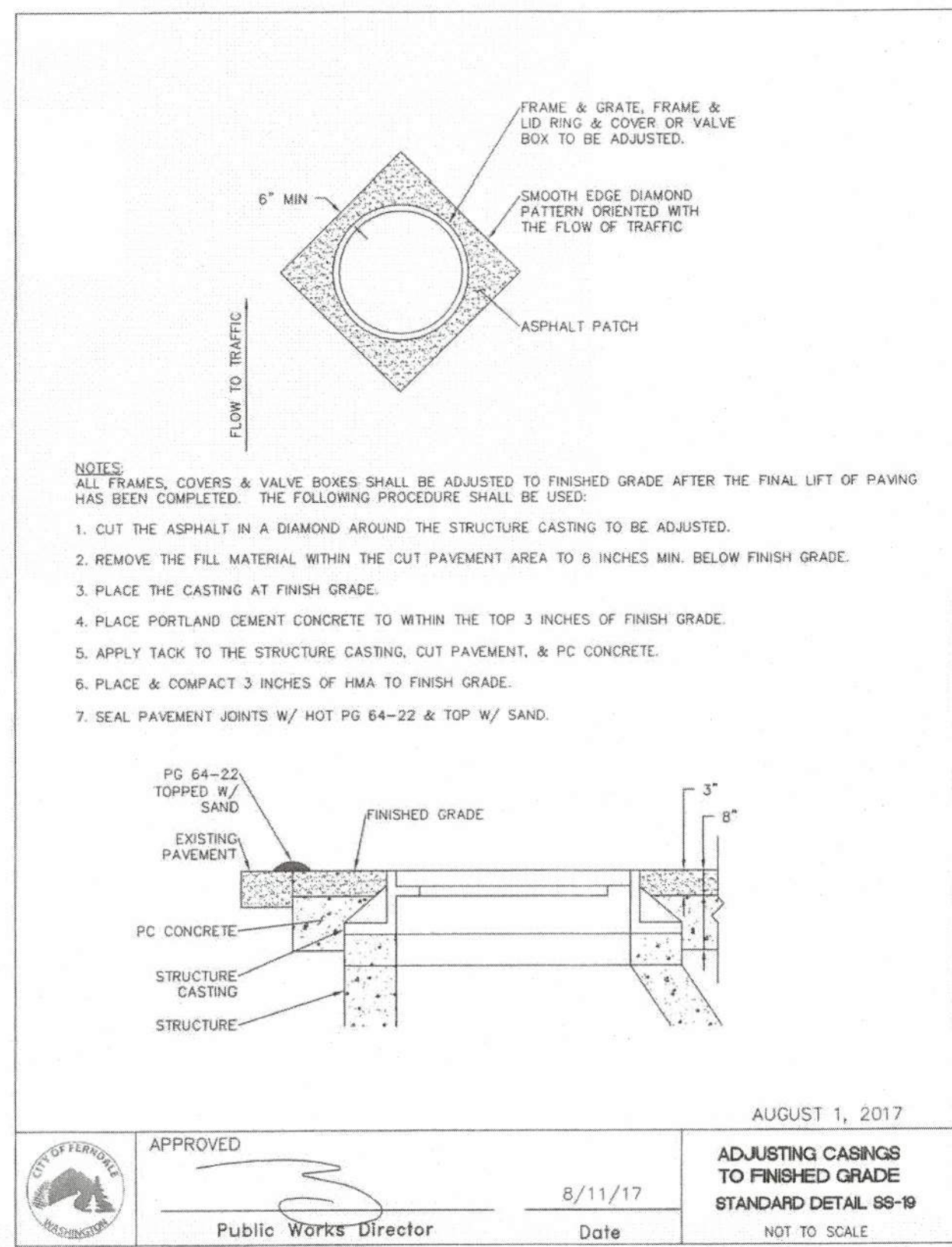
C SANITARY SEWER SIDE SERVICE



D BANDING TAPPING TEE



E SEPARATION REQUIREMENTS



F ADJUST CASTINGS TO FINISH GRADE

APPROVED

OCT 19 2021

Public Works Department

AS-BUILT DRAWING

AS-BUILT NOTE: ONLY INFORMATION NOTED AS AS-BUILT ("AB") HAS BEEN PROVIDED BY LAND DEVELOPMENT ENGINEERING & SURVEYING INC. DATE OF POINT FILE: 09/16/2021

220 West Champion Street, Suite 200
Bellevue, WA 98005
F: 360.650.1408
E: 360.650.1401

FREELAND & ASSOCIATES

BY: _____

DESCRIPTION: _____

REV: DATE: _____

CLIENT: **AUSTIN GALLANT**
2306 BROWN ROAD
FERNDALE, WA 98248
CALL BEFORE YOU DIG
FOR BURIED UTILITY LOCATIONS
1-800-424-5555

PROJECT LOCATION: **5797 GOLDEN EAGLE DRIVE**
MULTI-FAMILY
5797 GOLDEN EAGLE DRIVE
FERNDALE, WA 98248

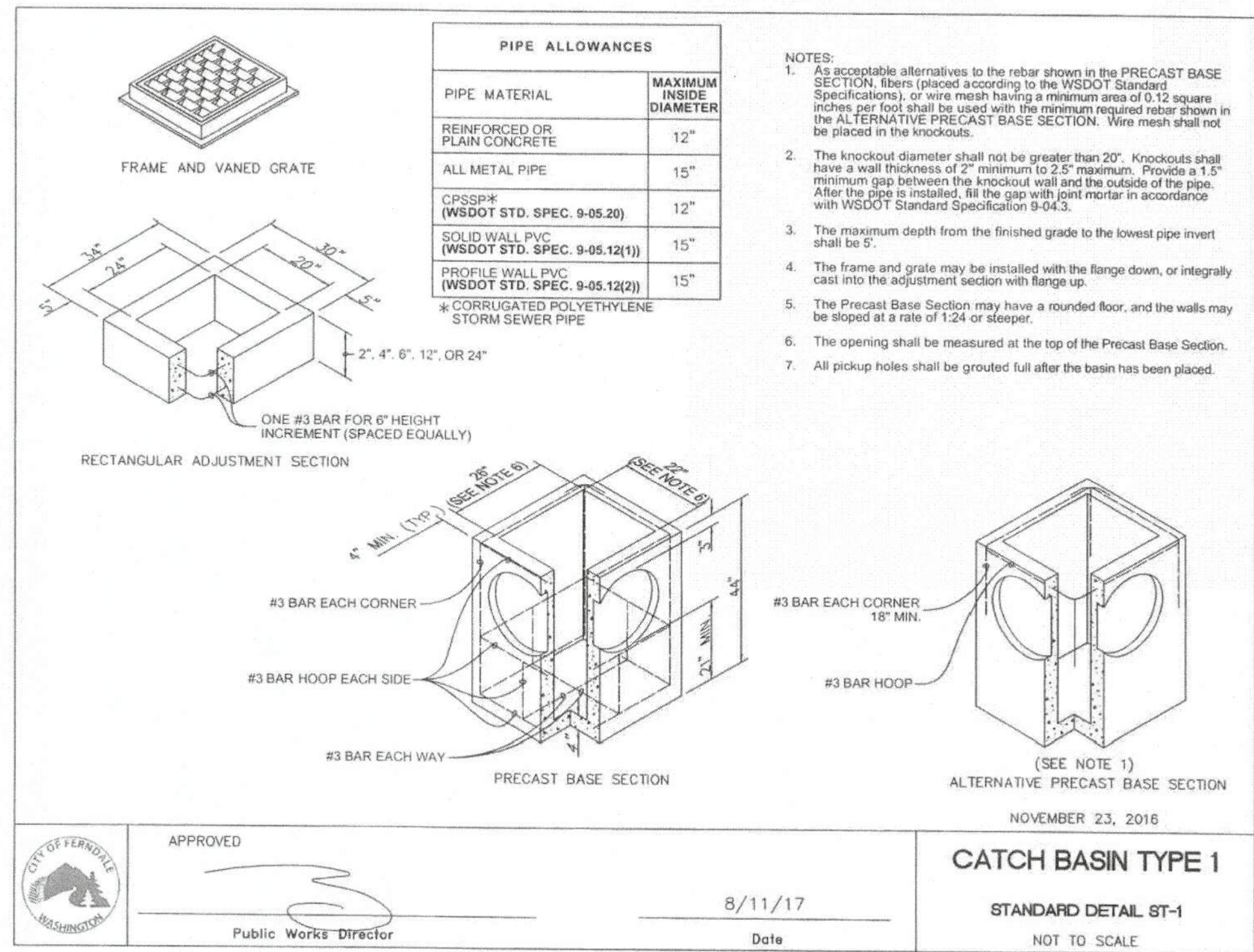
DRAWN BY: MPM
CHECKED BY: JPS

DRAWING #: 19274/ABLDWG
DESIGNED BY: MPM

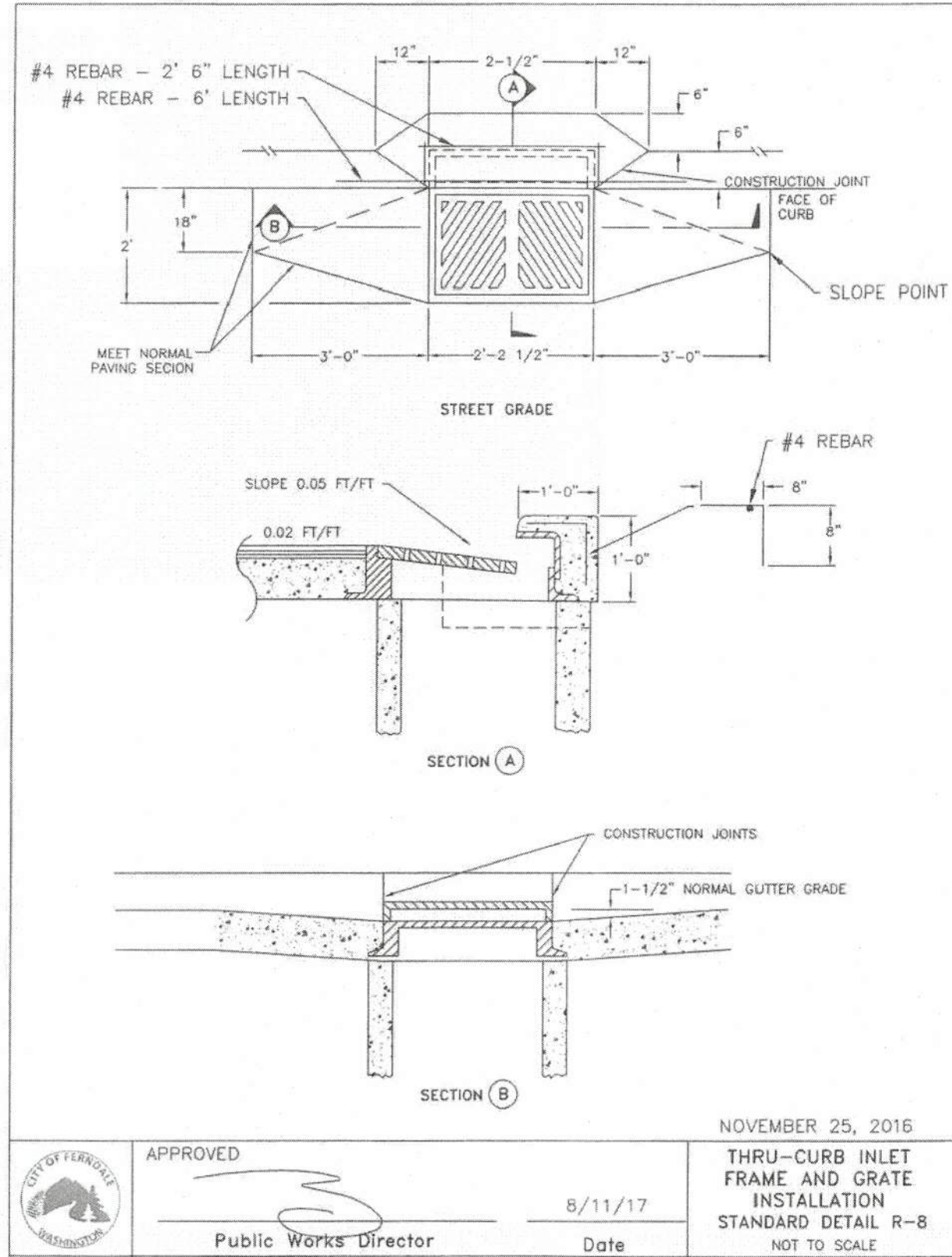
SHEET CONTENTS: **SEWER DETAILS**

JOBS: 19274
DATE: 10-15-2021
SCALE: HORIZ: N/A
VERT: N/A
SHEET: **C7**

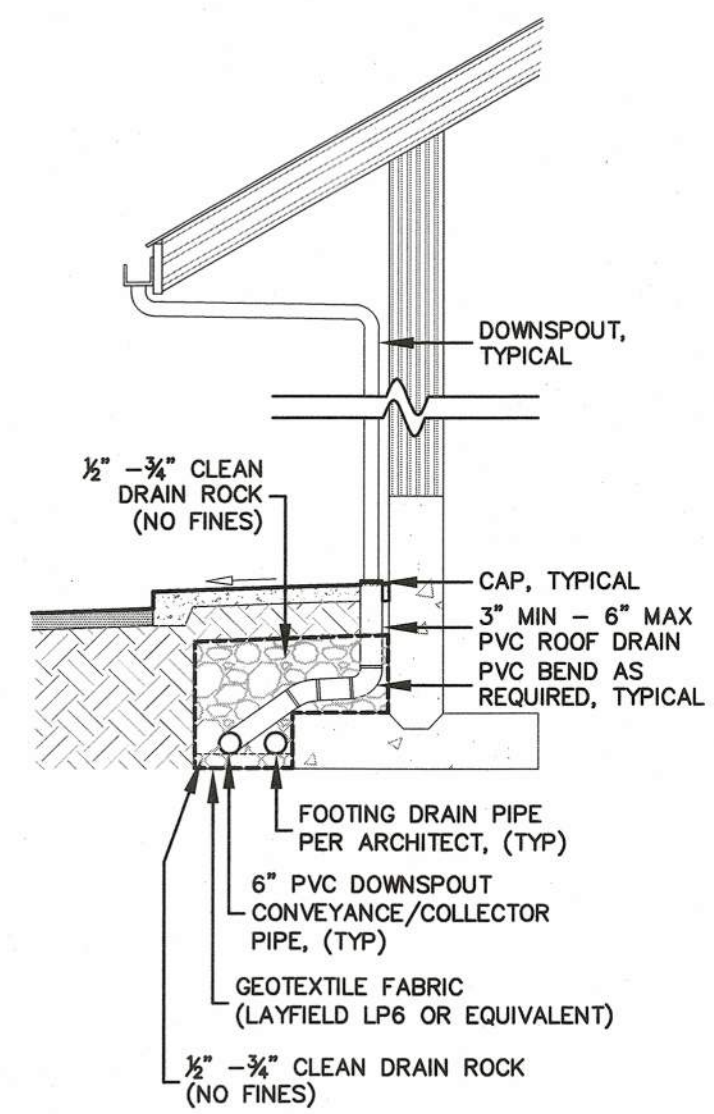
NOTE:
INSTALL HERRINGBONE GRATE, TYPICAL (NOT VANED)



A CATCH BASIN TYPE 1
nts



B THRU-CURB INLET
nts



C ROOF DOWNSPOUT CONNECTION
nts

BEDDING SPECIFICATIONS FOR PVC PIPE — ASPHALT SURFACE

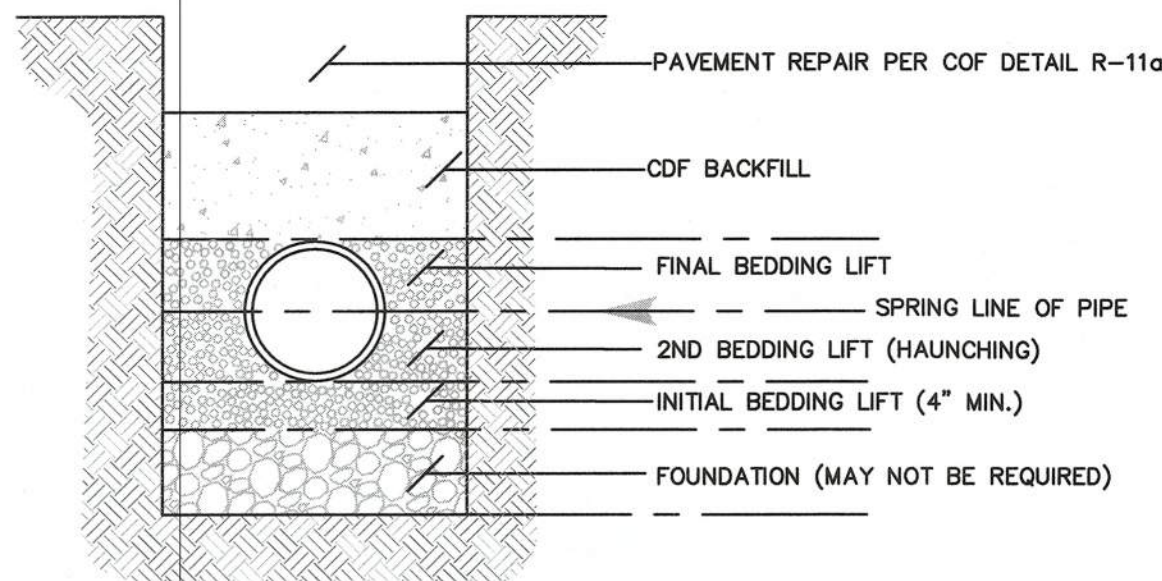
THE FOLLOWING SUPPLEMENTAL SPECIFICATIONS ARE TO BE USED IN CONJUNCTION WITH THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION, CURRENT EDITION:

BEDDING FOR SEWERS, DRAINS AND CULVERTS FOR THERMOPLASTIC PIPE—

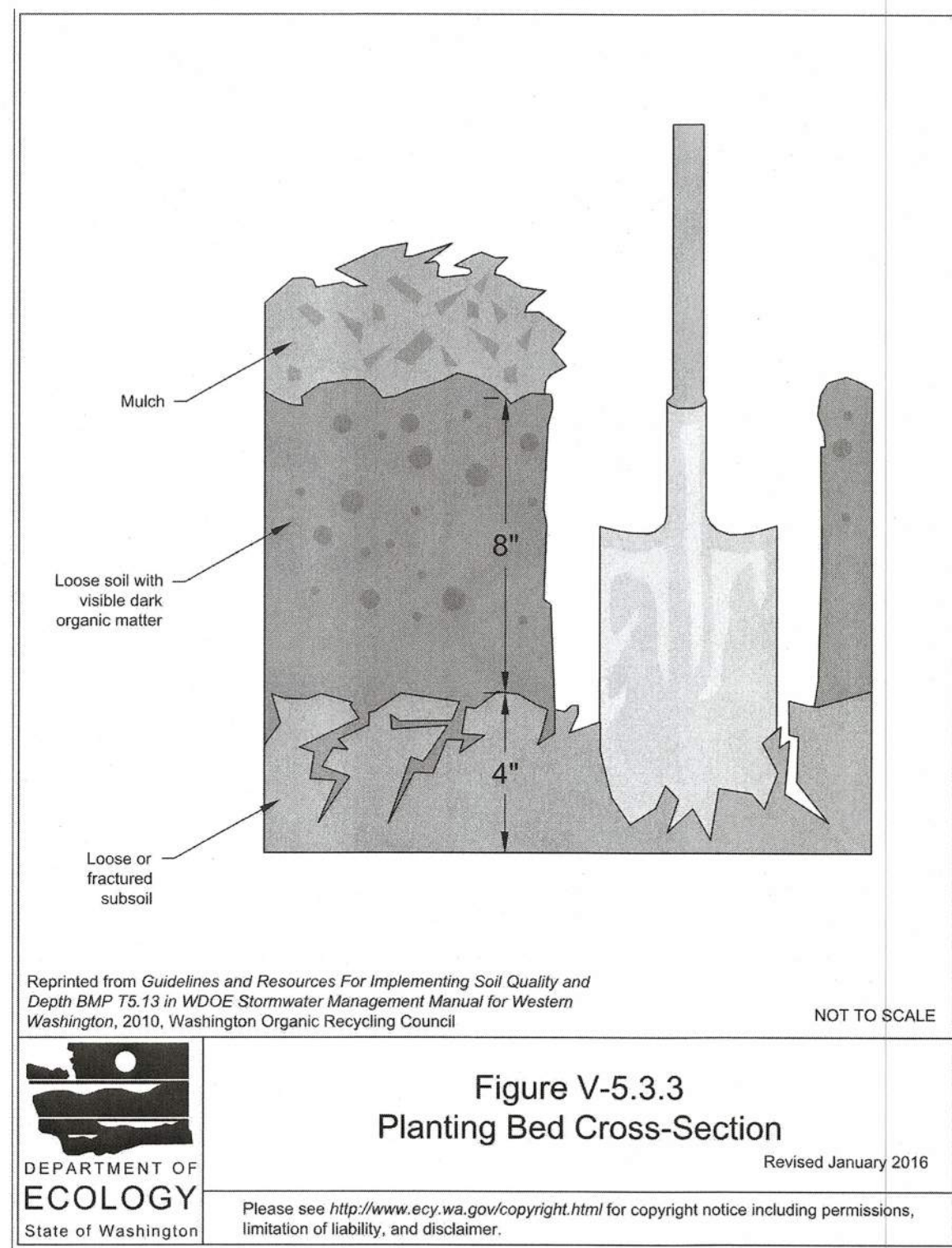
BEDDING MATERIAL FOR THERMOPLASTIC PIPE SHALL BE PEA GRAVEL CONFORMING TO THE FOLLOWING SPECIFICATIONS.

PEA GRAVEL — PEA GRAVEL BEDDING SHALL BE A CLEAN MIXTURE FREE FROM ORGANIC MATTER AND CONFORMING TO THE FOLLOWING GRADATION WHEN TESTED IN ACCORDANCE WITH ASTM D422:

U.S. STANDARD SIEVE SIZE	PERCENT PASSING, BY WT.
3/4"	100
3/8"	95-100
#8	0-10
#200	0-3



D PVC PIPE BEDDING SPECIFICATIONS
2' OR LESS OF COVER



GENERAL NOTES:
ESTABLISHING A MINIMUM SOIL QUALITY AND DEPTH IS NOT THE SAME AS PRESERVATION OF NATURALLY OCCURRING SOIL AND VEGETATION. HOWEVER, ESTABLISHING A MINIMUM SOIL QUALITY AND DEPTH WILL PROVIDE IMPROVED ON-SITE MANAGEMENT OF STORMWATER FLOW AND WATER QUALITY. SOIL ORGANIC MATTER CAN BE ATTAINED THROUGH NUMEROUS MATERIALS SUCH AS COMPOST, COMPOSTED WOODY MATERIAL, BIOSOLIDS, AND FOREST PRODUCT RESIDUALS. IT IS IMPORTANT THAT THE MATERIALS USED TO MEET THE SOIL QUALITY AND DEPTH BMP BE APPROPRIATE AND BENEFICIAL TO THE PLANT COVER TO BE ESTABLISHED. LIKEWISE, IT IS IMPORTANT THAT IMPORTED TOPSOILS IMPROVE SOIL CONDITIONS AND DO NOT HAVE AN EXCESSIVE PERCENT OF CLAY FINES. THIS BMP CAN BE CONSIDERED INFEASIBLE ON TILL SOIL SLOPES GREATER THAN 33 PERCENT.

DESIGN GUIDELINES:
SOIL RETENTION: RETAIN, IN AN UNDISTURBED STATE, THE DUFF LAYER AND NATIVE TOPSOIL TO THE MAXIMUM EXTENT PRACTICABLE. IN ANY AREAS REQUIRING GRADING REMOVE AND STOCKPILE THE DUFF LAYER AND TOPSOIL ON SITE IN A DESIGNATED, CONTROLLED AREA, NOT ADJACENT TO PUBLIC RESOURCES AND CRITICAL AREAS, TO BE REAPPLIED TO OTHER PORTIONS OF THE SITE WHERE FEASIBLE.

SOIL QUALITY: ALL AREAS SUBJECT TO CLEARING AND GRADING THAT HAVE NOT BEEN COVERED BY IMPERVIOUS SURFACE, INCORPORATED INTO A DRAINAGE FACILITY OR ENGINEERED AS STRUCTURAL FILL OR SLOPE SHALL, AT PROJECT COMPLETION, DEMONSTRATE THE FOLLOWING:
1. A TOPSOIL LAYER WITH A MINIMUM ORGANIC MATTER CONTENT OF 10% DRY WEIGHT IN PLANTING BEDS, AND 5% ORGANIC MATTER CONTENT IN TURF AREAS, AND A PH FROM 6.0 TO 8.0 OR MATCHING THE PH OF THE UNDISTURBED SOIL. THE TOPSOIL LAYER SHALL HAVE A MINIMUM DEPTH OF EIGHT INCHES EXCEPT WHERE TREE ROOTS LIMIT THE DEPTH OF INCORPORATION OF AMENDMENTS NEEDED TO MEET THE CRITERIA. SUBSOILS BELOW THE TOPSOIL LAYER SHOULD BE SCARIFIED AT LEAST 4 INCHES WITH SOME INCORPORATION OF THE UPPER MATERIAL TO AVOID STRATIFIED LAYERS, WHERE FEASIBLE.
2. MULCH PLANTING BEDS WITH 2 INCHES OF ORGANIC MATERIAL.
3. USE COMPOST AND OTHER MATERIALS THAT MEET THESE ORGANIC CONTENT

REQUIREMENTS:
a. THE ORGANIC CONTENT FOR "PRE-APPROVED" AMENDMENT RATES CAN BE MET ONLY USING COMPOST MEETING THE COMPOST SPECIFICATION FOR BIODETERIORATION (BMP T7.30), WITH THE EXCEPTION THAT THE COMPOST MAY HAVE UP TO 35% BIOSOLIDS OR MANURE. THE COMPOST MUST ALSO HAVE AN ORGANIC MATTER CONTENT OF 40% TO 65%, AND A CARBON TO NITROGEN RATION BELOW 25:1. THE CARBON TO NITROGEN RATION MAY BE AS HIGH 35:1 FOR PLANTINGS COMPOSED ENTIRELY OF PLANTS NATIVE TO THE PUGET SOUND LOWLANDS REGION.
b. CALCULATED AMENDMENT RATES MAY BE MET THROUGH USE OF COMPOSTED MATERIALS MEETING (A) ABOVE, OR OTHER ORGANIC MATERIALS AMENDED TO MEET THE CARBON TO NITROGEN RATIO REQUIREMENTS, AND MEETING THE CONTAMINANT STANDARDS OF GRADE A COMPOST.

THE RESULTING SOIL SHOULD BE CONDUCTIVE TO THE TYPE OF VEGETATION TO BE ESTABLISHED.

IMPLEMENTATION OPTIONS: THE SOIL QUALITY DESIGN GUIDELINES LISTED ABOVE CAN BE MET BY USING ONE OF THE METHODS LISTED BELOW:
1. LEAVE UNDISTURBED NATIVE VEGETATION AND SOIL, AND PROTECT FROM COMPACTION DURING CONSTRUCTION.
2. AMEND EXISTING SITE TOPSOIL OR SUBSOIL EITHER AT DEFAULT "PRE-APPROVED" RATES, OR AT CUSTOM CALCULATED RATES BASED ON TESTS OF THE SOIL AND AMENDMENT.
3. STOCKPILE EXISTING TOPSOIL DURING GRADING, AND REPLACE IT PRIOR TO PLANTING. STOCKPILED TOPSOIL MUST ALSO BE AMENDED IF NEEDED TO MEET THE ORGANIC MATTER OR DEPTH REQUIREMENTS, EITHER AT A DEFAULT "PRE-APPROVED" RATE OR AT A CUSTOM CALCULATED RATE.
4. IMPORT TOPSOIL MIX OF SUFFICIENT ORGANIC CONTENT AND DEPTH TO MEET THE REQUIREMENTS.
MORE THAN ONE METHOD MAY BE USED ON DIFFERENT PORTIONS OF THE SAME SITE. SOIL THAT ALREADY MEETS THE DEPTH AND ORGANIC MATTER QUALITY STANDARDS, AND IS NOT COMPACTED, DOES NOT NEED TO BE AMENDED.

APPROVED

OCT 19 2021
J. H. FERNANDEZ
PUBLIC WORKS DEPARTMENT

AS-BUILT DRAWING

AS-BUILT NOTE:
ONLY INFORMATION NOTED AS AS-BUILT "(AB)" HAS BEEN PROVIDED BY LAND DEVELOPMENT ENGINEERING & SURVEYING INC. DATE OF POINT FILE: 09/16/2021



BY:	
DESCRIPTION:	
REV:	
DATE:	

CLIENT:
AUSTIN GALLANT
2306 BROWN ROAD
FERNDALE, WA 98248
CALL BEFORE YOU DIG
FOR BURIED UTILITY LOCATIONS
1-800-424-5555

PROJECT LOCATION:
5797 GOLDEN EAGLE DRIVE
MULTI-FAMILY
5797 GOLDEN EAGLE DRIVE
FERNDALE, WA 98248
DRAWN BY: MPM
CHECKED BY: JPS
DESIGNED BY: MPM

SHEET CONTENTS:
DRAINAGE DETAILS



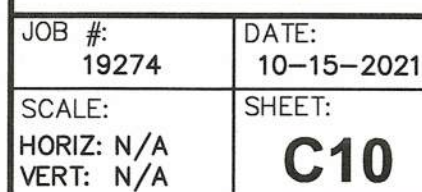
JOB #: 19274
DATE: 10-15-2021
SCALE: HORIZ: N/A
VERT: N/A
SHEET: C9



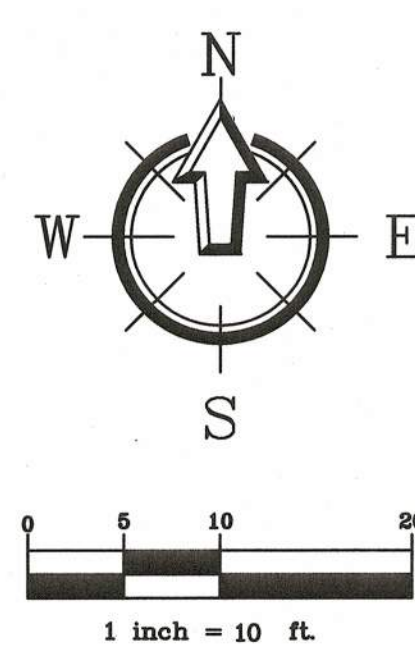
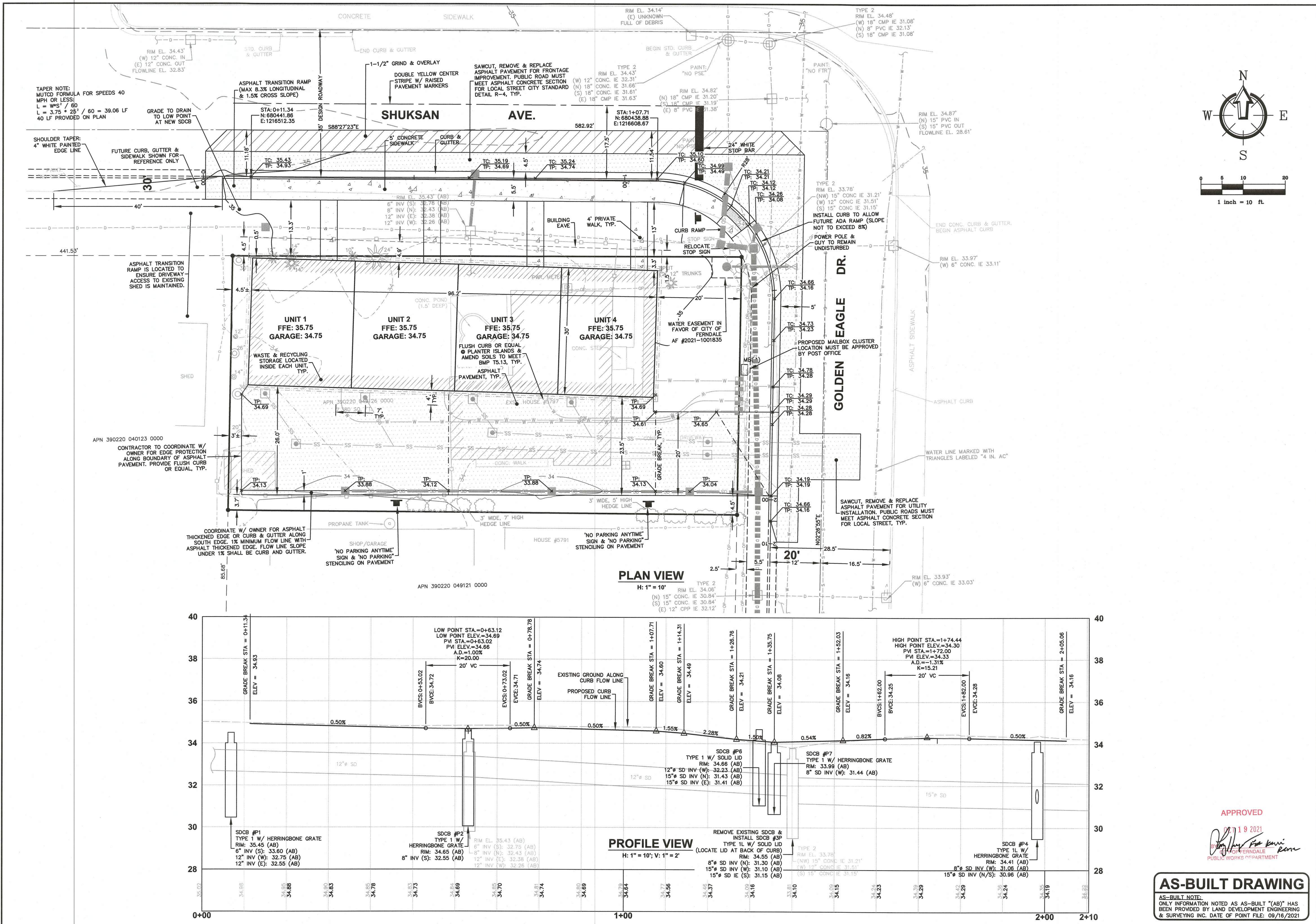
- NOTES
- 1. At marked crosswalks, the connection between the landing and the roadway must be maintained within the width of the crosswalk markings.
- 2. Where "GRADE BREAK" is called out, the entire length of the grade break between the two adjacent surface planes shall be flush.
- 3. Do not place Gratings, Junction Boxes, Access Covers, or other appurtenances on any part of the Curb Ramp or Landings or on the depressed Curb and Gutter where the Landing connects to the roadway.
- 4. See Contract Plans for the curb design specified. See **Standard Plan F-10.12** for Curb, Gutter, Depressed Curb and Gutter, and Pedestrian Curb details.
- 5. See **Standard Plan F-10.10** for Cement Concrete Sidewalk Details. See Contract Plans for layout and placement of sidewalk.
- 6. The Bid Item "Cement Concrete Curb Ramp Type ____" does not include the sidewalk, Curb, Gutter, Depressed Curb and Gutter, Pedestrian Curb, or Sidewalks.
- 7. The Curb Ramp length is not required to exceed 15 feet (unless otherwise specified in the contract Plans). When applying the 15-foot max. length, the maximum slope of the ramp shall be as follows: 1:12 to 1:3%. Use a single constant slope from bottom of ramp to top of ramp to match into the sidewalk. The maximum distance between the curb face and the sidewalk face in the 15-foot max. measurement. When a ramp is constructed on a radius, the 15-foot max. length is measured on the inside radius along the back of the wheel.
- 8. Curb Ramps and Landings shall receive a broom finish. See **Standard Specifications 8-14**.
- 9. Pedestrian Curb may be omitted if the ground surface at the back of the Curb Ramp or Landing Landings will be at the same elevation as the Curb Ramp or Landing and there will be no material to retain.



AS-BUILT NOTE:
ONLY INFORMATION NOTED AS AS-BUILT "(AB)" HAS
BEEN PROVIDED BY LAND DEVELOPMENT ENGINEERING
& SURVEYING INC. DATE OF POINT FILE: 09/16/2021



00719.010 10/19/21 RH



FREELAND & ASSOCIATES
220 West Champion Street, Suite 200
Bellingham, WA 98225
T: 360.650.1408
F: 360.650.1401

BY:	
DESCRIPTION:	
REV:	
DATE:	

CLIENT: **AUSTIN GALLANT**
2306 BROWN ROAD
FERDALE, WA 98248

CALL BEFORE YOU DIG
FOR BURIED UTILITY LOCATIONS
1-800-424-5555

PROJECT LOCATION: **5797 GOLDEN EAGLE DRIVE**
MULTI-FAMILY
5797 GOLDEN EAGLE DRIVE
FERDALE, WA 98248

DRAWN BY: **MPM**
CHECKED BY: **JPS**

DRAWING #: **19274B1.DWG**
DESIGNED BY: **MPM**

ROAD FRONTAGE PLAN & PROFILE

SHEET CONTENTS:

AS-BUILT DRAWING

APPROVED
19 2021
[Signature]
PUBLIC WORKS DEPARTMENT

AS-BUILT NOTE:
ONLY INFORMATION NOTED AS AS-BUILT (AB) HAS BEEN PROVIDED BY LAND DEVELOPMENT ENGINEERING & SURVEYING INC. DATE OF POINT FILE: 08/16/2021

JOB #: 19274
SCALE: HORIZ: 1"=10'
VERT: 1"=2'

DATE: 10-15-2021
SHEET: **C11**

00719.011 10/19/21 RH