

IMPROVEMENT PLANS

TACO BELL

5720 BARRETT ROAD
FERNDALE, WA
APRIL, 2018

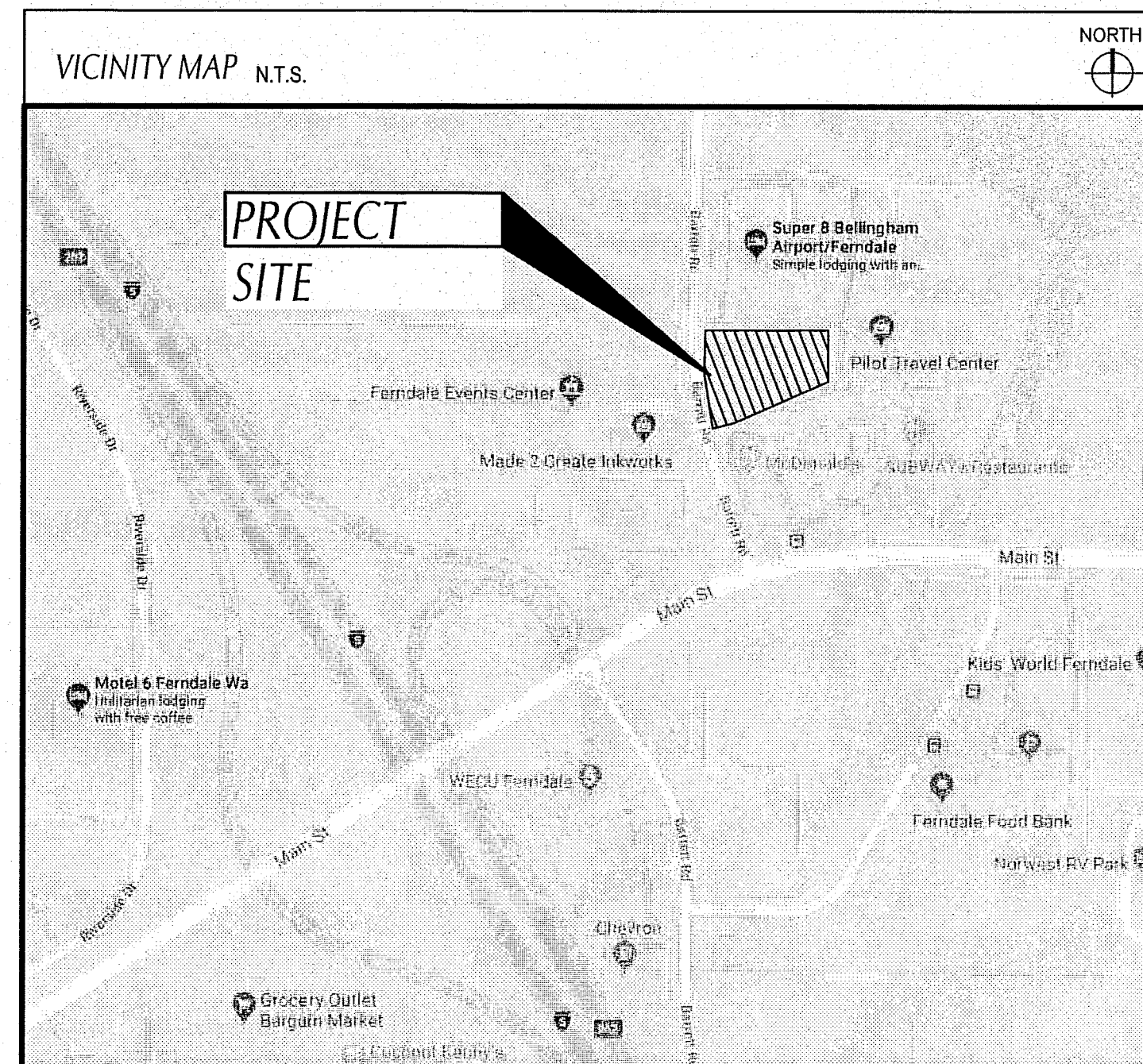
PROJECT DESCRIPTION

These improvement plans include, but are not limited to, a new Taco Bell building, landscaping improvements, dumpster enclosure, and parking lot for Taco Bell customers and employees. The proposed building will be ADA accessible from both the parking lot and existing right of way. Necessary signage will be provided throughout the site to provide proper instructions for both vehicle and pedestrian traffic.

STATE OF WASHINGTON DEPARTMENT OF TRANSPORTATION SPECIFICATION

The standard specifications of the State of Washington, Department of Transportation, including changes and supplemental specifications listed in the proposal shall govern this improvement.

I hereby approve these plans and declare that the making of this improvement will not require the closing to traffic to the highway and the provisions for the maintenance and safety of traffic will be as set forth on the plans and specifications.



APPLICANT/OWNER:
NORTHWEST RESTAURANTS INC.
ADAM SIBERT
206-851-5095
18815 139TH AVENUE NE, SUITE C
WOODINVILLE, WA 98072

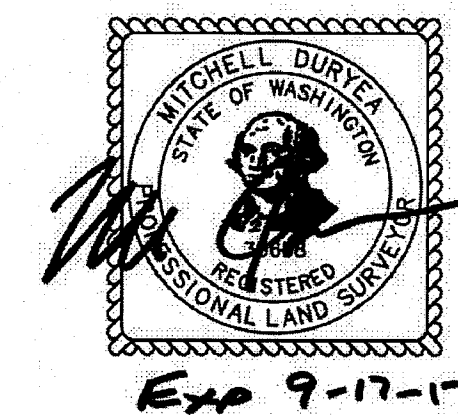
LANDSCAPE ARCHITECT:
LYON LANDSCAPE ARCHITECTS
ERIC WILLIAMS
253-6784173
11237 NE 95TH STREET
KIRKLAND, WA 98033

CIVIL ENGINEER:
GPD GROUP PROFESSIONAL CORPORATION
LEONARDO SFERRA, P.E.
330-572-3506
520 SOUTH MAIN STREET, SUITE 2531
AKRON, OH 44311

SURVEYOR:
DURYEA & ASSOCIATES, P.S.
MITCH DURYEA
509-465-8007
P.O. BOX 7400
2702 N. PERRY STREET
SPOKANE, WA 99207

TITLE SHEET	T-001
ALTA SURVEY	1 OF 2
ALTA SURVEY	2 OF 2
GENERAL NOTES	C-001
CITY OF FERNDALE GENERAL REQUIREMENTS	C-002
DEMOLITION PLAN	C-101
SITE PLAN	C-111
GRADING AND STORM NETWORK PLAN	C-121
SWPP NOTES	C-131
SWPP PLAN	C-132
SWPP NOTES AND DETAILS	C-133
SWPP NOTES AND DETAILS	C-134
SANITARY SEWER AND WATER PLAN	C-141
DRY UTILITY PLAN	C-141A
STORMTECH SHEETS	C-142 - C-144
DETAILS	C-501 - C-508
LANDSCAPE PLANTING PLAN	L-1.0
LANDSCAPE PLANTING DETAILS	L-1.1

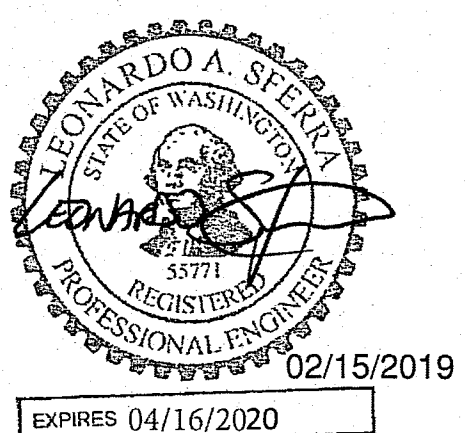
SURVEYOR'S CERTIFICATION
I, MITCHELL DURYEA, CERTIFY THAT THE LOCATIONS, ELEVATIONS, AND DEPTHS OF ALL STRUCTURES AND INFRASTRUCTURE AS SHOWN HEREON HAVE BEEN VERIFIED AND ACCURATELY REFLECT EXISTING FIELD CONDITIONS AS DETERMINED BY ME OR UNDER MY DIRECT SUPERVISION ON 1/16/19.



ENGINEER'S CERTIFICATION:
AS THE ENGINEER OF RECORD, I HEREBY CERTIFY BASED ON (1) THE INFORMATION PROVIDED TO BE FROM SITE INSPECTIONS PERFORMED BY THE CITY OF FERNDALE, (2) INFORMATION PROVIDED TO ME BY SITE INSPECTIONS PERFORMED BY THE OWNER'S RETAINED GEOTECHNICAL INSPECTION COMPANY, (3) GPD GROUP'S INSPECTIONS OF THE SITE CONSTRUCTION, AND (4) GPD GROUP'S COMMUNICATION WITH THE SITE CONTRACTORS, THAT THE WORK COMPLETED AT 5720 BARRETT ROAD FOR TACO BELL HAS BEEN CONSTRUCTED IN CONFORMANCE WITH THE APPROVED PLANS AND SPECIFICATIONS AND APPROVED MODIFICATIONS MADE DURING THE CONSTRUCTION PERIOD. THE PLANS REFERENCED WERE PROVIDED AND SEALED BY LEONARDO SFERRA, P.E. ON AUGUST 22, 2018 AND APPROVED BY THE CITY OF FERNDALE ON AUGUST 27, 2018.

AS-BUILT DRAWING

AS-BUILT NOTE:
ONLY INFORMATION NOTED
AS-BUILT "AB" HAS BEEN
PROVIDED BY THE SURVEYOR.



APPROVED

FEB 15 2019

BY 
CITY OF FERNDALE
PUBLIC WORKS DEPARTMENT

ADDENDUM # 2	04/28/18
ADDENDUM # 1	
ADDENDUM # 3	
ADDENDUM # 4	
ADDENDUM # 5	
ADDENDUM # 6	
ADDENDUM # 7	
ADDENDUM # 8	
ADDENDUM # 9	
ADDENDUM # 10	
ADDENDUM # 11	
ADDENDUM # 12	
ADDENDUM # 13	
ADDENDUM # 14	
ADDENDUM # 15	
ADDENDUM # 16	
ADDENDUM # 17	
ADDENDUM # 18	
ADDENDUM # 19	
ADDENDUM # 20	

CONTRACT DATE: 02.26.18
BUILDING TYPE: EXPLORER LITE LG
PLAN VERSION: DECEMBER 2016
BRAND DESIGNER: WANCHO
SITE NUMBER:
STORE NUMBER: 2017088.41

TACO BELL

5720 BARRETT RD
FERNDALE, WA 98248



EXPLORER LITE
LARGE66

TITLE SHEET

T-001

AS-BUILT DRAWING

AS-BUILT NOTE:
ONLY INFORMATION NOTED
AS-BUILT "AB" HAS BEEN
PROVIDED BY THE SURVEYOR.

LEGAL DESCRIPTION:

ALL THAT CERTAIN REAL PROPERTY SITUATE IN THE CITY OF FERDALE,
COUNTY OF WHATCOM, STATE OF WASHINGTON, BEING DESCRIBED AS
FOLLOWS:

PARCEL A:

LOT A, SUPER 8 SHORT PLAT, ACCORDING TO THE MAP THEREOF RECORDED
JULY 31, 1996, IN VOLUME 34 OF SHORT PLATS, PAGES 96 AND 97, UNDER
AUDITOR'S FILE NO. 960731051, RECORDS OF WHATCOM COUNTY, WASHINGTON.

SITUATED IN WHATCOM COUNTY, WASHINGTON.

PARCEL B:

AN EASEMENT FOR INGRESS, EGRESS, UTILITIES AND DRAINAGE AS DELINEATED
ON SUPER 8 SHORT PLAT, AS RECORDED JULY 31, 1996, IN VOLUME 34 OF SHORT
PLATS, PAGES 96 AND 97, UNDER AUDITOR'S FILE NO. 960731051, RECORDS OF
WHATCOM COUNTY, WASHINGTON.

SITUATED IN WHATCOM COUNTY, WASHINGTON.

THE PROPERTY DESCRIBED AND SHOWN HEREON IS THE SAME PROPERTY AS
DESCRIBED IN THE CHICAGO TITLE COMPANY OF WASHINGTON COMMITMENT
FOR TITLE INSURANCE NUMBER 245397983 DATED NOVEMBER 14, 2017.

CHICAGO TITLE COMPANY OF WASHINGTON
COMMITMENT NO. 245397983

SCHEDULE B - EXCEPTIONS:

- EASEMENT RECORDED MAY 25, 1953, RECORDING NO. 755507; AFFECTS
SUBJECT PROPERTY, NOT PLOTTED, UNABLE TO LOCATE PER THE
RECORDED INSTRUMENT.
- WARRANTY DEED RECORDED: MARCH 1, 1967, RECORDING NO. 1022465;
AFFECTS SUBJECT PROPERTY, NOT PLOTTED, GENERAL IN NATURE.
- EASEMENT RECORDED APRIL 24, 1967, RECORDING NO. 1025570; AFFECTS
SUBJECT PROPERTY, NOT PLOTTED, BLANKET IN NATURE.
- AGREEMENT TO IMPROVE SIDEWALKS, CURBS & GUTTERS RECORDED
JUNE 13, 1990, RECORDING NO. 1359372 AND 1359373; AFFECTS SUBJECT
PROPERTY, NOT PLOTTED, GENERAL IN NATURE.
- BARRETT CREEK SHORT PLAT RECORDED JUNE 13, 1980, RECORDING NO.
1359370; AFFECTS SUBJECT PROPERTY, NOT PLOTTED, GENERAL IN
NATURE.
- AMENDED BARRETT CREEK SHORT PLAT RECORDED AUGUST 24, 1995,
RECORDING NO. 950824139; AFFECTS SUBJECT PROPERTY, EASEMENTS
PLOTTED, ALL OTHER ITEMS GENERAL IN NATURE.
- 2ND AMENDMENT TO BARRETT CREEK SHORT PLAT RECORDED DECEMBER
6, 1995, RECORDING NO. 951206162; AFFECTS SUBJECT PROPERTY,
EASEMENTS PLOTTED, ALL OTHER ITEMS GENERAL IN NATURE.
- SUPER 8 SHORT PLAT RECORDED JULY 31, 1996, RECORDING NO. 960731051;
AFFECTS SUBJECT PROPERTY, EASEMENTS PLOTTED, ALL OTHER ITEMS
GENERAL IN NATURE.
- RECIPROCAL EASEMENT AGREEMENT RECORDED OCTOBER 24, 1995,
RECORDING NO. 951024004; AFFECTS SUBJECT PROPERTY, EASEMENT FOR
INGRESS AND EGRESS NOT PLOTTED, BLANKET IN NATURE; EASEMENTS
FOR UTILITIES NOT PLOTTED, BLANKET IN NATURE; EASEMENT FOR
PARKING AND SIGNAGE NOT PLOTTED, DOES NOT AFFECT SUBJECT
PROPERTY; ALL OTHER ITEMS GENERAL IN NATURE.
- GRANT OF EASEMENT RECORDED JANUARY 31, 1996, RECORDING NO.
960131261; AFFECTS SUBJECT PROPERTY, 30 FOOT INGRESS, EGRESS
EASEMENT PLOTTED; 19 FOOT EASEMENT FOR INGRESS AND EGRESS, AND
25 FOOT DRAINAGE EASEMENT DO NOT AFFECT SUBJECT PROPERTY, NOT
PLOTTED; ALL OTHER ITEMS GENERAL IN NATURE.
- PARKING EASEMENT RECORDED APRIL 2, 1997, RECORDING NO. 970402180;
DOES NOT AFFECT SUBJECT PROPERTY, NOT PLOTTED. POSSIBLE
APPURTENANT EASEMENT TO SUBJECT PROPERTY.

NOTES AND COMMENTS:

- POSTED PROPERTY ADDRESS: NONE POSTED
- BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE X, AND ZONE AE
OF THE FLOOD INSURANCE RATE MAP NO. 57073C11800 WHICH BEARS AN
EFFECTIVE DATE OF JANUARY 16, 2004, AND A PORTION OF THE PROPERTY
IS IN A SPECIAL FLOOD HAZARD AREA. NO FIELD SURVEYING WAS
PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE
MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A
VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
- GROSS LAND AREA 38,452 SQUARE FEET OR 0.883 ACRES, MORE OR LESS.
- PER THE CITY OF CITY OF FERDALE PLANNING DEPARTMENT, THIS SITE
IS CURRENTLY ZONED MIXED USE COMMERCIAL DISTRICT (C3/MXD);
C3/MXD ZONING REQUIREMENTS FOR THIS SITE:
SETBACKS:
FRONT: NONE
SIDE: NONE
REAR: 15 FEET, IF REAR LOT ABUTS SIDE OF
RESIDENTIAL PROPERTY, OTHERWISE NONE
HEIGHT: 45 FEET
LOT COVERAGE: NONE
PARKING: 1 SPACE FOR EACH EMPLOYEE AND 1 SPACE PER 6 SEATS
BICYCLE: 2 SPACES, PLUS 1 SPACE PER 10 VEHICLE PARKING STALLS
- THE BUILDING AREA SHOWN HEREON WAS DETERMINED BY THE FIELD
MEASUREMENTS OF THE EXTERIOR WALLS AT GROUND LEVEL.
- TOTAL PARKING SPACES 46 = 43 REGULAR AND 3 DISABLED
- THERE ARE NO PARTY WALLS ON THE SUBJECT PROPERTY.
- THE UNDERGROUND UTILITIES SHOWN HEREON ARE COMPILED FROM
PLANS AND MAPS PROVIDED BY THE CLIENT AND BY THE CITY OF
FERDALE AND VERIFIED BY THE VISIBLE SURFACE FEATURES OF THESE
UTILITIES TOGETHER WITH MARKINGS PROVIDED BY A 811 UTILITY
LOCATE AND A PRIVATE UTILITY LOCATE SERVICE PURSUANT TO SECTION
S.E.I.V. AN EXACT LOCATION OF THESE UTILITIES WAS NOT PERFORMED
FOR THIS SURVEY. BEFORE DIGGING, CALL THE APPROPRIATE LOCAL
UTILITY LOCATE SERVICE FOR FIELD LOCATIONS OF UNDERGROUND
UTILITY LINES.
- AT THE TIME OF THE FIELD SURVEY, THERE WAS NO OBSERVABLE
EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION, OR
BUILDING ADDITIONS WITHIN RECENT MONTHS.
- PURSUANT TO THE CITY OF FERDALE PUBLIC WORKS DEPARTMENT
WEBSITE: <http://www.cityofferndale.org/government/departments/public-works/>
THERE ARE NO CURRENT PROPOSALS FOR ANY CHANGES IN STREET RIGHT OF
WAY LINES ADJACENT TO THE SUBJECT PROPERTY SHOWN ON THIS
SURVEY.
AT THE TIME OF FIELD SURVEY, THERE WAS NO OBSERVABLE EVIDENCE
OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- AT THE TIME OF FIELD SURVEY, THERE WAS NO EVIDENCE OF FIELD
DELINEATION OF WETLANDS CONDUCTED BY A QUALIFIED SPECIALIST.
- NO IMPROVEMENTS WERE LOCATED WITHIN THE PLOTTABLE
APPURTENANT EASEMENTS AS DEFINED IN THE TITLE REPORT PROVIDED
TO THE SURVEYOR.
- PHYSICAL ACCESS TO PROPERTY VIA PUBLIC RIGHTS OF WAY:
BARRETT ROAD
- EASEMENT RIGHTS: PLOTTABLE EASEMENTS ARE SHOWN FROM THE
OWNER SUPPLIED TITLE REPORT. NON-PLOTTABLE EASEMENTS ARE
NOTED ON THE SURVEY AS BEING "NOT PLOTTED". BECAUSE OUR
SERVICE IS LIMITED TO REPORTING ON EASEMENT LOCATIONS, WE
STRONGLY RECOMMEND LEGAL COUNSEL BE RETAINED TO REPORT ON
TITLE PAPERS IN THEIR ENTIRETY.
- AT THE TIME OF THE FIELD SURVEY, THERE WAS NO VISIBLE EVIDENCE OF
SITE USE AS A CEMETERY OR BURIAL GROUND.
- THE RECORD DESCRIPTION DOES MATHEMATICALLY CLOSE.
- BASIS OF BEARINGS:
THE BEARING OF NORTH 72°28'08" EAST BETWEEN FOUND
MONUMENTS ON THE SOUTH LINE OF LOT A AS SHOWN UPON THAT
CERTAIN MAP ENTITLED "SUPER 8 SHORT PLAT" RECORDED IN
VOLUME 34 OF SHORT PLATS, PAGES 96 AND 97, WHATCOM COUNTY
RECORDS, WAS TAKEN AS THE BASIS OF BEARINGS SHOWN UPON
THIS SURVEY.
- THERE ARE NO GAPS, GORES OR OVERLAPS BETWEEN THE SUBJECT
PROPERTY AND THE ADJOINING PROPERTIES OR PUBLIC STREET RIGHTS
OF WAY SHOWN ON THIS SURVEY.
- TAX MAP PARCEL NO. 390221017035
- THIS IS AN AS-BUILT SURVEY PREPARED IN ACCORDANCE WITH THE
MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE
SURVEYS.
- THIS SURVEY WAS PREPARED FOR THE PURPOSES OF OBTAINING AN
EXTENDED COVERAGE TITLE INSURANCE POLICY.
- THE USE OF THE WORD "CERTIFY" OR "CERTIFICATION" WITHIN THIS
SURVEY ONLY CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION
REGARDING THOSE FACTS AND FINDINGS SHOWN ON THIS SURVEY, AND
DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER IMPLIED
OR EXPRESSED.
- DURYEA & ASSOCIATES ONLY ACKNOWLEDGES SIGNED AND STAMPED
MAPS AND DRAWINGS. NO RESPONSIBILITY OR LIABILITY IS EXPRESSED
OR IMPLIED FOR ELECTRONIC DATA AND/OR REPRODUCED MAPS AND
DRAWINGS.

VERTICAL DATUM:

BENCHMARK: WASHINGTON STATE DEPARTMENT OF TRANSPORTATION
MONUMENT DESIGNATION "GP37005-32" BEING A 2 3/4" BRASS CAP IN
SIDEWALK ON THE SOUTH SIDE OF THE MAIN STREET OVERPASS OVER
INTERSTATE 5 HAVING A PUBLISHED NAVD88 ELEVATION OF 60.69'

ON-SITE TEMPORARY BENCH MARK: CHISELED "X" ON NORTHEASTERLY
HEAD BOLT ON FIRE HYDRANT HAVING AN NAVD88 ELEVATION OF 40.79'

CONVERSION BETWEEN NAVD 88 AND NGVD 29:
NAVD 88 - NGVD 29 = 1.178 METERS (3.86 FEET)

METHOD OF SURVEY:

THIS SURVEY WAS PERFORMED WITH A GEOMAX ZOOM90 ROBOTIC TOTAL
STATION. PROCEDURES WERE USED THAT MEET OR EXCEED THE
REQUIREMENTS OF RCW 58.09 AND WAC 332-130-090.

POSSIBLE ENCROACHMENTS:

THERE ARE NO ENCROACHMENTS BY IMPROVEMENTS ON THE ADJOINING
PROPERTY ONTO SUBJECT PROPERTY, AND NO ENCROACHMENTS BY
IMPROVEMENTS LOCATED ON SUBJECT PROPERTY OVER ANY ADJOINING
PROPERTY OR OVER ANY PLOTTED OR PLOTTABLE EASEMENTS.

SURVEYOR'S CERTIFICATION:

To: Lender, Borrower and Chicago Title Company of Washington.

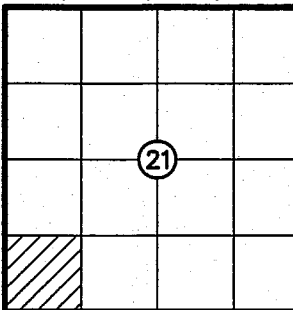
This is to certify that this map or plat and the survey on which it is based were made in
accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title
Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5,
6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 10(a), 10(b), 11, 13, 18, 20 (in the amount of \$2,000,000), and
21 (Taco Bell Survey Requirements dated 02/23/2016) of Table A thereof. The field work was
completed on November 28, 2016.

Mitchell Duryea
LS 33658
Exp. 9/17/2019
mitch@duryea-associates.com

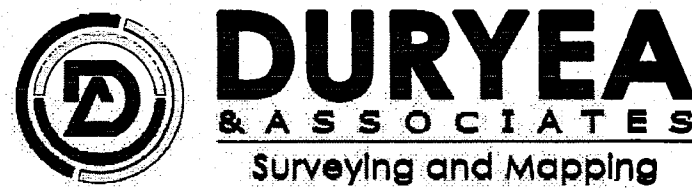


12/6/17
Date

INDEX
S21, T39N, R2E, W.M.



ALTA/ACSM LAND TITLE SURVEY



2702 N. Perry Street Spokane, WA 99207 (509) 465-8007
www.duryea-associates.com



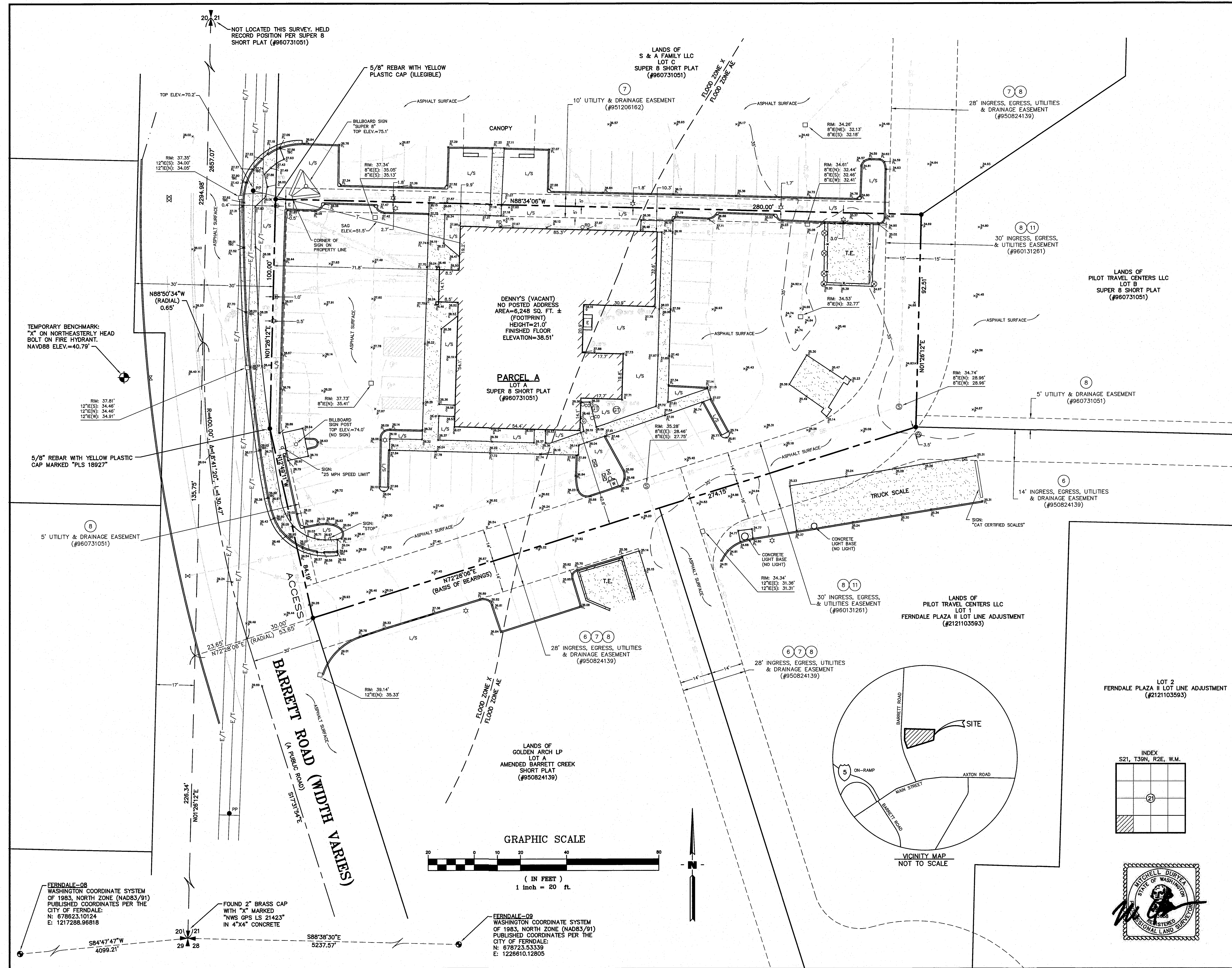
PARCEL ADDRESS: 5720 BARRETT ROAD
FERDALE, WA
PARCEL AREA (SF): 38,452
ENTITY NO: TBD
SITE NO: TBD

DATE: DECEMBER 2017	SHEET:
SCALE: 1"=20'	1 OF 2
PROJECT SURVEYOR: MJD	
DRAWN BY: GLB	
LAST DATE OF REVISION: 6/25/18	JOB NO.: 17-2327

APPROVED

FEB 15 2019

BY *[Signature]*
CITY OF FERDALE
PUBLIC WORKS DEPARTMENT



AS-BUILT DRAWING

AS-BUILT NOTE:
ONLY INFORMATION NOTED
AS-BUILT "AS" HAS BEEN
PROVIDED BY THE SURVEYOR.

LEGEND:	
	PROPERTY LINE
	EASEMENT LINE
	CENTERLINE
	BUILDING LINE
	6" CONCRETE CURB
	EDGE OF ASPHALT
	6" CHAIN LINK FENCE
	CONCRETE BLOCK WALL
	CONCRETE SURFACE
	FIRE HYDRANT
	WATER METER
	WATER VALVE
	GAS METER
	SANITARY SEWER MANHOLE
	STORM SEWER MANHOLE
	GREASE TRAP MANHOLE
	CATCH BASIN
	ROOF DRAIN
	POWER POLE
	TELECOMMUNICATION RISER
	LIGHT STANDARD
	ELECTRIC VAULT OR BOX
	BOLLARD
	SIGN
	MONITORING WELL
	DECIDUOUS TREE WITH DIAMETER
	SHRUB WITH DIAMETER
	UNDERGROUND STORM DRAIN LINE
	UNDERGROUND SANITARY SEWER LINE
	UNDERGROUND WATER LINE
	UNDERGROUND GAS LINE
	UNDERGROUND ELECTRIC LINE
	UNDERGROUND FIBER OPTIC LINE
	OVERHEAD ELECTRIC/TELEPHONE LINE
	TRASH ENCLOSURE
	LANDSCAPED AREA
	SPOT ELEVATION WITH DESCRIPTION
	PAVEMENT
	CONCRETE
	FLOW LINE
	GROUND
	TOP BACK OF CURB
	FOUND 5/8" REBAR WITH YELLOW PLASTIC CAP PUSHED DOWN OVER TOP OF REBAR (UNLESS NOTED OTHERWISE)
	BENCHMARK

APPROVED

FEB 15 2019

BY KAY M. DURYEY

CITY OF FERNDALE
PUBLIC WORKS DEPARTMENT

ALTA/ACSM LAND TITLE SURVEY

DURYEY & ASSOCIATES
Surveying and Mapping
2702 N. Perry Street Spokane, WA 99207 (509) 465-8007
www.duryea-associates.com























































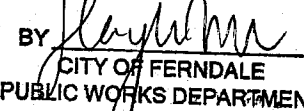
PARCEL ADDRESS: 5720 BARRETT ROAD
FERNDAL, WA


PARCEL AREA (SF): 38,452

ENTITY NO: TBD

SITE NO: TBD

DATE: DECEMBER 2017	SHEET:
SCALE: 1"=20'	2 OF 2
PROJECT SURVEYOR: MJD	
DRAWN BY: GLB	
LAST DATE OF REVISION: 6/25/18	JOB NO: 17-2327

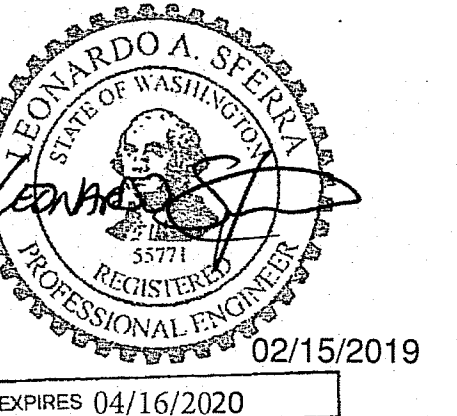
DEMOLITION NOTES	GENERAL PLAN NOTES	GRADING PLAN NOTES	UTILITY NOTES (CONTINUED)	GENERAL LEGEND
<div><div>1. DEMOLITION INCLUDES THE FOLLOWING:</div><div><div>1.A. TRANSFER BENCHMARK CONTROL TO NEW LOCATIONS OUTSIDE THE DISTURBED AREA PRIOR TO COMMENCING DEMOLITION OPERATIONS (WHEN APPLICABLE).</div><div>1.B. DEMOLITION AND REMOVAL OF SITE IMPROVEMENTS.</div><div>1.C. DISCONNECTING, CAPPING OR SEALING, AND ABANDONING/REMOVING SITE UTILITIES IN PLACE (WHICHEVER IS APPLICABLE).</div></div><div>2. REMOVE AND LEGALLY DISPOSE OF ITEMS EXCEPT THOSE INDICATED TO BE REINSTALLED, SALVAGED, OR TO REMAIN.</div><div>3. REMOVE, REINSTALL, AND RELOCATE: REMOVE ITEMS INDICATED; CLEAN, SERVICE, AND OTHERWISE PREPARE THEM FOR REUSE, STORE AND PROTECT AGAINST DAMAGE. REINSTALL ITEMS IN LOCATIONS INDICATED.</div><div>4. EXISTING TO REMAIN: PROTECT ITEMS INDICATED TO REMAIN AGAINST DAMAGE AND SOILING THROUGHOUT CONSTRUCTION. WHEN PERMITTED BY THE ENGINEER, ITEMS MAY BE REMOVED TO A SUITABLE, PROTECTED STORAGE LOCATION THROUGHOUT CONSTRUCTION AND THEN CLEANED AND REINSTALLED IN THEIR ORIGINAL LOCATIONS.</div><div>5. CONTRACTOR SHALL SCHEDULE DEMOLITION ACTIVITIES WITH THE CONSTRUCTION/PROJECT MANAGER INCLUDING THE FOLLOWING:</div><div><div>5.A. DETAILED SEQUENCE OF DEMOLITION AND REMOVAL WORK, WITH STARTING AND ENDING DATES FOR EACH ACTIVITY.</div><div>5.B. DATES FOR SHUTOFF, CAPPING, AND CONTINUATION OF UTILITY SERVICES.</div><div>5.C. IDENTIFY AND ACCURATELY LOCATE UTILITIES AND OTHER SUBSURFACE STRUCTURAL, ELECTRICAL, OR MECHANICAL CONDITIONS.</div></div><div>6. REGULATORY REQUIREMENTS: COMPLY WITH GOVERNING EPA NOTIFICATION REGULATIONS BEFORE STARTING DEMOLITION. COMPLY WITH HAULING AND DISPOSAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION.</div><div>7. STORAGE OR SALE OF REMOVED ITEMS OR MATERIALS ON-SITE WILL NOT BE PERMITTED.</div><div>8. OBTAIN APPROVED BORROW SOIL MATERIALS OFF-SITE WHEN SUFFICIENT SATISFACTORY SOIL MATERIALS ARE NOT AVAILABLE ON-SITE.</div><div>9. MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE THROUGHOUT CONSTRUCTION OPERATIONS.</div><div><div>9.A. DO NOT INTERRUPT EXISTING UTILITIES SERVING OCCUPIED OR OPERATING FACILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY ENGINEER AND AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS ACCEPTABLE TO OWNER AND TO GOVERNING AUTHORITIES.</div></div><div>10. DO NOT START DEMOLITION WORK UNTIL UTILITY DISCONNECTING AND SEALING HAVE BEEN COMPLETED AND VERIFIED IN WRITING.</div><div>11. UTILITY REQUIREMENTS: LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF INDICATED UTILITY SERVICES SERVING THE SITE.</div><div><div>11.A. ARRANGE TO SHUT OFF AND CAP UTILITIES WITH UTILITY COMPANIES AND FOLLOW THEIR RESPECTIVE UTILITY KILL AND CAP POLICIES.</div></div><div>12. CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN. ENSURE SAFE PASSAGE OF PEOPLE AROUND DEMOLITION AREA.</div><div><div>12.A. ERECT TEMPORARY PROTECTION, BARRICADES AS PER LOCAL GOVERNING AUTHORITIES.</div><div>12.B. PROTECT EXISTING SITE IMPROVEMENTS AND APPURTENANCES TO REMAIN.</div></div><div>13. EXPLOSIVES: USE OF EXPLOSIVES WILL NOT BE PERMITTED.</div><div>14. REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT SURFACES AND AREAS.</div><div>15. CLEAN ADJACENT BUILDINGS AND IMPROVEMENT OF DUST, DIRT, AND DEBRIS CAUSED BY DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE START OF DEMOLITION.</div><div>16. DAMAGES: PROMPTLY REPAIR DAMAGES TO ADJACENT FACILITIES CAUSED BY DEMOLITION OPERATIONS AT THE CONTRACTORS COST.</div><div>17. GENERAL: PROMPTLY DISPOSE OF DEMOLISHED MATERIALS. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON-SITE.</div><div>18. BURNING: DO NOT BURN DEMOLISHED MATERIALS.</div><div>19. ASBESTOS: IT IS NOT EXPECTED THAT ASBESTOS WILL BE ENCOUNTERED IN THE COURSE OF THIS CONTRACT. IF ANY MATERIALS SUSPECTED OF CONTAINING ASBESTOS ARE ENCOUNTERED, DO NOT DISTURB THE MATERIALS. IMMEDIATELY NOTIFY THE ENGINEER AND THE OWNER.</div><div>20. SURVEY THE CONDITION OF THE BUILDING TO DETERMINE WHETHER REMOVING ANY ELEMENT MIGHT RESULT IN A STRUCTURAL DEFICIENCY OR UNPLANNED COLLAPSE OF ANY PORTION OF THE STRUCTURE OR ADJACENT STRUCTURES THROUGHOUT CONSTRUCTION.</div><div>21. BUILDING PAD DEMOLITION: DEMOLISH BUILDING PAD COMPLETELY AND REMOVE FROM THE SITE. USE METHODS REQUIRED TO COMPLETE WORK WITHIN LIMITATIONS OF GOVERNING REGULATIONS AND AS FOLLOWS:</div><div><div>21.A. DISPOSE OF DEMOLISHED ITEMS AND MATERIALS PROMPTLY.</div><div>21.B. DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS.</div><div>21.C. BREAK UP AND REMOVE CONCRETE SLABS ON GRADE.</div></div><div>22. BELOW-GRADE DEMOLITION: DEMOLISH FOUNDATION WALLS AND OTHER BELOW-GRADE DEMOLITION, AS FOLLOWS:</div><div><div>22.A. COMPLETELY REMOVE BELOW-GRADE DEMOLITION, INCLUDING FOUNDATION WALLS FOOTINGS, AND BELOW GRADE CONCRETE SLABS.</div></div><div>23. FILLING BELOW-GRADE AREAS: COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION OF BUILDINGS AND PAVEMENTS WITH SOIL MATERIALS ACCORDING TO REQUIREMENTS PER SOILS REPORT. CONTRACTOR SHALL CONTACT ENGINEER PRIOR TO FILLING ANY AREAS. CONTRACTOR SHALL CONTACT ENGINEER TO OBSERVE FILL PROCEDURES.</div><div>24. CONDUCT DEMOLITION OPERATIONS AND REMOVE DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED AND USED FACILITIES.</div><div><div>24.A. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER ADJACENT OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM OWNER AND AUTHORITIES HAVING JURISDICTION. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY GOVERNING REGULATIONS.</div></div><div>25. CONTRACTOR TO SAWCUT EXISTING PAVEMENT TO REMAIN PRIOR TO CURB, GUTTER, PAVEMENT, ETC REMOVAL.</div></div>	<div><div>1. PRIOR TO STARTING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.</div><div>2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY. THE SOILS REPORT AND RECOMMENDATIONS SET FORTH THEREIN BY INTERTEK PSI, DATED MARCH 30, 2018 ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION/PROJECT MANAGER OF ANY DISCREPANCY BETWEEN SOILS REPORT AND PLANS, ETC.</div><div>3. THE A.L.T.A. SURVEY IS PERFORMED BY DURVEA & ASSOCIATES, DATED 12.06.17 SHALL BE CONSIDERED A PART OF THESE PLANS. THE G.C. IS RESPONSIBLE FOR LOCATING IMPROVEMENTS PER THESE PLANS.</div><div>4. THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THE PLAN ARE BASED ON FIELD SURVEYS AND CITY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.</div><div>5. ALL DIMENSIONS, GRADES, AND UTILITY LOCATIONS SHOWN ON THESE PLANS WERE BASED ON A.L.T.A SURVEY. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY CONSTRUCTION/PROJECT MANAGER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO INFORMATION SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.</div><div>6. ALL WORK WITHIN THE RIGHTS OF WAY SHALL BE IN ACCORDANCE WITH THE GOVERNING JURISDICTION AND SPECIFICATIONS.</div><div>7. CONTRACTOR SHALL COORDINATE ANY MAINTENANCE OF TRAFFIC WITH THE OWNER'S REPRESENTATIVE AND THE LOCAL JURISDICTION PRIOR TO CONSTRUCTION.</div><div>8. CONTRACTOR SHALL AT ALL TIMES ENSURE THAT SWPP MEASURES PROTECTING EXISTING DRAINAGE FACILITIES BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY PHASE OF THE SITE CONSTRUCTION OR LAND ALTERATION. (SEE SHEET C-131).</div><div>9. UPON COMPLETION OF PROJECT, CONTRACTOR SHALL CLEAN THE PAVED AREAS PRIOR TO REMOVAL OF TEMPORARY SEDIMENT CONTROLS, AS DIRECTED BY THE CITY AND/OR CONSTRUCTION/PROJECT MANAGER. IF POWER WASHING IS USED, NO SEDIMENT LADEN WATER SHALL BE WASHED INTO THE STORM SYSTEM. ALL SEDIMENT LADEN MATERIAL ON PAVEMENT OR WITHIN THE STORM SYSTEM SHALL BE COLLECTED AND REMOVED FROM THE SITE AT CONTRACTOR'S EXPENSE.</div><div>10. THE CONTRACTOR WILL, UPON BECOMING AWARE OF SUBSURFACE OR LATENT PHYSICAL CONDITIONS DIFFERING FROM THOSE DISCLOSED BY THE ORIGINAL SOIL EXPLORATION WORK, PROMPTLY NOTIFY THE OWNER VERBALLY TO PERMIT VERIFICATION OF THE CONDITIONS AND IN WRITING, AS TO THE NATURE OF THE DIFFERING CONDITIONS. NO CLAIM BY THE CONTRACTOR FOR ANY CONDITIONS DIFFERING FROM THOSE ANTICIPATED IN THE PLAN AND SPECIFICATIONS AND DISCLOSED BY THE SOIL STUDIES WILL BE ALLOWED UNLESS THE CONTRACTOR HAS SO NOTIFIED THE OWNER, VERBALLY AND IN WRITING AS REQUIRED ABOVE, OF SUCH DIFFERING CONDITIONS.</div><div>11. THESE PROJECT CONSTRUCTION DOCUMENTS SHALL NOT CONSTITUTE A CONTRACTUAL RELATIONSHIP BETWEEN THE ENGINEER AND THE CONTRACTOR OR THE ENGINEER AND THE SUBCONTRACTOR.</div><div>12. THE ENGINEER WILL NOT BE RESPONSIBLE FOR CONSTRUCTION OR SAFETY MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES UTILIZED IN CONSTRUCTION BY THE CONTRACTOR OR SUBCONTRACTORS.</div><div>13. THE CONTRACTOR SHALL RUN AN INDEPENDENT VERTICAL CONTROL TRAVERSE TO CHECK BENCHMARKS AND A HORIZONTAL CONTROL TRAVERSE THROUGH THE REFERENCED PROJECT CONTROL DATUM TO CONFIRM GEOMETRIC DATA. IT IS THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION.</div><div>14. POT HOLING PUBLIC UTILITIES IS REQUIRED PRIOR TO CONSTRUCTION TO INSURE CITY UTILITY SEPARATION REQUIREMENTS CAN BE MET. AS-BUILT INFORMATION ON THE CITY'S DATABASE IS NOT ALWAYS ACCURATE. THE CITY WILL NOT BE HELD RESPONSIBLE FOR CONTRACTOR NEGLIGENCE IN THIS REGARD THAT MAY RESULT IN HIGHER CONSTRUCTION COSTS OR LIMITED OPTION FOR MODIFICATION.</div></div> <div><div>SITE PLAN NOTES</div><div><div>1. ALL DIMENSIONS AND RADII ARE GIVEN TO FACE OF CURB UNLESS OTHERWISE NOTED.</div><div>2. ALL EXTERIOR SITE SPECIFIC PORTLAND CONCRETE CEMENT (I.E. SIDEWALK, PAVEMENT OR CURBING) SHALL MEET THE LATEST EDITION OF THE STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR MATERIALS USED, MIXING, TRANSPORTATION, PLACEMENT AND CURING. THE MINIMUM STRENGTH FOR PCC ALLOWED IS 4000 PSI AT 28 DAY STRENGTH. AIR ENTRAINMENT SHALL BE IN ACCORDANCE WITH DOT SPECIFICATIONS FOR EXTERIOR CONCRETE. (CONTRACTOR SHALL REFER TO DETAILS WITHIN THIS DRAWING SET FOR ANY VARIATIONS TO THIS SPECIFICATION)."</div><div>3. ALL EXTERIOR CURB SHALL HAVE EXPANSION JOINTS AT 10'-0" O.C. AND CONTROL JOINTS AT 10'-0" O.C. (UNLESS OTHERWISE SPECIFIED ON THE DETAIL SHEETS) ALL EXTERIOR WALK SHALL HAVE EXPANSION JOINTS AT 20'-0" O.C. AND CONTROL JOINTS @ 5'-0" MAX. O.C. (UNLESS OTHERWISE SPECIFIED ON THE DETAIL SHEETS).</div><div>4. ALL CONCRETE SHALL HAVE A MEDIUM TRANSVERSE FINISH.</div><div>5. REINFORCING BARS SHALL CONFIRM TO ASTM A615, GRADE 60.</div><div>6. WELDED WIRE FABRIC REINFORCING SHALL CONFIRM TO ASTM 1064. FURNISH IN FLAT SHEETS.</div></div></div>	<div><div>1. BEFORE STARTING GRADING OPERATIONS, SEE SHEET C-131 THROUGH C-134, STORMWATER POLLUTION PREVENTION PLAN NOTES AND DETAILS (SWPP).</div><div>2. BEFORE STARTING GRADING OPERATIONS, SEE LANDSCAPE PLAN L-101 AND SOILS REPORT FOR TREATMENT OF EXISTING GRADE.</div><div>3. PRIOR TO SITE CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL INSTALL ALL SWPP MEASURES TO PROTECT EXISTING DRAINAGE FACILITIES. CONTRACTOR SHALL PREVENT SILTATION FROM LEAVING THE SITE AT ALL TIMES.</div><div>4. STRIP BUILDING AND PAVEMENT AREAS OF ALL ORGANIC TOPSOILS. STOCKPILE SUITABLE TOPSOILS FOR RESPREADING ONTO LANDSCAPE AREAS. ALL EXCESS EXCAVATED MATERIALS SHALL BE REMOVED FROM THE SITE AT THE CONTRACTOR'S EXPENSE. SEE GEOTECHNICAL REPORT FOR STRIPPING AND TOPSOIL REQUIREMENTS.</div><div>5. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT BY INTERTEK PSI, DATED MARCH 30, 2018 AND REFERENCED IN THIS PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. UNLESS OTHERWISE SPECIFIED IN THE PLANS, SPECIFICATIONS, OR SOILS REPORT THE SITE GRADING, EXCAVATION, AND EMBANKMENT SHALL BE IN ACCORDANCE WITH THE STATE DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS.</div><div>6. AT A MINIMUM ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY PER A.S.T.M. TEST D-1557. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 2% BELOW OPTIMUM. THE CONTRACTOR SHALL FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND RETAIN A QUALIFIED SOILS ENGINEER REGISTERED WITHIN THE STATE TO ENSURE COMPLIANCE WITH THE GEOTECHNICAL REPORT, MAKE GEOTECHNICAL RECOMMENDATIONS BASED ON FIELD CONDITIONS, AND ENSURE THAT ALL SHORING AND DEWATERING MEANS AND METHODS WILL NOT COMPROMISE THE STABILITY OF EXISTING OR PROPOSED FOOTINGS/FOUNDATIONS. THE REQUIREMENT TO HIRE AN INDEPENDENT GEOTECHNICAL ENGINEER MAY BE WAIVED IF AN OWNER HIRED GEOTECHNICAL ENGINEER IS ONSITE. THE OWNER RESERVES THE RIGHT TO REQUEST COMPACTION REPORTS PREPARED BY THE CONTRACTOR'S GEOTECHNICAL ENGINEER, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT. NOTIFY PROJECT CONSTRUCTION MANAGER IF ANY UNSUITABLE SOILS ARE FOUND.</div><div>7. FOLLOWING GRADING OF SUBSOIL, TO SUBGRADE ELEVATIONS THE CONTRACTOR SHALL PLACE TOPSOIL, TO A 6" DEPTH IN ALL DISTURBED AREAS WHICH ARE NOT TO BE PAVED. SMOOTHLY FINISH GRADE TO MEET SURROUNDING LAWN AREAS AND ENSURE POSITIVE DRAINAGE. STOCKPILED TOPSOIL SHALL BE SCREENED PRIOR TO RESPREADING. TOPSOIL SHALL BE FREE OF SUBSOIL, DEBRIS, BRUSH AND STONES LARGER THAN 1" IN ANY DIMENSION. ROCK HOUNDING IN PLACE WILL NOT BE PERMITTED. ALL EXCESS TOPSOIL SHALL BE LEGALLY DISPOSED OF OFF SITE.</div><div>8. ELEVATIONS GIVEN ARE AT BOTTOM FACE OF CURB AND/OR FINISHED PAVEMENT GRADE UNLESS OTHERWISE SPECIFIED ON GRADING PLAN. ALL PAVEMENT SHALL BE LAID ON A STRAIGHT, EVEN, AND UNIFORM GRADE WITH A MINIMUM OF 1% SLOPE TOWARD THE COLLECTION POINTS UNLESS OTHERWISE SPECIFIED ON THE GRADING PLAN. DO NOT ALLOW NEGATIVE GRADES OR PONDING OF WATER.</div><div>9. SLOPE BUILDING SIDEWALK AWAY FROM THE BUILDING AT A MAXIMUM OF 1.5% (UNLESS OTHERWISE INDICATED ON SHEET C-121).</div><div>10. CONTRACTOR SHALL PROVIDE BUTT END JOINT TO MEET EXISTING PAVEMENT IN ELEVATION AT DRIVE RETURNS AND ENSURE POSITIVE DRAINAGE.</div></div> <div><div>UTILITY NOTES</div><div><div>GENERAL UTILITY NOTES</div><div><div>1. CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES IMMEDIATELY AFTER BID IS AWARDED AND ENSURE THE UTILITY COMPANIES HAVE THE ESSENTIALS REQUIRED FOR COMPLETE SERVICE INSTALLATION. CONTRACTOR SHALL NOTIFY CONSTRUCTION MANAGER OF ANY TIME FRAMES ESTABLISHED BY UTILITY COMPANIES WHICH WILL NOT MEET OPENING DATE.</div><div>2. CONTRACTOR SHALL VERIFY THE SIZE, LOCATION, INVERT ELEVATION, AND CONDITION OF EXISTING UTILITIES WHICH ARE INTENDED TO BE UTILIZED AS A CONNECTION POINT FOR ALL PROPOSED UTILITIES (SEE SHEET C-141). PRIOR TO ANY CONSTRUCTION. CONTRACTOR TO ENSURE EXISTING UTILITIES ARE IN GOOD CONDITION AND FREE FLOWING (IF APPLICABLE). IF ELEVATIONS, SIZE, OR LOCATION DIFFER FROM WHAT IS SHOWN ON SHEET C-141, CONTRACTOR SHALL NOTIFY CONSTRUCTION MANAGER IMMEDIATELY.</div><div>3. WHERE PLANS PROVIDE FOR PROPOSED WORK TO BE CONNECTED TO, OR CROSS OVER AN EXISTING SEWER OR UNDERGROUND UTILITY, THE CONTRACTOR SHALL LOCATE THE EXISTING PIPES OR UTILITIES BOTH AS TO LINE AND GRADE BEFORE STARTING THE PROPOSED WORK. IF IT IS DETERMINED THAT THE ELEVATION OF THE EXISTING CONDUIT, OR EXISTING APPURTENANCE RESULTS IN A CHANGE IN THE PLAN, THE CONSTRUCTION MANAGER SHALL BE NOTIFIED BEFORE STARTING CONSTRUCTION OF ANY PORTION OF THE PROPOSED WORK WHICH WOULD BE AFFECTED BY THE INTERFERENCE WITH AN EXISTING FACILITY. PAYMENT FOR ALL THE OPERATIONS DESCRIBED ABOVE SHALL BE INCLUDED IN THE CONTRACT PRICE FOR THE PERTINENT ITEM.</div></div><div><div>STORM SEWER NOTES</div><div><div>1. ALL STORM SEWER PIPE 8" OR GREATER IN DIAMETER SHALL BE CORRUGATED HIGH DENSITY POLYETHYLENE (HDPE) SMOOTH INTERIOR PIPE (UNLESS OTHERWISE NOTED ON PLAN). HDPE PIPE SHALL CONFORM TO ASTM D 3350 AND JOINTS PER ASTM F477. STORM SEWER LESS THAN 8" IN DIAMETER SHALL BE PVC, SDR 35, PER ASTM D 3034 AND JOINTS PER ASTM D 3212 (OR APPROVED EQUAL).</div><div>2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRENCHING, BACKFILLING AND PIPE INSTALLATION, PIPE MATERIAL AND TAP CONNECTION. COORDINATE ALL WORK WITH PAUL KNIPPEL OF THE CITY OF FERNDALE PUBLIC WORKS @ 360-685-2357.</div><div>3. ALL DRAINAGE STRUCTURES AT PAVEMENT SUMPS SHALL HAVE FINGER DRAINS PER DETAIL SHEET C-505.</div><div>4. A STORM WATER MAINTENANCE PLAN MUST BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL AT PROJECT COMPLETION INCLUDING AN 11X17 AS-BUILT DRAWING OF THE STORM WATER CONVEYANCE SYSTEM IN CONFORMANCE WITH THE ATTACHED STORM WATER MAINTENANCE MANUAL (SWMM). CHECKLIST FOR THE CONVEYANCE SYSTEM LOCATED OUTSIDE CITY R/W MUST BE PRIVATELY MAINTAINED.</div></div></div></div></div>	<div><div>SANITARY SEWER NOTES</div><div><div>1. ALL WORK AND MATERIAL SHALL BE IN ACCORDANCE WITH CITY OF FERNDALE STANDARD SPECIFICATIONS AND DETAILS, A.P.W.A STANDARD SPECIFICATIONS, AND WSDOT STANDARD SPECIFICATIONS, MOST RECENT ADDITIONS.</div><div>2. SANITARY SEWER LATERAL INVERT AT BUILDING SHALL BE A MINIMUM OF 4.0' BELOW FINISH FLOOR.</div><div>3. CLEAN-OUTS TO BE INSTALLED AT ALL PIPE BENDS AND ANGLES PER SS 5, UNLESS A MANHOLE IS INDICATED.</div><div>4. ALL BEDDING SHALL BE PEA GRAVEL PER CITY OF FERNDALE SEWER DETAIL SS-1.</div><div>5. THE CONTRACTOR SHALL HIRE A LOCAL PLUMBER LICENSED WITH THE LOCAL SANITARY JURISDICTION TO MAKE ALL CONNECTIONS FROM THE BUILDING TO THE EXISTING SEWER. CONTRACTOR SHALL SECURE A SANITARY SEWER CONNECTION PERMIT PRIOR TO ANY CONSTRUCTION. THE CONTRACTORS PRICE FOR SANITARY SEWER INSTALLATION SHALL INCLUDE ALL FEES AND APPURTENANCES REQUIRED BY THE LOCAL SANITARY JURISDICTION TO PROVIDE A COMPLETE WORKING SERVICE. COORDINATE ALL WORK WITH LARRY HONEYCUTT OF CITY OF FERNDALE PUBLIC WORKS @ 360-685-2366.</div></div><div>ALL SIDE SEWER PIPE MATERIAL SHALL BE INSTALLED PER CITY OF FERNDALE STANDARD DETAILS SS-6 THROUGH SS-8.</div><div><div>WATER NOTES</div><div><div>1. ALL WORK AND MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF FERNDALE DEVELOPMENT STANDARDS.</div><div>2. WATER SERVICE MATERIALS SHALL BE COPPER TYPE "K" UNLESS OTHERWISE NOTED ON PLANS. DIAMETER SHALL BE AS NOTED ON THESE PLANS (SHEET C-141) AND SHALL BE INSTALLED WITH A MINIMUM COVER OF 48" OR BELOW FROST LINE, WHICHEVER IS GREATER.</div><div>3. CONSTRUCTION AND MATERIALS PROVIDED BY THE WATER COMPANY:</div><div><div>• TAP MAIN.</div><div>• FURNISH AND INSTALL CURB STOP & BOX AND WATER METER.</div><div>• COORDINATE ALL WORK WITH LARRY HONEYCUTT OF CITY OF FERNDALE PUBLIC WORKS @ 360-685-2366.</div></div><div>3. CONSTRUCTION AND MATERIALS PROVIDED BY THE CONTRACTOR:</div><div><div>• FURNISH AND INSTALL COPPER SERVICE LINE FROM METER TO BUILDING.</div><div>• ALL TRENCHING AND BACKFILLING.</div></div><div>4. CONTRACTOR SHALL PROVIDE 100% IRRIGATION PER CONSTRUCTION/PROJECT MANAGER AND CITY/VILLAGE/TOWNSHIP REQUIREMENTS. COORDINATE SLEEVE LOCATIONS WITH THE CONSTRUCTION/PROJECT MANAGER AND IRRIGATION CONSULTANT PRIOR TO PAVEMENT AND CURB INSTALLATION.</div></div></div><div><div>ELECTRICAL NOTES</div><div><div>1. SEE ELECTRICAL DRAWINGS FOR SITE LIGHTING AND LUMINAIRE DESCRIPTION.</div><div>2. SEE ELECTRICAL SHEETS FOR ALL DEDICATED EXTERIOR BUILDING AND SIGN LIGHTING SCHEDULES. ELECTRICAL CONTRACTOR SHALL BALANCE LOADS WHERE REQUIRED.</div><div>3. ALL PARKING LOT LIGHTING WIRING SHALL BE NO. 10 AWG IN 3/4" PVC DUCT.</div><div>4. WHEN INSTALLING VERTICAL SWEEPS FOR UTILITY CONDUITS, CONTRACTOR SHALL USE 4" SCHD. 80 DUCTS.</div><div>5. CONSTRUCTION AND MATERIALS PROVIDED BY THE ELECTRIC COMPANY:</div><div><div>• FURNISH AND INSTALL POLE MOUNTED TRANSFORMER.</div><div>• MAKE APPROPRIATE PRIMARY AND SECONDARY CONNECTIONS AT TRANSFORMER.</div><div>• FURNISH AND INSTALL METER.</div><div>• RUN CONDUIT UP POLE.</div><div>• COORDINATE ALL WORK WITH PUGET SOUND ENERGY @ 888-225-5773.</div></div><div>6. CONSTRUCTION AND MATERIALS PROVIDED BY THE CONTRACTOR:</div><div><div>• FURNISH AND INSTALL 1-4" PVC SCHEDULE 40 DUCTS, INCLUDING ALL TRENCHING AND BACKFILLING FROM TRANSFORMER TO BUILDING.</div><div>• FURNISH AND INSTALL SECONDARY WIRE FROM THE BUILDING TO THE TRANSFORMER.</div><div>• FURNISH AND INSTALL METER BASE AND CT CABINET.</div><div>• INCLUDE ALL FEES REQUIRED BY ELECTRIC COMPANY TO PROVIDE A COMPLETE WORKING SERVICE.</div></div></div><div><div>TELEPHONE NOTES</div><div><div>1. CONSTRUCTION AND MATERIALS PROVIDED BY THE TELEPHONE COMPANY:</div><div><div>• COORDINATE ALL WORK WITH FRONTIER COMMUNICATIONS @ 855-842-5812.</div><div>• PROVIDE AND INSTALL WIRING TO EXISTING SERVICE MANHOLE.</div></div><div>2. CONSTRUCTION AND MATERIALS PROVIDED BY THE CONTRACTOR:</div><div><div>• FURNISH AND INSTALL ONE 4" PVC SCH. 40 CONDUIT WITH PULLWIRE FROM THE BUILDING TO EXISTING SERVICE.</div><div>• ALL TRENCHING AND BACKFILLING.</div><div>• INCLUDE ALL FEES REQUIRED BY TELEPHONE COMPANY TO PROVIDE A COMPLETE WORKING SERVICE.</div></div><div>3. CONTRACTOR SHALL COORDINATE THE NUMBER OF LINES REQUIRED WITH THE CONSTRUCTION/ PROJECT MANAGER.</div></div><div><div>NATURAL GAS NOTES</div><div><div>1. CONSTRUCTION AND MATERIALS PROVIDED BY THE GAS COMPANY:</div><div><div>• TAP MAIN.</div><div>• FURNISH AND INSTALL SERVICE FROM TAP TO BUILDING.</div><div>• ALL TRENCHING AND BACKFILLING.</div><div>• FURNISH AND INSTALL METER.</div><div>• COORDINATE ALL WORK WITH JEN QUIST OF CASCADE NATURAL GAS @ 360-788-2376.</div></div><div>2. CONSTRUCTION AND MATERIALS PROVIDED BY THE CONTRACTOR:</div><div><div>• FURNISH AND INSTALL SERVICE FROM METER TO BUILDING AND THROUGHOUT THE BUILDING.</div><div>• CONTRACTOR SHALL INCLUDE ALL FEES REQUIRED BY THE GAS COMPANY TO PROVIDE A COMPLETE WORKING SERVICE.</div></div></div></div></div></div></div>	<div><div>EXISTING</div><div><div></div><div>EXISTING IRON PIN FOUND AS NOTED</div></div><div><div></div><div>EXISTING LIGHT POLE</div></div><div><div></div><div>EXISTING POWER POLE</div></div><div><div></div><div>EXISTING TRANSFORMER</div></div><div><div></div><div>EXISTING ELECTRIC PULLBOX</div></div><div><div></div><div>EXISTING CATCH BASIN</div></div><div><div></div><div>EXISTING CURB INLET</div></div><div><div></div><div>EXISTING DOWN SPOUT</div></div><div><div></div><div>EXISTING SANITARY MANHOLE</div></div><div><div></div><div>EXISTING FIRE HYDRANT</div></div><div><div></div><div>EXISTING WATER METER</div></div><div><div></div><div>EXISTING WATER VALVE</div></div><div><div></div><div>EXISTING GAS VALVE</div></div><div><div></div><div>EXISTING GAS METER</div></div><div><div></div><div>EXISTING TELEPHONE PEDESTAL</div></div><div><div></div><div>EXISTING POST OR BOLLARD</div></div><div><div></div><div>EXISTING SIGN</div></div><div><div></div><div>EXISTING CLEANOUT</div></div><div><div></div><div>EXISTING MONITORING WELL</div></div><div><div></div><div>EXISTING GUY WIRE</div></div><div><div></div><div>EXISTING SOIL BORING</div></div><div><div></div><div>EXISTING CONCRETE PAD/AREA</div></div><div><div></div><div>EXISTING PROPERTY LINE</div></div><div><div></div><div>EXISTING RIGHT OF WAY LINE</div></div><div><div></div><div>EXISTING OVERHEAD UTILITY LINES</div></div><div><div></div><div>EXISTING UNDERGROUND GAS LINES</div></div><div><div></div><div>EXISTING UNDERGROUND STORM LINES</div></div><div><div></div><div>EXISTING UNDERGROUND SANITARY LINES</div></div><div><div></div><div>EXISTING UNDERGROUND WATER LINES</div></div><div><div></div><div>EXISTING UNDERGROUND ELECTRIC LINES</div></div><div><div></div><div>EXISTING UNDERGROUND TELEPHONE LINES</div></div><div><div></div><div>EXISTING BUILDING/STRUCTURE</div></div><div><div></div><div>EXISTING CURB</div></div><div><div></div><div>EXISTING BUSH</div></div><div><div></div><div>EXISTING DECIDUOUS TREE</div></div><div><div></div><div>EXISTING CONTOUR</div></div><div><div>PROPOSED</div><div><div></div><div>PROPOSED CATCH BASIN</div></div><div><div></div><div>PROPOSED CURB INLET</div></div><div><div></div><div>PROPOSED STORM MANHOLE</div></div><div><div></div><div>PROPOSED CLEAN OUT</div></div><div><div></div><div>PROPOSED SANITARY MANHOLE</div></div><div><div></div><div>PROPOSED EXTERIOR GREASE INTERCEPTOR</div></div><div><div></div><div>PROPOSED ELECTRIC TRANSFORMER</div></div><div><div></div><div>PROPOSED LIGHT POLE</div></div><div><div></div><div>PROPOSED EDGE OF PAVEMENT</div></div><div><div></div><div>PROPOSED CURB</div></div><div><div></div><div>PROPOSED CURB & GUTTER</div></div><div><div></div><div>PROPOSED WHEEL STOP</div></div><div><div></div><div>PROPOSED TRAFFIC SIGN</div></div><div><div></div><div>PROPOSED GRASSED SWALE</div></div><div><div></div><div>PROPOSED PAINTED ADA SYMBOL</div></div><div><div></div><div>PROPOSED DIRECTIONAL PAVEMENT MARKINGS</div></div></div></div> <div><div>APPROVED</div><div><div>FEB 15 2019</div><div>BY </div><div>CITY OF FERNDALE PUBLIC WORKS DEPARTMENT</div></div></div> <div><div>PLAN REPRODUCTION WARNING</div><div>THE PLANS HAVE BEEN CREATED ON ANSI D (22"x34") SHEETS, REFER TO GRAPHIC SCALE.</div></div>



GPD GROUP
Professional Corporation
520 South Main Street, Suite 2531
Akron, OH 44311
330.572.2100 Fax: 330.572.2102

AS-BUILT DRAWING

AS-BUILT NOTE:
ONLY INFORMATION NOTED
AS-BUILT "AB" HAS BEEN
PROVIDED BY THE SURVEYOR.



ADDENDUM # 2

04/28/18

CONTRACT DATE: 02.26.18

BUILDING TYPE: EXPLORER LITE LG

PLAN VERSION: DECEMBER 2016


BRAND DESIGNER: WANCHO

SITE NUMBER:

STORE NUMBER: 2017088.41

TACO BELL

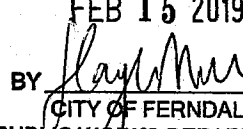
5720 BARRETT RD
FERNDALE, WA 98248




EXPLORER LITE
LARGE66

GENERAL NOTES

C-001

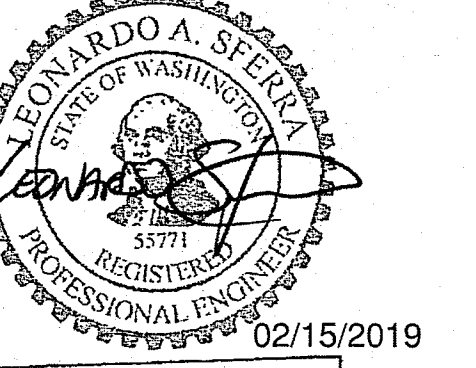
CITY OF FERNDALE GENERAL REQUIREMENTS						
<p>GENERAL REQUIREMENTS:</p> <p>1. ALL WORK AND MATERIALS SHALL CONFORM TO THESE PLANS AND TO THE REQUIREMENTS OF THE CURRENT EDITION OF THE "STATE OF WASHINGTON, DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION" (WSDOT SPECS.), THE CITY OF FERNDALE DEVELOPMENT STANDARDS (COFDS) AND THE 2005 VERSION OF THE DEPARTMENT OF ECOLOGY STORM WATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON (DOE MANUAL). IN CASE OF A CONFLICT BETWEEN PLANS, REGULATORY STANDARDS OR SPECIFICATIONS, THE MORE STRINGENT REQUIREMENT WILL PREVAIL.</p> <p>2. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER CONSTRUCTION DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES. THROUGHOUT THE PERIOD OF CONSTRUCTION, CONTRACTOR SHALL COMPLY WITH THE TERMS OF ALL PERMITS.</p> <p>3. THE CONTRACTOR MUST HAVE A FULL SET OF CITY CONTRACT DOCUMENTS ON THE SITE WHENEVER CONSTRUCTION IS IN PROGRESS.</p> <p>4. CONSTRUCTION NOISE SHALL BE LIMITED TO BETWEEN 7 a.m. TO 7 p.m., MONDAY THROUGH FRIDAY.</p> <p>5. THE CONTRACTOR SHALL CONTACT THE UTILITIES UNDERGROUND LOCATION CENTER AT LEAST 72 HOURS PRIOR TO STARTING CONSTRUCTION. PHONE: 1-800-424-5555. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL OF THE VARIOUS UTILITY COMPANIES TO ARRANGE FOR FIELD LOCATIONS OF ALL EXISTING UTILITY FACILITIES PRIOR TO STARTING CONSTRUCTION. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR COSTS INCURRED BECAUSE OF DAMAGE DONE TO EXISTING FACILITIES BY THE CONTRACTOR'S WORK FORCE, INCLUDING COSTS FOR REPAIRS, WHICH WILL BE CONTRACTOR'S SOLE RESPONSIBILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF ALL EXISTING UTILITIES AND TO NOTIFY THE ENGINEER PROMPTLY OF ANY CONFLICT BETWEEN THE APPROVED PLANS AND THE LOCATION OF ANY EXISTING UTILITIES.</p> <p>6. THE CONTRACTOR SHALL PROTECT ALL PRIVATE AND PUBLIC UTILITIES FROM DAMAGE RESULTING FROM THE WORK. CONTRACTOR SHALL RESTORE ALL PRIVATE AND PUBLIC PROPERTY DISRUPTED BY THE PROJECT IMMEDIATELY AFTER CONSTRUCTION.</p> <p>7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL MEASURES THROUGHOUT THE DURATION OF THE PROJECT. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CLEARING OR GRADING. THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE ONSITE AT ALL TIMES DURING CONSTRUCTION ACTIVITIES.</p> <p>8. SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL ABOVE GROUND AND BURIED DEBRIS AND WASTE THAT MAY BE PRESENT.</p> <p>9. THE CONTRACTOR SHALL OBTAIN REVOCABLE ENCROACHMENT PERMITS FROM THE CITY OF FERNDALE AND/OR WHATCOM COUNTY PRIOR TO COMMENCING WORK WITHIN THE PUBLIC RIGHTS-OF-WAY.</p> <p>10. THE CONTRACTOR SHALL ATTEND A PRE-CONSTRUCTION MEETING WITH REPRESENTATIVES OF THE CITY OF FERNDALE PUBLIC WORKS DEPARTMENT AND THE ENGINEER OF RECORD A MINIMUM OF THREE (3) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION. THE CITY WILL SCHEDULE THE MEETING.</p> <p>11. ALL WORK AND MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE CITY OF FERNDALE PUBLIC WORKS DEPARTMENT, REPRESENTATIVES FROM THE CITY OF FERNDALE PUBLIC WORKS DEPARTMENT MUST INSPECT ALL WORK IDENTIFIED ON THE PLANS, BOTH PUBLIC AND PRIVATE. THE CONTRACTOR SHALL CALL AT LEAST 24 HOURS IN ADVANCE TO SCHEDULE INSPECTIONS AS FOLLOW:</p> <p>A. PLACEMENT OF TEMPORARY EROSION CONTROL MEASURES.</p> <p>B. CONSTRUCTION OF STORMWATER MANAGEMENT FACILITIES.</p> <p>C. PLACEMENT OF WATER MAIN AND BACKFILLING OF WATER MAIN TRENCH WITHIN ROAD RIGHTS-OF-WAY OR IN WATERLINE EASEMENT TO BE DEDICATED TO THE CITY OF FERNDALE.</p> <p>D. PLACEMENT AND BACKFILLING OF UNDERGROUND UTILITIES, STORM SEWER AND SANITARY SEWER WITHIN ROAD RIGHTS-OF-WAY, IN EASEMENTS TO BE DEDICATED TO THE CITY OF FERNDALE. OR OTHER PUBLICLY SHARED FACILITIES.</p> <p>E. GRADING OF PUBLIC OR PRIVATE ROADWAY AT:</p> <p>1. COMPLETION OF EXCAVATION TO SUBGRADE.</p> <p>2. COMPLETION OF BALLAST COURSE PLACEMENT.</p> <p>3. COMPLETION OF CRUSHED SURFACING COURSE PLACEMENT.</p> <p>F. POURING OF CURB AND GUTTER AND SIDEWALK IN PUBLIC OR PRIVATE ROADWAY.</p> <p>G. ASPHALT PAVING IN PROGRESS IN PUBLIC OR PRIVATE ROADWAY.</p> <p>H. OVERALL INSPECTION FOR FINISHED SHOULDERS, DITCHES, PERMANENT SEEDING AND MONUMENT PLACEMENT.</p> <p>I. END OF MAINTENANCE PERIOD.</p> <p>12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH AND SAFETY OF THE PUBLIC, AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK COVERED BY THE CONTRACTOR. ANY WORK WITHIN THE TRAVELED RIGHT-OF-WAY THAT MAY INTERRUPT NORMAL TRAFFIC FLOW SHALL REQUIRE AT LEAST ONE FLAGGER FOR EACH LANE OF TRAFFIC AFFECTED. A TRAFFIC CONTROL PLAN SHALL BE SUBMITTED TO THE CITY FOR APPROVAL PRIOR TO PERFORMING THE WORK. ALL SECTIONS OF THE WSDOT SPECS., 1-07.23- TRAFFIC CONTROL, SHALL APPLY.</p> <p>13. THE CONTRACTOR SHALL INFORM THE ENGINEER AND OBTAIN APPROVAL FROM THE CITY OF FERNDALE PUBLIC WORKS DIRECTOR OF ANY PROPOSED DEVIATION FROM THE APPROVED PLANS PRIOR TO CONSTRUCTION OF THE REVISED IMPROVEMENTS. THE CONTRACTOR SHALL KEEP RECORDS OF ALL DEVIATIONS AND SHALL FORWARD THEM TO THE ENGINEER AND TO THE CITY OF FERNDALE PUBLIC WORKS DEPARTMENT.</p> <p>14. AS-BUILT DATA SHALL BE PROVIDED TO THE CITY OF FERNDALE UPON COMPLETION OF CONSTRUCTION AND PROVIDED IN CITY OF FERNDALE DATUM - VERTICAL (NGVD 29) AND HORIZONTAL (NAD 83/91). CONTACT THE CITY FOR MORE INFORMATION ON SUBMITTAL REQUIREMENTS.</p>	<p>UNDERGROUND UTILITIES CONSTRUCTION:</p> <p>1. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE ENGINEER OF RECORD TO ASSURE ACCURATE AND TIMELY COLLECTION OF ALL REQUIRED AS-BUILT DATA. THIS DATA MUST ACCURATELY REFLECT THE LOCATIONS OF ALL UNDERGROUND UTILITIES, BOTTOM OF PIPE ELEVATIONS, INVERT ELEVATIONS, MANHOLE LOCATIONS, WATER SERVICE TAPS, BLOW-OFF LOCATIONS AND INVERTS OF SERVICE CONNECTIONS (BOTH AT PIPE AND AT PROPERTY LINE), VERTICAL AND HORIZONTAL BENDS, SERVICE BOXES AND METERS, VALVES AND HYDRANTS. CALL THE ENGINEER OF RECORD AT LEAST 48-HOURS BEFORE BURYING UNDERGROUND PIPE TO ASSURE AND FACILITATE REQUIRED AS-BUILT SURVEY.</p> <p>2. THE CONSTRUCTION OF UNDERGROUND UTILITY LINES SHALL BE SUBJECT TO THE FOLLOWING CRITERIA:</p> <p>a) NO MORE THAN 500 FEET OF TRENCH SHALL BE OPENED AT ONE TIME.</p> <p>b) WHERE CONSISTENT WITH SAFETY AND SPACE CONSIDERATIONS, EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF DITCHES.</p> <p>c) TRENCH DEWATERING DEVICES SHALL DISCHARGE INTO SEDIMENT TRAPS OR SEDIMENT PONDS.</p> <p>d) WHERE PRACTICAL, INSTALL GRAVITY PIPE UTILITIES PRIOR TO INSTALLATION OF OTHER UTILITIES.</p> <p>3. UTILITY CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF FERNDALE DEVELOPMENT STANDARDS.</p>	<p>EARTHWORK:</p> <p>1. UNSUITABLE MATERIAL FOUND AND NOT FIT FOR USE AS A SUB-GRADE SHALL BE EXCAVATED TO THE BOUNDARIES SET BY THE ENGINEER AND REPLACED WITH A SUITABLE BACKFILL MATERIAL.</p> <p>2. THE ENGINEER IS REQUIRED TO CERTIFY SUBGRADE, IN WRITING, PRIOR TO PAVING.</p>	<p>BASE COURSES & CRUSHED SURFACING:</p> <p>1. GRAVEL BASES AND BALLAST MATERIAL GRADATION SHALL MEET THE CURRENT EDITION OF WSDOT STANDARD SPECIFICATIONS.</p> <p>2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MATERIAL AND COMPACTION TESTING. PRIOR TO IMPORTING OF MATERIAL FOR BASE AND CRUSHED SURFACING TOP COURSE THE CONTRACTOR SHALL PROVIDE EVIDENCE OF SATISFACTORY PASSING GRADING AND DEGRADATION TEST RESULTS TO THE ENGINEER.</p>	<p>STORM DRAINAGE:</p> <p>1. ALL DRAINAGE STRUCTURES, INCLUDING THOSE INSTALLED FOR A STORMWATER POND, SHALL HAVE A LOCKING GRATE OR SOLID LOCKING LID.</p> <p>2. CONTROL DENSITY FILL SHALL BE USED IN AREAS WHERE LESS THAN 18" OF COVER IS MAINTAINED OVER THE PROPOSED STORM PIPES (PIPE IS IN ROAD BASE SECTION), AS SHOWN IN THE PLANS. DUCTILE IRON PIPE MAY BE USED FOR STORM PIPES WITH LESS THAN 18" OF COVER IF APPROVED BY THE CITY.</p> <p>3. AT THE END OF ALL SITE CONSTRUCTION, THE CONTRACTOR SHALL CLEAN DEBRIS FROM ALL NEW AND AFFECTED CATCH BASINS AND STORMWATER CONVEYANCES. DEBRIS SHALL NOT BE ALLOWED TO ENTER STREAMS OR OFF-SITE STORMWATER SYSTEMS.</p>	<p>ROAD:</p> <p>1. THE OWNER SHALL PROVIDE TO THE ENGINEER A REPORT FROM A QUALIFIED GEOTECHNICAL FIRM CERTIFYING THE COMPACTION OF THE GRAVEL BASE UNDER ALL PAVING AREAS.</p> <p>2. HOT MIX ASPHALT WORK SHALL BE DONE IN ACCORDANCE WITH SECTION 5-04 OF THE WSDOT SPECS., EXCEPT AS MODIFIED HEREIN. CONNECTION TO EXISTING PAVEMENT SHALL BE TO A STRAIGHT NEATLY-TRIMMED LINE.</p> <p>3. CRUSHED ROCK SURFACING FOR PAVEMENT SHALL BE IN ACCORDANCE WITH WSDOT STANDARD SPECIFICATION, SECTION 9-03.9(3); BALLAST PER SECTION 9-03.9(1).</p> <p>4. CEMENT CONCRETE SHALL BE CLASS 3000 (WITH AIR ENTRAINMENT) IN ACCORDANCE WITH WSDOT STANDARD SPECIFICATION, SECTION 6-02.3(2)B.</p> <p>5. CEMENT CONCRETE DRIVEWAYS SHALL BE 6 INCHES THICK AND CONSTRUCTED WHERE SHOWN ON THE PLANS OR DESIGNATED BY THE ENGINEER IN ACCORDANCE WITH COFSD R-15. A 2- INCH LAYER OF 3/4 INCH DRAIN ROCK SHALL BE USED FOR DRIVEWAY BEDDING.</p> <p>6. PAVEMENT</p> <p>a. ALL PAVEMENT REPAIR SHALL BE SAW-CUT BEFORE REMOVAL. AR-4000W SHALL BE APPLIED TO ALL EDGES OF EXISTING PAVEMENT. WHERE NEWLY CONSTRUCTED PAVING MEETS EXISTING PAVING, THE APPLICANT SHALL PROVIDE A SMOOTH TRANSITION FROM EXISTING TO PROPOSED PAVING. CONTRACTOR SHALL COLD PLANE PER DIMENSIONS SPECIFIED ON THE PLANS, AND INSTALL A MINIMUM 2-FOOT WIDE PETROTAC PAVING FABRIC, OR EQUIVALENT, OVER JOINT BETWEEN PAVING LIFTS.</p>	<p>APPROVED</p> <p>FEB 15 2019</p> <p>BY: </p> <p>CITY OF FERNDALE PUBLIC WORKS DEPARTMENT</p>
<p>PLAN REPRODUCTION WARNING THE PLANS HAVE BEEN CREATED ON ANSI D (22"x34") SHEETS, REFER TO GRAPHIC SCALE.</p>						



520 South Main Street, Suite 2531
Akron, OH 44331
330.572.2100 Fax: 330.572.2102

AS-BUILT DRAWING

AS-BUILT NOTE:
ONLY INFORMATION NOTED
AS-BUILT "AB" HAS BEEN
PROVIDED BY THE SURVEYOR.




EXPIRES 04/16/2020

ADDENDUM # 2	04/28/18

CONTRACT DATE: 02.26.18
BUILDING TYPE: EXPLORER LITE LG
PLAN VERSION: DECEMBER 2016
BRAND DESIGNER: WANCHO
SITE NUMBER:
STORE NUMBER: 2017088.41

TACO BELL

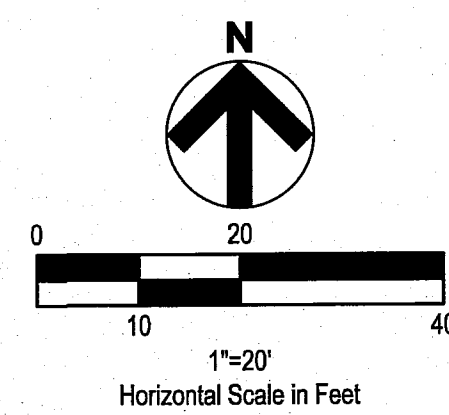
5720 BARRETT RD
FERNDAL, WA 98248



EXPLORER LITE
LARGE66

**CITY OF FERNDAL
GENERAL
REQUIREMENTS**

C-002




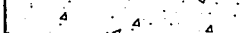




- 1 EXISTING CURB TO BE REMOVED.
- 2 EXISTING "25 MPH SPEED LIMIT" SIGN TO BE RELOCATED PER SITE PLAN, SEE SHEET C-11.
- 3 EXISTING "STOP" SIGN TO BE REMOVED.
- 4 EXISTING BILLBOARD SIGN POST TO BE REMOVED.
- 5 EXISTING LANDSCAPING (INCLUDING BUSHES, TREES, ETC.) TO BE REMOVED.
- 6 EXISTING TRASH ENCLOSURE TO BE REMOVED ALONG WITH ALL ASSOCIATED FENCE AND BOLLARDS.
- 7 EXISTING UTILITIES TO BE REMOVED.
- 8 EXISTING STORM SEWER PIPE AND CATCH BASIN TO BE REMOVED.
- 9 CONTRACTOR TO VERIFY EXACT LOCATION AND SOURCE OF EXISTING FIBER OPTIC LINES. CONTRACTOR SHALL REMOVE FIBER OPTIC LINES SERVING TO EXISTING DENNY'S BUILDING ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO FIBER OPTIC LINES SERVING ADJACENT PROPERTIES AND MANLINES.
- 10 EXISTING FENCE TO BE REMOVED.
- 11 EXISTING BOLLARDS TO BE REMOVED.

50 EXISTING UTILITIES TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION.
51 EXISTING PAVEMENT TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION.

ALL EXISTING SITE AND SURROUNDING FEATURES SUCH AS UTILITIES, PAVEMENT, CURB, LANDSCAPING, ETC. SHALL REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION UNLESS NOTED OTHERWISE. OR ARE REQUIRED TO BE MODIFIED OR REMOVED FOR THE INSTALLATION OF PROPOSED IMPROVEMENTS. ALL DISTURBED FEATURES SHALL BE RESTORED OR RELOCATED AS REQUIRED TO THE SATISFACTION OF THE OWNER. CONTRACTOR SHALL REPAIR/REPLACE ANY SURROUNDING FEATURES DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COST AND TO THE SATISFACTION OF THE OWNER. CAP UTILITIES AT LIMITS OF WORK.

NOTE: REMOVAL OF EXISTING CURB, GUTTER AND SIDEWALK IS TO FACILITATE
NEW ENTRANCE AND INTERSECTION CONFIGURATION. (SEE SHEET C-111).

(SEE SHEET C-001 FOR GENERAL LEGEND)

	EXISTING ASPHALT TO BE REMOVED
	EXISTING CONCRETE TO BE REMOVED
	EXISTING BUILDING/STRUCTURE TO BE REMOVED
	EXISTING INGRESS/EGRESS AND UTILITY EASEMENT
	DENOTES LIMITS OF SAWCUT
	DEMOLITION KEYNOTE

EXISTING STRUCTURES	
STRICT. ID	STRUCTURE DETAILS
SAN 200	EXISTING SANITARY SEWER MANHOLE RIM=34.74 INV. 8" E (N)=28.96 INV. 8" E (W)=28.96
SAN 201	EXISTING SANITARY SEWER MANHOLE RIM=35.28 INV. 8" E (E)=28.46 INV. 8" E (S)=27.75


APPROVED

FEB 15 2019
BY Ray M. Murr
CITY OF FERNDALE
PUBLIC WORKS DEPARTMENT

BENCHMARKS:

BASIS OF BEARING: NAVD88

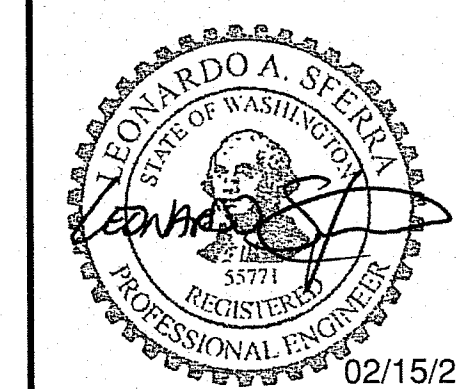
BENCHMARK #1 - "X" ON NORTHEASTERLY HEAD
BOLT ON FIRE HYDRANT. ELEVATION=40.79'



Know what's below
Call before you dig.




















AS-BUILT NOTE:
ONLY INFORMATION NOTED
AS-BUILT "AB" HAS BEEN
PROVIDED BY THE SURVEYOR.



02/15/2019

EXPIRES 04/16/2020

	ADDENDUM # 2	06/28/18
	ADDENDUM # 3	08/14/18
		
		
		
		
		
		
		
		
		
		
		
		
		
		
		

CONTRACT DATE: 02.26.18
BUILDING TYPE: EXPLORER LITE LG
PLAN VERSION: DECEMBER 2016
BRAND DESIGNER: WANCHO
SITE NUMBER:
STORE NUMBER: 2017088.41

TACO BELL

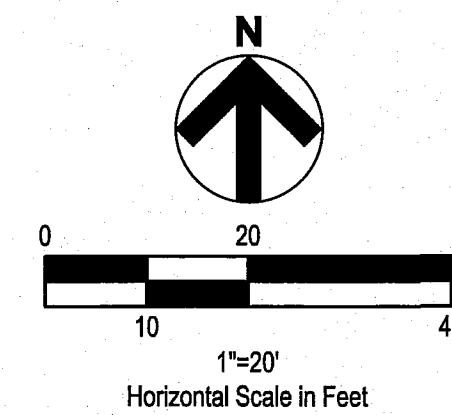
5720 BARRETT RD
FERNDALE, WA 98248

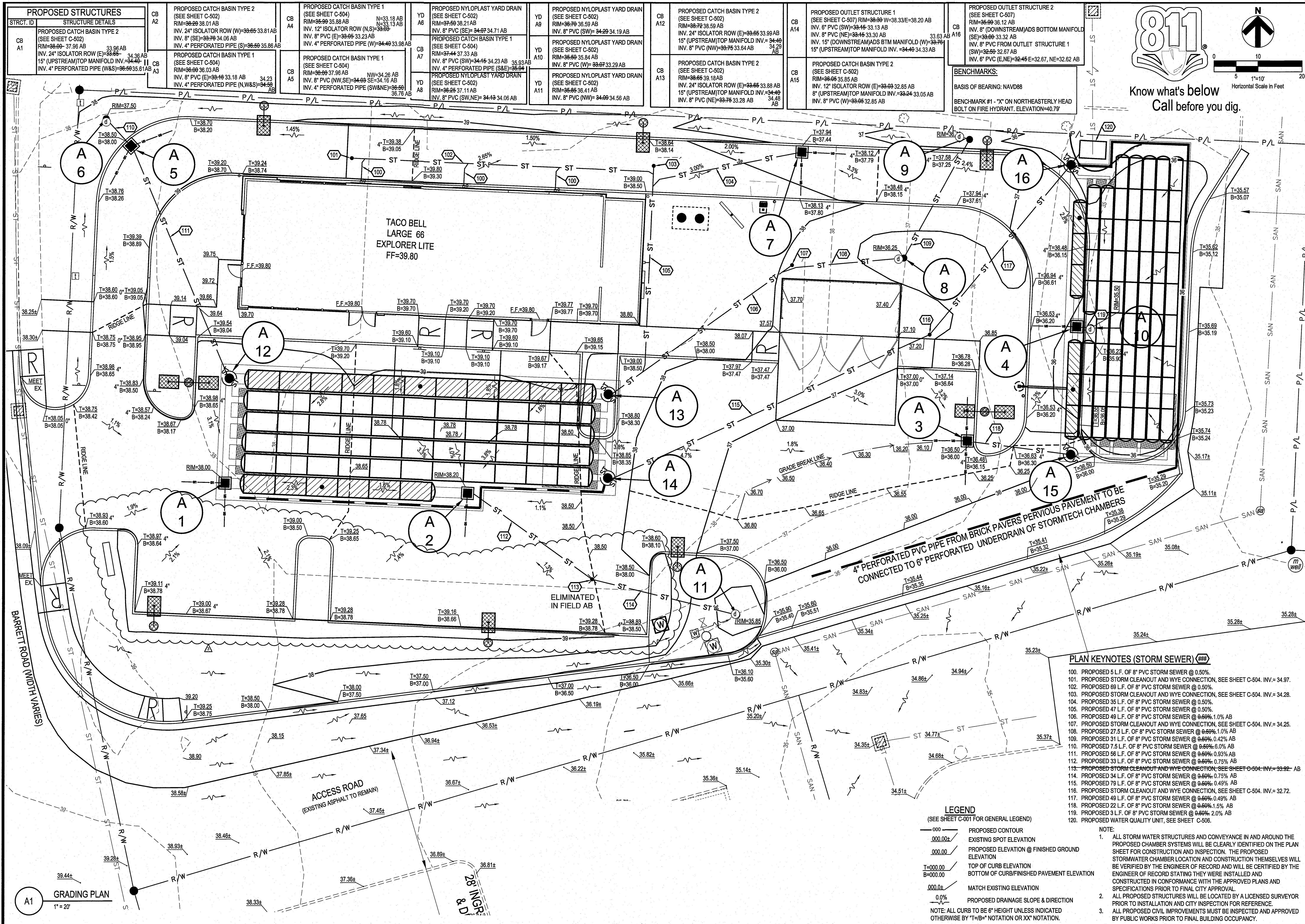


EXPLORER LITE
LARGE66

DEMOLITION PLAN

C-101





STORM WATER POLLUTION PREVENTION NOTES

- ALL WORK SPECIFIED AS AN WASHINGTON STATE DEPARTMENT OF ECOLOGY ITEM SHALL BE GOVERNED BY THE CURRENT STATE OF DEPARTMENT OF ECOLOGY CONSTRUCTION AND MATERIAL SPECIFICATIONS AS WELL AS THE CURRENT EDITION OF THE CITY OF FERNDALE, WASHINGTON STORM WATER MANAGEMENT MANUAL. IT IS THE CONTRACTORS RESPONSIBILITY TO POSSESS AND TO BE FAMILIAR WITH APPLICABLE SECTIONS.
- THESE CONTRACT DRAWING SHALL BE MADE AVAILABLE ON SITE AT ALL TIMES AND PRESENTED UPON REQUEST. IF UNFORESEEN STORM WATER POLLUTION IS ENCOUNTERED, ADDITIONAL STORM WATER POLLUTION PREVENTION (SWPP) MEASURES SHALL BE IMPLEMENTED TO MANAGE THE CURRENT SITE CONDITIONS WHICH MAY BE REQUESTED BY THE OWNER, COUNTY ENGINEER, PROJECT ENGINEER OR SOIL AND WATER CONSERVATION SERVICE REPRESENTATIVE AT ANYTIME. SUCH REQUESTS AND CHANGE IN SITE CONDITIONS SHALL BE IMPLEMENTED IMMEDIATELY AT CONTRACTOR'S EXPENSE.
- ALL STORM WATER POLLUTION PREVENTION PRACTICES WILL BE INSTALLED BEFORE ANY OTHER EARTH MOVING OCCURS.
- ALL STORM WATER POLLUTION PREVENTION ITEMS SHALL BE INSTALLED AS SHOWN OR NOTED IN THESE PLANS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ALL SEDIMENTATION AND STORM WATER POLLUTION PREVENTION ITEMS AT ALL TIMES.
- IF NECESSARY, THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- IF NECESSARY, ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN ANY ROAD RIGHT OF WAY DURING CONSTRUCTION.
- IF ENCOUNTERED DURING SITE REDEVELOPMENT, ANY OIL/GAS WELLS OR MINE SHAFTS MUST BE PROPERLY ABANDONED, VAULTED AND VENTED IN ACCORDANCE WITH CURRENT REGULATIONS AND SPECIFICATIONS OF ALL GOVERNING AUTHORITIES
- IF, FOR ANY REASON, THE PROJECT IS SUSPENDED, THE CONTRACTOR SHALL INSURE THAT ALL INSTALLED EROSION MEASURES ARE FUNCTIONING AND PROPERLY MAINTAINED DURING THIS PERIOD, AND THAT ALL BARE SOILS ARE SEEDED AND MULCHED WITH TEMPORARY SEED MIXTURE.

ADDITIONAL CONSTRUCTION SITE POLLUTION CONTROLS

- CONSTRUCTION PERSONNEL, INCLUDING SUBCONTRACTORS WHO MAY USE OR HANDLE HAZARDOUS OR TOXIC MATERIALS, SHALL BE MADE AWARE OF THE FOLLOWING GENERAL GUIDELINES REGARDING DISPOSAL AND HANDLING OF HAZARDOUS AND CONSTRUCTION WASTES:
 - PREVENT SPILLS
 - USE PRODUCTS UP
 - FOLLOW LABEL DIRECTIONS FOR DISPOSAL
 - REMOVE LIDS FROM EMPTY BOTTLES AND CANS WHEN DISPOSING IN TRASH
 - RECYCLE WASTES WHENEVER POSSIBLE
 - DON'T POUR INTO WATERWAYS, STORM DRAINS OR ONTO THE GROUND
 - DON'T POUR DOWN THE SINK, DOOR DRAIN OR SEPTIC TANKS
 - DON'T BURY CHEMICALS OR CONTAINERS
 - DON'T BURN CHEMICALS OR CONTAINERS
 - DON'T MIX CHEMICALS TOGETHER
- NO CONSTRUCTION RELATED WASTE MATERIALS ARE TO BE BURIED ON-SITE. BY EXCEPTION, CLEAN FILL (BRICKS, HARDENED CONCRETE, SOIL) MAY BE UTILIZED IN A WAY WHICH DOES NOT ENCROACH UPON NATURAL WETLANDS, STREAMS OR PLAINS OR RESULT IN THE CONTAMINATION OF WATERS OF THE STATE.
- HANDLING CONSTRUCTION CHEMICALS : MIXING, PUMPING, TRANSFERRING OR OTHER HANDLING OF CONSTRUCTION CHEMICALS SUCH AS FERTILIZER, LIME, ASPHALT, CONCRETE DRYING COMPOUNDS, AND ALL OTHER POTENTIALLY HAZARDOUS MATERIALS SHALL BE PERFORMED IN AN AREA AWAY FROM ANY WATERCOURSE, DITCH OR STORM DRAIN.
- OPEN BURNING : NO OPEN BURNING.
- OTHER AIR PERMITTING REQUIREMENTS : CERTAIN ACTIVITIES ASSOCIATED WITH CONSTRUCTION WILL REQUIRE AIR PERMITS INCLUDING BUT NOT LIMITED TO: MOBILE CONCRETE BATCH PLANTS, MOBILE ASPHALT PLANTS, CONCRETE CRUSHERS, LARGE GENERATORS, ETC. THESE ACTIVITIES WILL REQUIRE SPECIFIC WASHINGTON STATE EPA AIR PERMITS FOR INSTALLATION AND OPERATION. OPERATORS MUST SEEK AUTHORIZATION FROM THE CORRESPONDING DISTRICT OF THE WASHINGTON STATE EPA. FOR DEMOLITION OF ALL COMMERCIAL SITES, A NOTIFICATION FOR RESTORATION AND DEMOLITION MUST BE SUBMITTED TO THE WASHINGTON STATE EPA TO DETERMINE IF ASBESTOS CORRECTIVE ACTIONS ARE REQUIRED.
- PROCESS WASTE WATER/LEACHATE MANAGEMENT : WASHINGTON STATE CONSTRUCTION STORMWATER GENERAL PERMIT ONLY ALLOWS THE DISCHARGE OF STORM WATER AND DOES NOT INCLUDE OTHER WASTE STREAMS/DISCHARGES SUCH AS VEHICLE AND/OR EQUIPMENT WASHING, ON-SITE SEPTIC LEACHATE CONCRETE WASH OUTS WHICH ARE CONSIDERED PROCESS WASTEWATERS. ALL PROCESS WASTEWATERS MUST BE COLLECTED AND PROPERLY DISPOSED AT AN APPROVED DISPOSAL FACILITY. IN THE EVENT, LEACHATE OR SEPTAGE IS DISCHARGED, IT MUST BE ISOLATED FOR COLLECTION AND PROPER DISPOSAL AND CORRECTIVE ACTIONS TAKEN TO ELIMINATE THE SOURCE OF WASTE WATER.
- PLEASE REFER TO THE LOCAL JURISDICTION STORM WATER MANAGEMENT MANUAL, CURRENT EDITION, FOR ADDITIONAL INFORMATION.
- WASTES GENERATED BY CONSTRUCTION ACTIVITIES (I.E. CONSTRUCTION MATERIALS SUCH AS PAINTS, SOLVENTS, FUELS, CONCRETE, WOOD, ETC) MUST BE DISPOSED OF IN ACCORDANCE WITH LOCAL REGULATIONS. HAZARDOUS AND TOXIC SUBSTANCES ARE USED ON VIRTUALLY ALL CONSTRUCTION SITES. GOOD MANAGEMENT OF THESE SUBSTANCES IS ALWAYS NEEDED.

ONLY APPROVED SIGNED PLANS BY THE LOCAL SWCD ARE TO BE USED FOR CONSTRUCTION.

CONSTRUCTION SWPPP DEVELOPMENT AND IMPLEMENTATION

DURING PRE CONSTRUCTION MEETING ALL EROSION & SEDIMENT CONTROL FACILITIES & PROCEDURES SHALL BE DISCUSSED.

ELEMENT # 1: PRESERVE VEGETATION/MARK CLEARING LIMITS

CLEARING & GRUBBING, AS NECESSARY, FOR INSTALLATION OF PERIMETER CONTROLS. INSTALL SILT PERIMETER CONTROLS AS SHOWN ON PLANS. SILT PERIMETER CONTROLS SHALL BE INSTALLED LEVEL, ALONG THE CONTOURS, WITH ENDS TURNED UPSLOPE TO PREVENT CONCENTRATED FLOW AT THE SILT PERIMETER CONTROLS. TEMPORARY CONSTRUCTION FENCING SHALL BE INSTALLED AROUND PERIMETER OF CONSTRUCTION SITE. WHERE THERE IS EXISTING FENCE ALONG THE PERIMETER OF THE SITE, IT CAN BE UTILIZED. FENCING SHALL BE USED TO RESTRICT OUTSIDE TRAFFIC TO SITE. STAKE AND/OR FLAG LIMITS OF CLEARING.

APPLICABLE BMPs:
BMP C103- HIGH VISIBILITY FENCE
BMP C233- SILT FENCE

ELEMENT # 2: ESTABLISH CONSTRUCTION ACCESS

INSTALL CONSTRUCTION ENTRANCE AS DETAILED ON PLANS. CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT FACILITY SHALL BE UTILIZED, IF CONDITIONS ARE SUCH THAT MUD IS COLLECTING ON VEHICLE TIRES, THE TIRES MUST BE CLEANED BEFORE THE VEHICLES ENTER THE PUBLIC ROADWAY. THE SITE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT THE TRACKING OR FLOW OF MUD ONTO THE PUBLIC ROADWAY. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO THE ROADWAY MUST BE REMOVED PROMPTLY.

APPLICABLE BMPs:
BMP C105- STABILIZED CONSTRUCTION ENTRANCE/EXIT
BMP C154- CONCRETE WASHOUT AREA
BMP C140- DUST CONTROL
MAINTENANCE BMP: STREET CLEARING

ELEMENT # 3: CONTROL FLOW RATES

FLOW RATES SHALL BE CONTROLLED TO A MAXIMUM EXTENT POSSIBLE. CONTRACTOR SHALL MAINTAIN ALL EROSION & SEDIMENTATION CONTROL MEASURES UNTIL THE SITE HAS BEEN COMPLETELY STABILIZED. ALL AREAS OF VEGETATIVE SURFACE, WHETHER PERMANENT OR TEMPORARY, SHALL BE CONSIDERED TO BE IN PLACE AND FUNCTIONAL AND ACCEPTABLE. NY CERTIFIED EROSION AND SEDIMENT CONTROL LEAD (CESCL). TEMPORARY SEDIMENT POND/TRAP SHALL BE DESIGNED AND INSTALLED IF CONTRACTOR, PROJECT ENGINEER AND CESCL, DEEMS NECESSARY.

APPLICABLE BMPs:
BMP C241- TEMPORARY SEDIMENT POND

ELEMENT # 4: INSTALL SEDIMENT CONTROLS

INSTALL TEMPORARY SILT INLET PROTECTION ON ALL EXISTING CATCH BASINS AND INLETS, AS DESIGNATED IN THE PLANS. REMOVAL OF SILT INLET PROTECTION FROM DESIGNATED INLETS CAN ONLY OCCUR WHEN A STRUCTURE IS REMOVED, AND AS REQUIRED BY THE PROGRESSION OF THE DEMOLITION AND CONSTRUCTION. ADDITIONAL SEDIMENT CONTROLS SHALL BE INSTALLED IF WARRANTED AS CONDITIONS CHANGE ON SITE DURING CONSTRUCTION.

APPLICABLE BMPs:
BMP C220- STORM DRAIN INLET PROTECTION.

ELEMENT # 5: STABILIZE SOILS

FOR CONSTRUCTION DURING DRY SEASON (MAY 31ST THROUGH SEPTEMBER 30TH) SOILS WILL NOT REMAIN EXPOSED AND UNWORKED FOR MORE THAN 7 DAYS. IF CONSTRUCTION OCCURS IN THE WET SEASON (OCTOBER 1ST THROUGH APRIL 30TH) SOILS WILL NOT REMAIN EXPOSED AND UNWORKED FOR MORE THAN 2 DAYS. PRIOR TO LEAVING THE SITE, CONTRACTOR SHALL ENSURE THAT STORMWATER RUNOFF SHALL PASS THROUGH A SEDIMENT POND, TRAP OR OTHER APPROPRIATE BMP. STORMWATER POLLUTION PREVENTION MEASURES SHALL BE INSTALLED AROUND ALL DIRT OR TOPSOIL STOCKPILES AND OTHER TEMPORARILY DISTURBED AREAS AS SHOWN ON THESE PLANS AND AS DIRECTED BY THE ENGINEER.

APPLICABLE BMPs:
BMP C120- TEMPORARY AND PERMANENT SEEDING
BMP C121- MULCHING
BMP C123- PLASTIC COVERING
BMP C121- MULCHING
BMP C123- PLASTIC COVERING

ELEMENT # 6: PROTECT SLOPES

NO SIGNIFICANT CUT/FILL SLOPES ARE PROPOSED FOR THIS PROJECT.

APPLICABLE BMPs:
BMP: N/A

ELEMENT # 7: PROTECT DRAIN INLETS

STORM DRAIN INLETS ARE PROPOSED AS PART OF THIS PROJECT. ALL STORM INLETS ON SITE AND ANY WITH 500 FEET ON DOWNSTREAM SIDE OF CONSTRUCTION AREA SHALL BE PROTECTED WITH DRAIN INLET PROTECTION SO THAT RUNOFF FROM SITE DOES NOT ENTER THE CONVEYANCE SYSTEM WITHOUT FILTRATION/TREATMENT FOR SEDIMENT. INLETS SHOULD BE INSPECTED WEEKLY AND DAILY DURING STORM EVENTS. INLET PROTECTION DEVICES SHOULD BE CLEANED OR REMOVED AND REPLACED BEFORE 6 INCHES OF SEDIMENT ACCUMULATION.

APPLICABLE BMPs:
BMP C220- STORM DRAIN INLET PROTECTION.

ELEMENT # 8: STABILIZE CHANNELS AND OUTLETS

NO CHANNELS HAVE BEEN PROPOSED FOR THIS PROJECT. IF ANY TEMPORARY ON-SITE CONVEYANCE CHANNELS ARE MADE DURING CONSTRUCTION, THEY SHALL BE STABILIZED TO PREVENT EROSION.

APPLICABLE BMPs:
BMP: C-202 CHANNEL LINING

ELEMENT # 9: CONTROL POLLUTANTS

ALL POLLUTANTS, INCLUDING WASTE MATERIAL AND DEMOLITION DEBRIS, THAT OCCUR ON-SITE DURING CONSTRUCTION SHALL BE HANDLED AND DISPOSED OF IN A MANNER THAT DOES NOT CAUSE CONTAMINATION OF STORM WATER. ROUTINE INSPECTIONS OF THE WASTE MATERIAL STORAGE AREA WILL BE CONDUCTED TO MAKE SURE THAT LEAKS OR SPILLS DO NOT OCCUR. ANY LEAKAGE OR SPILLS WILL BE CLEANED UP IMMEDIATELY.

MAINTENANCE OF HEAVY EQUIPMENT INVOLVING OIL CHANGES, HYDRAULIC SYSTEM DRAIN DOWN, SOLVENT AND DE-GREASING CLEANING AND/OR OTHER ACTIVITIES THAT MAY RESULT IN DISCHARGE OR SPILLAGE OF POLLUTANTS TO THE GROUND OR INTO STORMWATER RUNOFF WILL BE CONDUCTED WITH SPILL PREVENTION MEASURES IN PLACE. ANY LEACHABLE MATERIALS SHALL BE STORED IN A COVERED AREA OUTSIDE THE INFLUENCE OF STORM EVENTS. ON-SITE FUEL TANKS SHALL INCLUDE SECONDARY CONTAINMENT WITH 110% STORAGE VOLUME. DOUBLE WALLED TANKS DO NOT REQUIRE ADDITIONAL SECONDARY CONTAINMENT.

ALL SPILLS WILL BE REPORTED TO THE DEPARTMENT OF ECOLOGY, SPILL RESPONSE PROGRAM AT (425) 649-7000.

APPLICABLE BMPs:
BMP: SPILL CLEANUP AND RESPONSE PROGRAM

CONSTRUCTION SWPPP DEVELOPMENT AND IMPLEMENTATION (CONTINUED)

ELEMENT # 10: CONTROL DE-WATERING

NO DE-WATERING IS ANTICIPATED FOR THIS SITE.

APPLICABLE BMPs:
BMP: N/A

ELEMENT # 11: MAINTAIN BMPs

ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL BMPs WILL BE INSPECTED BY CERTIFIED EROSION AND SEDIMENT CONTROL LEAD AND SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION. MAINTENANCE AND REPAIR SHALL BE CONDUCTED IN ACCORDANCE WITH THE RELEVANT BMP IDENTIFIED IN ELEMENTS #1 THROUGH # 10.

TEMPORARY EROSION AND SEDIMENT CONTROLS IDENTIFIED ABOVE WILL BE INSPECTED DAILY DURING THE WET SEASON. NEEDED REPAIRS AND MAINTENANCE WILL OCCUR AS SOON AS PRACTICABLE OR, IN THE EVENT OF A FORECAST OF INCLEMENT WEATHER, REPAIRS AND MAINTENANCE WILL OCCUR IMMEDIATELY.

TEMPORARY EROSION AND SEDIMENT CONTROL BMPs WILL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY BMPs ARE NO LONGER NEEDED. TRAPPED SEDIMENT WILL BE REMOVED OR STABILIZED ON SITE. DISTURBED SOIL RESULTING FROM REMOVAL OF BMPs OR VEGETAION SHALL BE PERMANENTLY STABILIZED.

ELEMENT # 12: MANAGE THE PROJECT

CONSTRUCTION: PHASE DEVELOPMENT PROJECTS WHERE FEASIBLE IN ORDER TO PREVENT SOIL EROSION AND, TO THE MAXIMUM EXTENT PRACTICAL, AND PREVENT TRANSPORTING SEDIMENT FROM THE SITE DURING CONSTRUCTION. RE-VEGETATE EXPOSED AREAS AND MAINTAIN THAT VEGETATION AS AN INTEGRAL PART OF THE CLEARING ACTIVITIES FOR ANY PHASE.

CLEARING AND GRADING ACTIVITIES FOR DEVELOPMENTS SHALL BE PERMITTED ONLY IF CONDUCTED USING AN APPROVED SITE DEVELOPMENT PLAN THAT ESTABLISHES PERMITTED AREAS OF CLEARING, GRADING, CUTTING, AND FILLING. MINIMIZE REMOVING TREES AND DISTURBING OR COMPACTING NATIVE SOILS WHEN ESTABLISHING PERMITTED CLEARING AND GRADING AREAS. SHOW ON THE SITE PLANS AND THE DEVELOPMENT SITE PERMITTED CLEARING AND GRADING AREAS AND ANY OTHER AREAS REQUIRED TO PRESERVE CRITICAL OR SENSITIVE AREAS, BUFFERS, NATIVE GROWTH PROTECTION EASEMENTS, OR TREE RETENTION AREAS AS MAY BE REQUIRED BY LOCAL JURISDICTIONS.

SEASONAL WORK LIMITATIONS: FROM MAY 1ST THROUGH SEPTEMBER 30TH SOILS WILL NOT REMAIN EXPOSED AND UNWORKED FOR MORE THAN 7 DAYS. FROM OCTOBER 1ST THROUGH APRIL 30TH SOILS WILL NOT REMAIN EXPOSED AND UNWORKED FOR MORE THAN 2 DAYS. IN ADDITION, WEATHER CONDITIONS WILL CONTINUALLY BE MONITORED INCLUDING BEFORE HOLIDAYS AND WEEKENDS FOR PURPOSES OF PREPARING THE SITE FOR PREDICTED WEATHER CONDITIONS. BMPs THAT ARE EFFECTIVE IN STABILIZING SOILS AND PROTECTING THEM FROM EXPOSURE TO RAIN AND WIND OR OTHER CLIMATIC CONDITIONS WILL BE IMPLEMENTED THROUGHOUT THE PROJECT. INSPECTION AND EVALUATION OF THE EFFECTIVENESS OF THE BMPs WILL OCCUR ON A DAILY BASIS. IN ADDITION, IN THE EVENT OF FORECASTED PRECIPITATION EVENTS, ADDITIONAL MEASURES TO STABILIZE SOILS WILL BE TAKEN.

COORDINATION WITH UTILITIES AND OTHER CONTRACTORS: THE STORMWATER MANAGEMENT REQUIREMENTS FOR ALL ASPECTS OF THE CONSTRUCTION PROJECT, INCLUDING UTILITIES, WERE CONSIDERED IN PREPARING THE CONSTRUCTION SWPPP.

INSPECTION AND MONITORING: AS PREVIOUSLY MENTIONED, ALL BMPs MUST BE INSPECTED, MAINTAINED, AND REPAIRED AS NEEDED TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION. IN THE EVENT THAT INSPECTION AND/OR MONITORING REVEALS THAT THE BMPs IDENTIFIED IN THE CONSTRUCTION SWPPP ARE INADEQUATE, DUE TO THE ACTUAL DISCHARGE OF OR POTENTIAL TO DISCHARGE A SIGNIFICANT AMOUNT OF ANY POLLUTANT, THIS SWPPP SHALL BE MODIFIED, AS APPROPRIATE, IN A TIMELY MANNER.

MAINTENANCE OF THE CONSTRUCTION SWPPP: THE CONSTRUCTION SWPPP WILL BE RETAINED ON-SITE AND WILL BE UPDATED ON A REGULAR BASIS. MODIFICATIONS TO THE CONSTRUCTION SWPPP WILL BE MADE WHENEVER THERE IS A SIGNIFICANT CHANGE IN THE DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE OF ANY BMP.

ELEMENT # 13: PROTECT LOW IMPACT DEVELOPMENT BMPs

CONTROL EROSION AND AVOID INTRODUCING SEDIMENT FROM SURROUNDING LAND USES ONTO PERMEABLE PAVEMENTS. DO NOT ALLOW MUDDY CONSTRUCTION EQUIPMENT ON THE BASE MATERIAL OR PAVEMENT. DO NOT ALLOW SEDIMENT-LADEN RUNOFF ONTO PERMEABLE PAVEMENTS OR BASE MATERIALS.

PERMEABLE PAVEMENT FOULED WITH SEDIMENTS OR NO LONGER PASSING AN INITIAL INFILTRATION TEST MUST BE CLEANED USING PROCEDURES IN ACCORDANCE WITH WESTERN WASHINGTON STORMWATER MANAGEMENT MANUAL OR THE MANUFACTURER'S PROCEDURES.

KEEP ALL HEAVY EQUIPMENT OFF EXISTING SOILS UNDER PERMEABLE PAVEMENT THAT HAVE BEEN EXCAVATED TO FINAL GRADE TO RETAIN INFILTRATION.

CONSTRUCTION SEQUENCE

DURING PRECONSTRUCTION MEETING ALL EROSION & SEDIMENT CONTROL FACILITIES & PROCEDURES SHALL BE DISCUSSED.

- INSTALL CONSTRUCTION ENTRANCE AS DETAILED ON PLANS. TEMPORARY CONSTRUCTION FENCING SHALL BE INSTALLED AROUND PERIMETER OF CONSTRUCTION SITE. WHERE THERE IS EXISTING FENCE ALONG THE PERIMETER OF THE SITE, IT CAN BE UTILIZED. FENCING SHALL BE USED TO RESTRICT OUTSIDE TRAFFIC TO SITE.
- DELIVER CONSTRUCTION TRAILER TO SITE AND INSTALL TEMPORARY POWER AND TELEPHONE, IF REQUIRED. TEMPORARY UTILITY SERVICES ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- STAKE AND/OR FLAG LIMITS OF CLEARING.
- CLEARING & GRUBBING, AS NECESSARY, FOR INSTALLATION OF PERIMETER CONTROLS. INSTALL SILT PERIMETER CONTROLS AS SHOWN ON PLANS. SILT PERIMETER CONTROLS SHALL BE INSTALLED LEVEL, ALONG THE CONTOURS, WITH ENDS TURNED UPSLOPE TO PREVENT CONCENTRATED FLOW AT THE SILT PERIMETER CONTROLS.
- INSTALL TEMPORARY SILT INLET PROTECTION ON ALL EXISTING CATCH BASINS AND INLETS, AS DESIGNATED IN THE PLANS. REMOVAL OF SILT INLET PROTECTION FROM DESIGNATED INLETS CAN ONLY OCCUR WHEN A STRUCTURE IS REMOVED, AND AS REQUIRED BY THE PROGRESSION OF THE DEMOLITION AND CONSTRUCTION.
- CLEARING & GRUBBING, AS NECESSARY, FOR INSTALLATION OF TEMPORARY SEDIMENT TRAP/BASIN. INSTALL TEMPORARY SEDIMENT TRAP/BASIN, IF REQUIRED, AS DETAILED IN THE PLANS. CONSTRUCT AND MAINTAIN TEMPORARY DIVERSION SWALE AND / OR DIVERSION BERM DURING FILLING & GRADING ACTIVITIES.
- CLEARING & GRUBBING THE REMAINING SITE AS NECESSARY. TOPSOIL SHALL BE STRIPPED AND STOCKPILED ON SITE FOR REUSE, OR REMOVED TO AN APPROVED OFFSITE SPOIL AREA.
- BEGIN FILLING & GRADING AS REQUIRED TO REACH SUBGRADE.
- UTILIZE DUST CONTROL MEASURES AS REQUIRED TO MINIMIZE AIR-BORNE POLLUTION BY METHODS APPROVED BY THE AUTHORIZING EPA OFFICE.
- ONCE PAVEMENT GRADES HAVE BEEN ESTABLISHED, AS DESIGNATED ON THE PLANS, THE CONTRACTOR SHALL UTILIZE THESE AREAS FOR STRUCTURE CONSTRUCTION.
- IN PROPOSED GRASS AREAS, REPLACE TOPSOIL, FINE GRADE AND SEED, AS REQUIRED. STABILIZE ALL DISTURBED AREAS WITH PERMANENT SEED AND MULCHING OR TEMPORARY SEEDING IMMEDIATELY UPON REACHING FINAL GRADE.
- CONSTRUCT UNDERGROUND UTILITY WORK INCLUDING STORM DRAINAGE FACILITIES. UPON INSTALLATION OF STORM DRAINAGE CATCH BASINS, YARD DRAINS AND INLETS, INSTALL REQUIRED INLET PROTECTION.
- DO NOT REPLACE ANY TOPSOIL, SEED OR INSTALL FINAL PAVEMENT PRIOR TO COMPLETION OF BUILDING SHELL. SHOULD SITEWORK BE COMPLETED PRIOR TO THIS DATE, MULCH DISTURBED AREAS TO BE PLANTED AND INSTALL STONE SUBBASE IN DISTURBED AREAS TO BE PAVED.
- FOLLOWING COMPLETION OF BUILDING SHELL AND PAVEMENT INSTALLATION. BEGIN LANDSCAPE INSTALLATION.

CONSTRUCTION SEQUENCE (CONTINUED)

- COMPLETE SITEWORK, PAVEMENT MARKINGS AND FINAL CLEAN-UP. RESEED ANY AREAS THAT MAY REQUIRE ATTENTION IMMEDIATELY. NOTE THAT LAWN AREAS WILL NOT BE DEEMED STABLE UNTIL A MINIMUM 80% VEGETATIVE DENSITY HAS BEEN ACHIEVED.
- MAINTAIN EROSION & SEDIMENTATION CONTROL MEASURES UNTIL THE SITE HAS BEEN COMPLETELY STABILIZED. ALL AREAS OF VEGETATIVE SURFACE, WHETHER PERMANENT OR TEMPORARY, SHALL BE CONSIDERED TO BE IN PLACE AND FUNCTIONAL WHEN THE REQUIRED UNIFORM RATE OF COVERAGE (80%) IS OBTAINED.
- REMOVE SEDIMENT CONTROLS.
- THE FOLLOWING ITEMS MUST BE COMPLETED IN ORDER BY THE CONTRACTOR, ONCE THE SITE HAS BEEN DEEMED STABLE:
 - REMOVE CONSTRUCTION ENTRANCE PRIOR TO COMPLETION OF PAVING
 - SITE CLEAN UP
 - RESEED ANY AREAS THAT REQUIRE ADDITIONAL SEED
 - SILT FENCE SHOULD BE CLEANED, REMOVED, BACKFILLED AND SEEDED WITH PERMANENT SEEDING.
 - VERIFY POSITIVE DRAINAGE FLOW IN ALL DRAINAGE STRUCTURES, REPAIR AS NECESSARY.

STORM WATER POLLUTION PREVENTION PLAN NARRATIVE

PROJECT DESCRIPTION

THIS SITE IS HOME TO AN EXISTING DENNY'S RESTAURANT. THIS PROJECT INVOLVES THE REMOVAL OF THE EXISTING BUILDING AND APPURTENANCES AS WELL AS THE ASPHALT AND CONCRETE IN THE PARKING LOT EXCEPT AS SHOWN ON THE PLANS AS TO BE PROTECTED. THE EASTERN PORTION OF THE SITE IS LOCATED WITHIN A FLOODPLAIN ZONE AE AND THE WESTERN SIDE OF THE SITE IS WITHIN FLOOD ZONE X BASED ON FLOOD INSURANCE RATE MAP NO. 57073C1800D. A NEW TACO BELL RESTAURANT WITH A DRIVE-THRU AND A PARKING LOT WITH 31 PARKING SPACES, NEW LIGHT POLES, AND NEW UTILITY LINES TO TIE INTO THE BUILDING EXCEPT WHERE THE EXISTING UTILITY LINES ARE MARKED ON THESE PLANS AS TO BE PROTECTED. THERE IS NO EXISTING DETENTION SYSTEM ON SITE. TWO UNDERGROUND DETENTION SYSTEMS (STORMTECH CHAMBERS) ARE PROPOSED. PERMEABLE PAVERS ARE PROPOSED AT EAST DRIVEWAY AREA WITH STONE BED CONNECTED TO EAST UNDERGROUND CHAMBERS.

PROJECT COMPLETION STATISTICS

PARCEL SIZE : 0.883 ACRES
TOTAL DISTURBED AREA: APPROX. 0.6623 ACRES

EXISTING LAND USE FOR THE SITE IS A DENNY'S RESTAURANT AND A PARKING LOT. RESTAURANT IS NO LONGER OPERATING.

ESTIMATED PRE-CONSTRUCTION IMPERVIOUS AREA: 0.6013 ACRES
ESTIMATED PRE-CONSTRUCTION IMPERVIOUS PERCENT: 85.6%
PRE-CONSTRUCTION RUN-OFF COEFFICIENT: 96

PROPOSED LAND USE WILL BE APARTMENT BUILDING WITH PARKING LOT AND AMENITY IMPROVEMENTS

ESTIMATED POST-CONSTRUCTION IMPERVIOUS AREA: 0.4789 ACRES
ESTIMATED POST-CONSTRUCTION IMPERVIOUS PERCENT: 68.2%
POST-CONSTRUCTION RUN-OFF COEFFICIENT: 92

PROJECT LOCATION:

LATITUDE 48.8491°
LONGITUDE -122.5731°

EXISTING SITE SOIL TYPES:

148: SKIPOPA SILT LOAM.

REFERENCE: USDA NATIONAL RESOURCES CONSERVATION SERVICE WEB SOIL SURVEY.

WETLAND INFORMATION:

THERE ARE NO WETLANDS ON THIS SITE.

FIRST AND SUBSEQUENT RECEIVING STREAM:

INITIAL RECEIVING WATER IS TENMILE CREEK AND THE SUBSEQUENT RECEIVING WATER IS THE NOOKSACK RIVER.

CONTROL RATIONAL AND DESCRIPTION

THIS SITE IS CURRENTLY A DENNY'S RESTAURANT WITH A PARKING LOT WITH IMPERVIOUS AREA 85.6%. WASHINGTON STATE DEPARTMENT OF ECOLOGY STORMWATER MANUAL 2014 REQUIRES STORMWATER DISCHARGES SHALL MATCH DEVELOPED DISCHARGE DURATIONS TO PRE-DEVELOPED DURATIONS FOR THE RANGE OF PRE-DEVELOPED DISCHARGE RATES FROM 50% OF THE 2-YEAR PEAK FLOW UP TO THE FULL 60-YEAR PEAK FLOW AND THE PRE-DEVELOPED CONDITIONS TO BE MATCHED SHALL BE A FORESTED LAND COVER. WESTERN WASHINGTON HYDROLOGY MODEL 2012 (WWHM2012) SOFTWARE DEVELOPED BY CLEAR CREEK SOLUTION IS BEING USED TO DO THE ANALYSIS AND MEET WASHINGTON STATE DEPARTMENT OF ECOLOGY STORMWATER REQUIREMENTS.

OWNER CONTACT:

NORTHWEST RESTAURANTS INC.
18615 139TH AVE NE, SUITE C
WOODINVILLE, WA 98072
CONTACT: ADAM SIBERT
PHONE: 206-851-5095

ANTICIPATED TIMING:

CONSTRUCTION BEGIN: JULY, 2018
CONSTRUCTION COMPLETE: OCTOBER, 2018

CONTRACTOR: T.B.D.
CONTACT:
PHONE NUMBER:

CONTRACTOR SHALL MAINTAIN A CONSTRUCTION LOG DOCUMENTING ALL GRADING AND STABILIZATION ACTIVITIES.

APPROVED

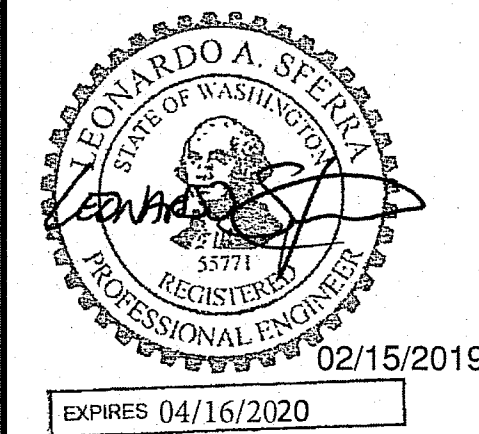
FEB 15 2019

BY *[Signature]*
CITY OF FERNDALE
PUBLIC WORKS DEPARTMENT



AS-BUILT DRAWING

AS-BUILT NOTE:
ONLY INFORMATION NOTED
AS-BUILT "AB" HAS BEEN
PROVIDED BY THE SURVEYOR.



ADDENDUM # 3 07/31/18

CONTRACT DATE: 02.26.18
BUILDING TYPE: EXPLORER LITE LG
PLAN VERSION: DECEMBER 2016
BRAND DESIGNER: WANCHO
SITE NUMBER:
STORE NUMBER: 2017088.41

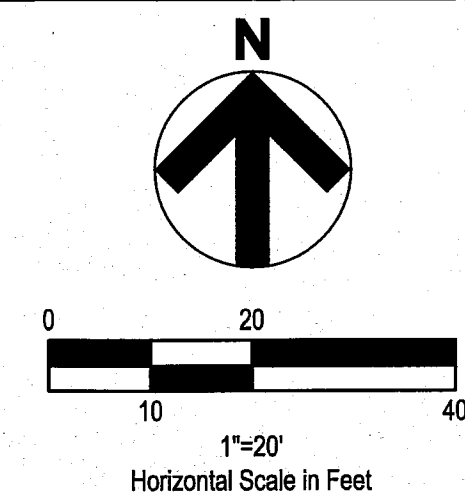
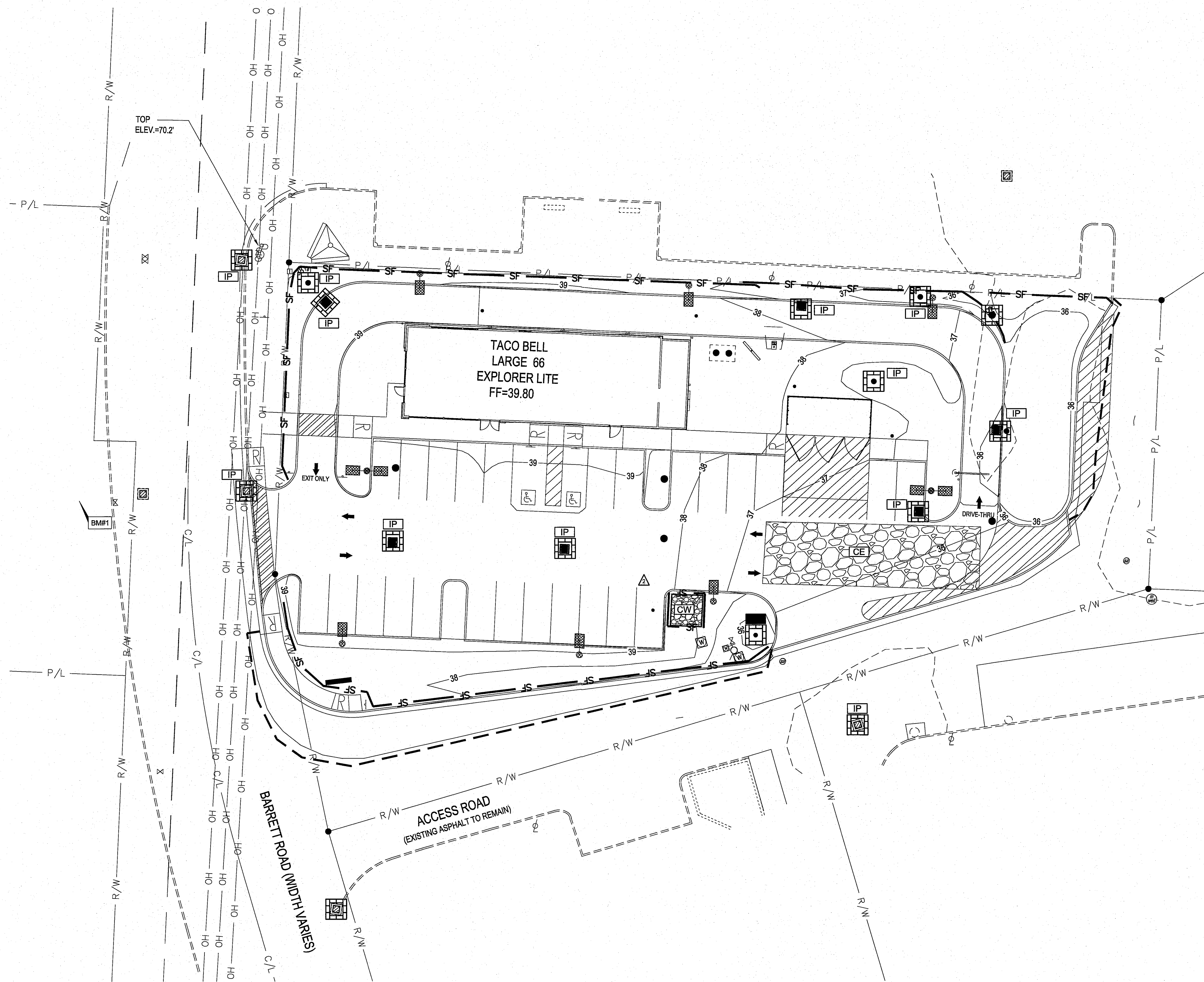
TACO BELL

5720 BARRETT RD
FERNDAL, WA 98248



SWPP NOTES

C-131



LEGEND

(SEE SHEET C-007 FOR GENERAL LEGEND)

IP PROPOSED SILT BARRIER
REFER TO SWPP DETAILS

SF PROPOSED SILT FENCE
REFER TO SWPP DETAILS

COMPOST FILTER SOCK

CE PROPOSED CONSTRUCTION ENTRANCE
REFER TO SWPP DETAILS
(CONSTRUCTION ENTRANCE TO BE
MOVED AT APPROPRIATE LOCATIONS
AS PROJECT PROGRESSES)

CW PROPOSED CONCRETE WASHOUT FACILITY
REFER TO SWPP DETAILS

SWPPP GENERAL NOTES

1. A COPY OF THE APPROVED SWPP PLAN MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
2. APPROVAL OF THIS SWPP PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT STRUCTURES, DRIVEWAYS OR DRAINAGE DESIGN (E.G. SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION/DETENTION FACILITIES, UTILITIES ETC.)
3. THE IMPLEMENTATION OF THIS SWPP PLAN AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT AND UPGRADING OF THESE SWPP FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS APPROVED.
4. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING CONSTRUCTION, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THE CONSTRUCTION.
5. SWPP FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, UNLESS REVISED BY A CERTIFIED EROSION AND SEDIMENT CONTROL LEAD. SWPP FACILITIES SHALL BE INSTALLED IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT LADEN WATER DOES NOT ENTER DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER STANDARDS.
6. THE SWPP FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS DURING THE CONSTRUCTION PERIOD. THESE SWPP FACILITIES SHALL BE UPGRADED (E.G. ADDITIONAL SUMPS, RELOCATION OF DITCHES, AND SILT FENCES ETC.) AS NEEDED FOR UNEXPECTED STORM EVENTS.
7. THE SWPP FACILITIES SHALL BE INSPECTED DAILY BY THE CESCL AND MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTION.
8. ANY AREA NEEDING SWPP MEASURES, NOT REQUIRING IMMEDIATE ATTENTION SHALL BE ADDRESSED WITHIN SEVEN (7) DAYS.
9. THE SWPP FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN 24 HOURS FOLLOWING A STORM EVENT THAT PRODUCES RUNOFF FROM THE SITE.
10. WASH PADS MAY BE NECESSARY TO ENSURE PAVED AREAS AND KEPT CLEAN FOR THE DURATION OF THE PROJECT.
11. MULCHING OF ANY TYPE SHALL BE INSTALLED PER THE RATES AND STANDARDS PRESENTED IN VOLUME II, CHAPTER 4.1 (BMP C121) IN 2014 STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON EDITED BY DEPARTMENT OF ECOLOGY.
12. ALL WORK AND MATERIAL SHALL BE IN ACCORDANCE WITH WASHINGTON STATE DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.
13. EROSION AND SEDIMENTATION CONTROL FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS ON THIS PLAN. LOCATIONS MAY BE MOVED TO SUIT FIELD CONDITIONS, SUBJECT TO APPROVAL BY THE CONTRACTORS CESCL OR ENGINEER OF RECORDS.
14. COVER ALL DIRT / TOPSOIL PILES WITH PLASTIC COVERING (BMP C123) DURING CONSTRUCTION WHEN NOT IN USE.
15. NETS AND / OR EROSION CONTROL BLANKETS (BMP C122) MAY BE USED IN LIEU OF TEMPORARY MULCHING.
16. ADDITIONAL BMP'S MAY BE USED OR REQUIRED AS CONDITIONS WARRANT. BMP'S SHALL BE INSTALLED PER RECOMMENDATIONS IN THE DOE STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON, CURRENT EDITION.



APPROVED

FEB 15, 2019

BY CITY OF FERNDALE
PUBLIC WORKS DEPARTMENT

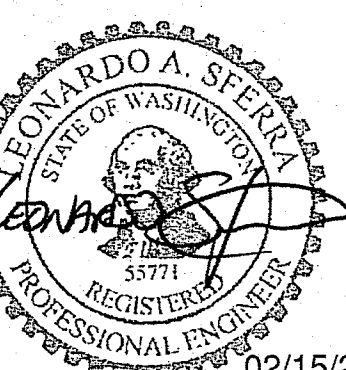
BENCHMARKS:

BASIS OF BEARING: NAVD88

BENCHMARK #1 - "X" ON NORTHEASTERLY HEAD
BOLT ON FIRE HYDRANT. ELEVATION=40.79'

AS-BUILT DRAWING

AS-BUILT NOTE:
ONLY INFORMATION NOTED
AS-BUILT "AB" HAS BEEN
PROVIDED BY THE SURVEYOR.



02/15/2019

EXPIRES 04/16/2020

ADDENDUM # 2	06/28/18
▲	
▲	
▲	
▲	
▲	
▲	
▲	
▲	
▲	
▲	
▲	

CONTRACT DATE: 02.26.18
BUILDING TYPE: EXPLORER LITE LG
PLAN VERSION: DECEMBER 2016
BRAND DESIGNER: WANCHO
SITE NUMBER:
STORE NUMBER: 2017088.41

TACO BELL

5720 BARRETT RD
FERNDAL, WA 98248

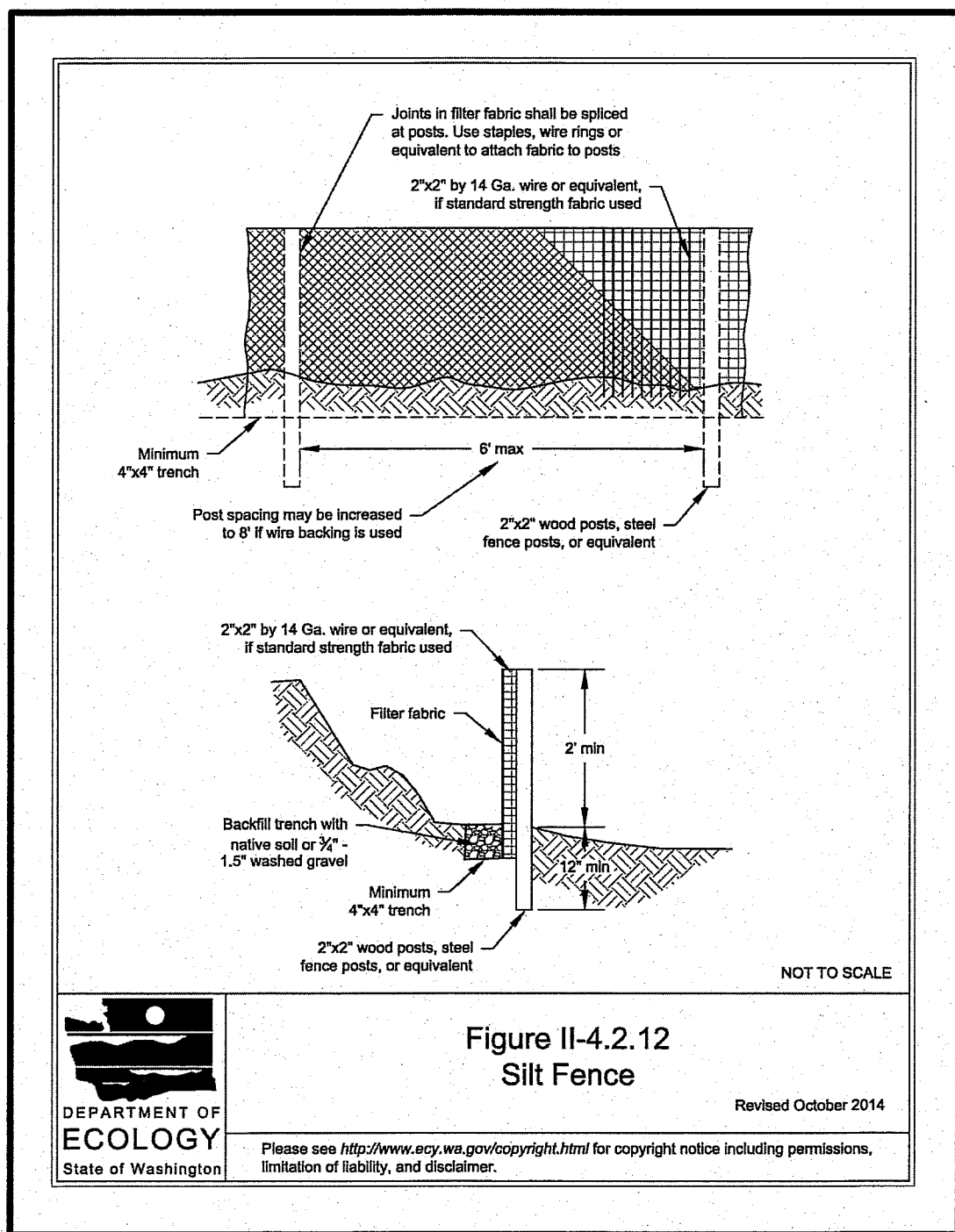
EXPLORER LITE
LARGE66

SWPP PLAN

C-132

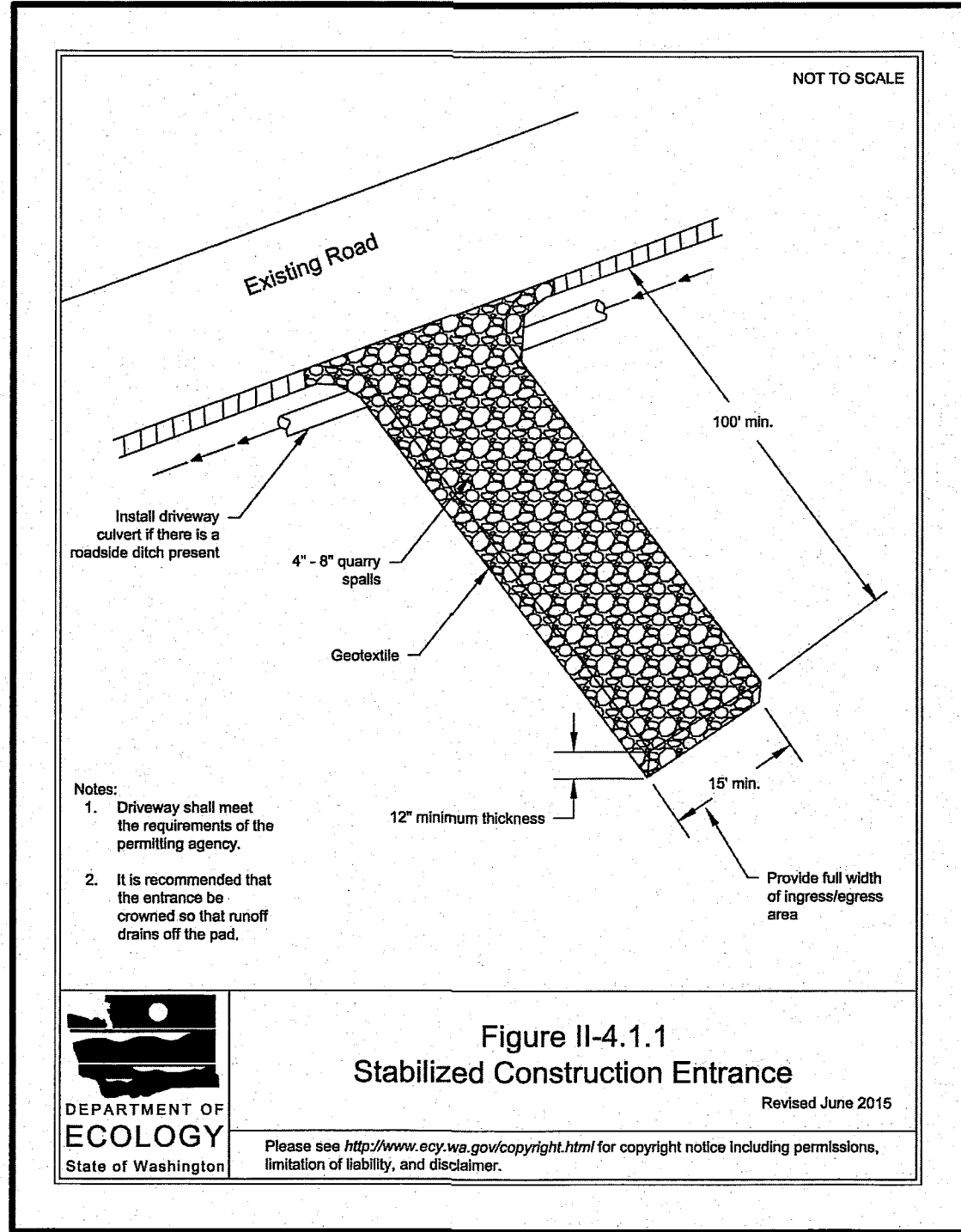
A1

SWPP PLAN
N.T.S.



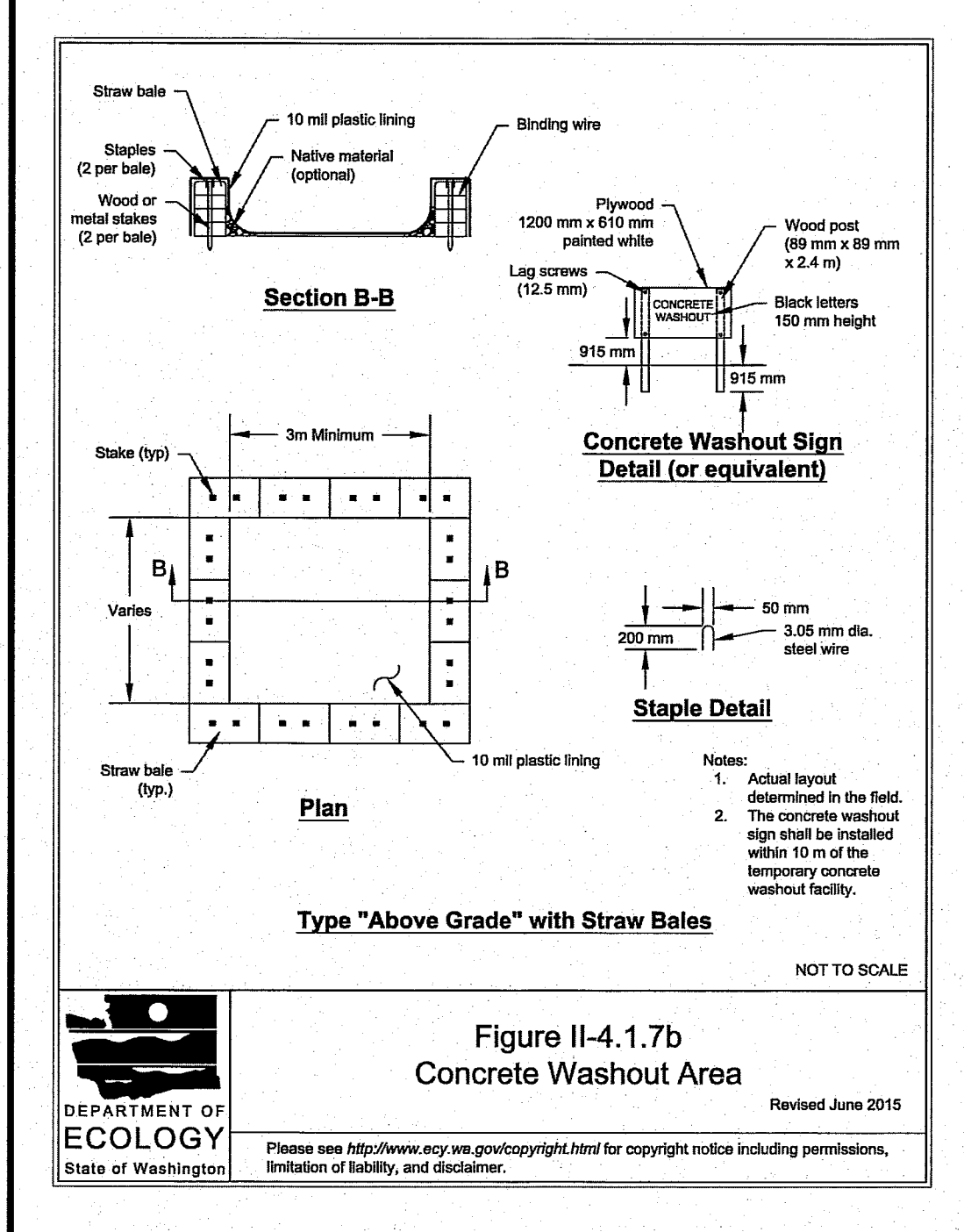
SILT FENCE GENERAL NOTES

1. FENCE SHALL NOT BE INSTALLED ON SLOPES STEEPER THAN 2:1.
2. JOINTS IN FILTER FABRIC SHALL BE OVERLAPPED 6 INCHES AT POST.
3. USE STAPLES, WIRE RINGS OR EQUIVALENT TO ATTACH FABRIC TO WIRE FENCE.
4. REMOVE SEDIMENT WHEN IT REACHES 1/3 rd FENCE HEIGHT.
5. ANY DAMAGE TO FENCING SHALL BE REPAIRED IMMEDIATELY.
6. SILT FENCE SHALL BE CONSTRUCTED DIRECTLY AFTER CLEARING AND GRUBBING IS COMPLETE. THE FENCE SHALL ONLY BE REMOVED WHEN CONSTRUCTION OF UTILITIES DEEMS IT ABSOLUTELY NECESSARY. IMMEDIATELY AFTER UTILITIES ARE IN-PLACE, THE SILT FENCE SHALL BE RECONSTRUCTED.



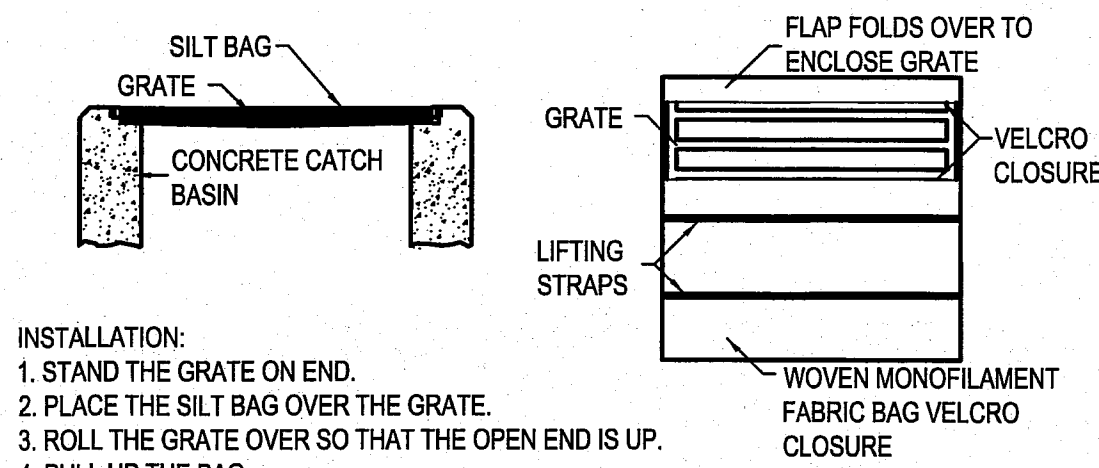
STABILIZED CONSTRUCTION ENTRANCE GENERAL NOTES

1. PAD SHALL BE REMOVED AND REPLACED WHEN SOIL IS EVIDENT ON THE SURFACE OF THE PAD OR AS DIRECTED BY CITY OF FERNDALE.
2. PAD SHALL BE INSTALLED IN PLANTING STRIP AS APPROPRIATE.
3. PAD THICKNESS SHALL BE INCREASED IF SOIL CONDITIONS DICTATE OR PER THE DIRECTIONS OF ENGINEER OF RECORD OR THE CERTIFIED EROSION AND SEDIMENTATION CONTROL LEAD (CESCL).
4. MINIMUM DIMENSIONS MAY BE MODIFIED AS REQUIRED BY SITE CONDITIONS UPON APPROVAL OF THE ENGINEER OF RECORD.
5. ANY SEDIMENT THAT IS TRACKED ONTO PAVEMENT SHALL BE REMOVED IMMEDIATELY BY SWEEPING. THE SEDIMENT COLLECTED BY SWEEPING SHALL BE REMOVED OR STABILIZED ON-SITE. THE PAVEMENT SHALL NOT BE CLEANED BY WASHING, EXCEPT WHEN SWEEPING IS INEFFECTIVE AND THERE IS A THREAT TO PUBLIC SAFETY. IF IT IS NECESSARY TO WASH PAVEMENT, A SMALL SUMP OR POND SHALL BE CONSTRUCTED AND THE SEDIMENT SHALL BE CONVEYED INTO THE SUMP OR POND.



CONCRETE WASHOUT AREA

N.T.S.



- INSTALLATION:
1. STAND THE GRATE ON END.
 2. PLACE THE SILT BAG OVER THE GRATE.
 3. ROLL THE GRATE OVER SO THAT THE OPEN END IS UP.
 4. PULL UP THE BAG.
 5. TUCK THE FLAP IN.
 6. PRESS THE VELCRO STRAPS TOGETHER.
 7. BE SURE THAT THE END OF THE GRATE IS COMPLETELY COVERED BY THE FLAP OR THE SILT BAG WILL NOT WORK PROPERLY.
 8. HOLDING THE HANDLES, CAREFULLY PLACE THE SILT BAG WITH THE GRATE INSERTED INTO THE CATCH BASIN FRAME.

MAINTENANCE:
TO INSURE PROPER OPERATION REMOVE SILT, SEDIMENT, AND DEBRIS FROM THE SURFACE AND THE VICINITY OF THE UNIT WITH A SQUARE POINT SHOVEL OR STIFF BRISTLE BROOM AWAY FROM ENVIRONMENTALLY SENSITIVE AREAS AND WATERWAYS IN MANNER SATISFACTORY TO THE ENGINEER/INSPECTOR. REMOVE FINE MATERIAL FROM INSIDE SILT BAG AS NEEDED. DISPOSE OF SILT BAG NO LONGER IN USE AT AN APPROPRIATE RECYCLING OR SOLID WASTE FACILITY.

INLET INSPECTION:
TO INSPECT INLET, REMOVE SILT BAG WITH GRATE INSIDE, INSPECT CATCH BASIN AND REPLACE SILT BAG BACK INTO GRATE FRAME.
NOTE:
PONDING IS LIKELY IF SEDIMENT IS NOT REMOVED REGULARLY. THE SILT BAG MUST NEVER BE USED WHERE OVERFLOW MAY ENDANGER AN EXPOSED SLOPE.

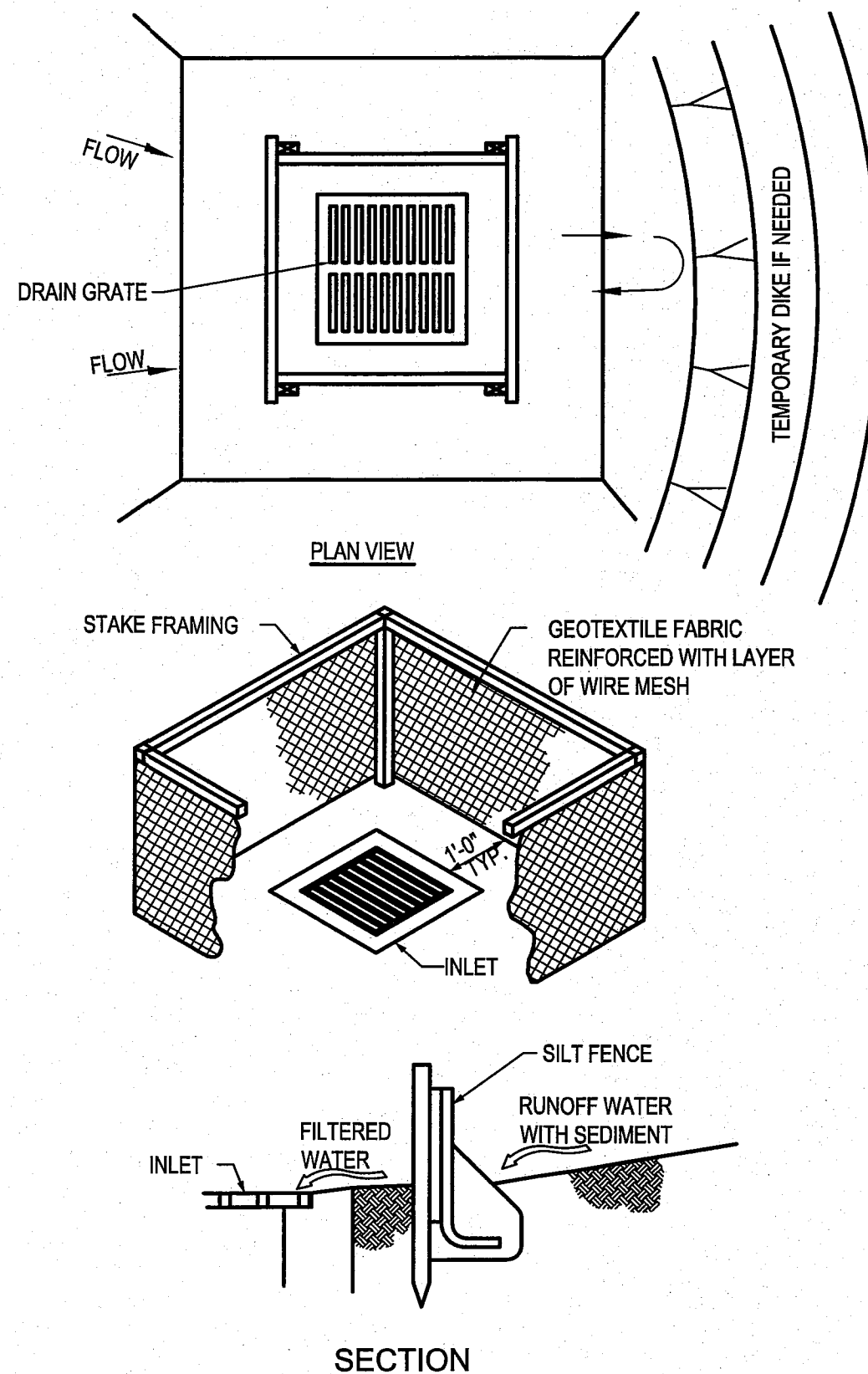
SILT BAG INLET PROTECTION

N.T.S.

- NOTES:
- 1) INLET PROTECTION SHALL BE CONSTRUCTED EITHER BEFORE UPSLOPE LAND DISTURBANCE BEGINS OR BEFORE THE STORM DRAIN BECOMES OPERATIONAL.
 - 2) SILT FENCE SHALL BE GEOTEXTILE FABRIC, PER STATE'S DEPARTMENT OF TRANSPORTATION STANDARDS, AND SHOULD BE CUT FROM A CONTINUOUS ROLL TO AVOID JOINTS.
 - 3) STAKES SHALL BE 1" x 2" WOOD (PREFERRED) OR EQUIVALENT METAL WITH A MINIMUM LENGTH OF 3 FEET. STAKES SHALL BE SPACED AROUND THE PERIMETER OF THE INLET A MAXIMUM OF 3 FEET APART AND SECURELY DRIVEN INTO THE GROUND (MINIMUM OF 8 INCHES). THE TOP OF THE FRAME SHALL BE AT LEAST 6 IN. BELOW ADJACENT ROADS IF PONDED WATER WOULD POSE A SAFETY HAZARD TO TRAFFIC.
 - 4) WIRE MESH SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT FABRIC WITH WATER FULLY IMPOUNDED AGAINST IT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY TO THE FRAME.
 - 5) THE SILT FENCE SHALL BE STAPLED WITH HEAVY DUTY WIRE STAPLES AT LEAST 1/2 INCH LONG, TO THE WOODEN STAKES, AND 8 INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE HEIGHT OF THE FILTER BARRIER SHALL BE A MINIMUM OF 15 INCHES AND SHALL NOT EXCEED 18 INCHES (PLATE 1.08B).
 - 6) THE GEOTEXTILE SHALL OVERLAP ACROSS ONE SIDE OF THE INLET SO THE ENDS OF THE CLOTH ARE NOT FASTENED TO THE SAME POST.
 - 7) A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES WIDE AND 4 INCHES DEEP AROUND THE OUTSIDE PERIMETER OF THE STAKES.
 - 8) BACKFILL SHALL BE PLACED AROUND THE INLET IN COMPACTED 6 IN. LAYERS UNTIL THE EARTH IS EVEN WITH NOTCH ELEVATION ON ENDS AND TOP ELEVATION ON SIDES.
 - 9) A COMPACTED EARTH DIKE OR A CHECK DAM SHALL BE CONSTRUCTED IN THE DITCH LINE BELOW THE INLET IF THE INLET IS NOT IN A DEPRESSION AND IF RUNOFF BYPASSING THE INLET WILL NOT FLOW TO A SETTLING POND. THE TOP OF EARTH DIKES SHALL BE AT LEAST 6 IN. HIGHER THAN THE TOP OF THE FRAME.

MAINTENANCE:
SILT FENCE SHOULD BE INSPECTED REGULARLY AND FREQUENTLY AS WELL AS AFTER EACH RAINFALL EVENT TO INSURE THAT THEY ARE INTACT AND THERE ARE NO GAPS AT THE FENCE-GROUND INTERFACE OR TEARS ALONG THE LENGTH OF THE FENCE. IF GAPS OR TEARS ARE FOUND, THEY SHOULD BE REPAIRED OR THE FABRIC REPLACED IMMEDIATELY. ACCUMULATED SEDIMENTS SHOULD BE REMOVED FROM THE FENCE BASE WHEN THE SEDIMENT REACHES ONE-THIRD TO ONE-HALF THE HEIGHT OF THE FENCE. SEDIMENT REMOVAL SHOULD OCCUR MORE FREQUENTLY IF ACCUMULATED SEDIMENT IS CREATING NOTICEABLE STRAIN ON THE FABRIC AND THERE IS THE POSSIBILITY OF THE FENCE FAILING FROM A SUDDEN STORM EVENT. WHEN THE SILT FENCE IS REMOVED, THE ACCUMULATED SEDIMENT SHOULD BE REMOVED.

YARD INLET PROTECTION

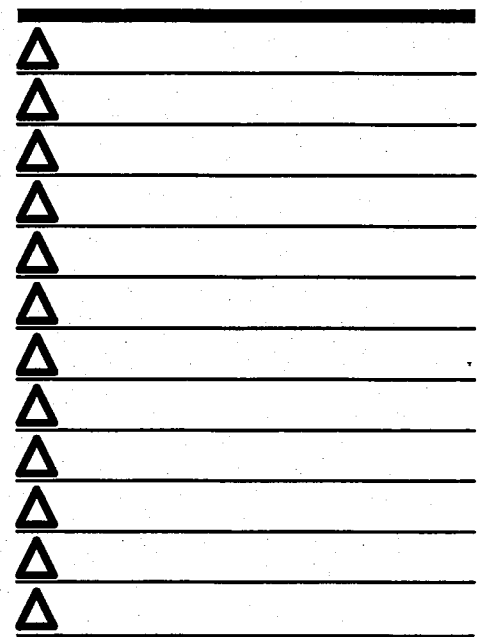
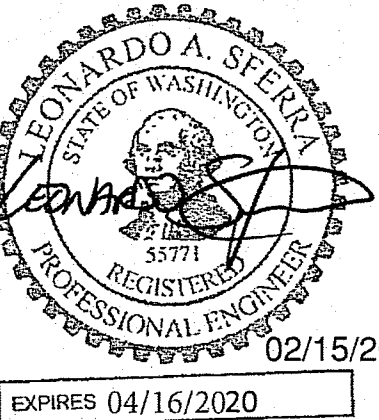


APPROVED

FEB 15 2019
BY *[Signature]*
CITY OF FERNDALE
PUBLIC WORKS DEPARTMENT

AS-BUILT DRAWING

AS-BUILT NOTE:
ONLY INFORMATION NOTED
AS-BUILT "AB" HAS BEEN
PROVIDED BY THE SURVEYOR.



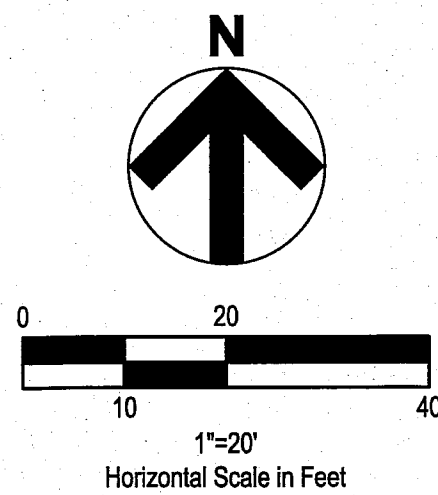
CONTRACT DATE: 02.26.18
BUILDING TYPE: EXPLORER LITE LG
PLAN VERSION: DECEMBER 2016
BRAND DESIGNER: WANCHO
SITE NUMBER:
STORE NUMBER: 2017088.41

TACO BELL
5720 BARRETT RD
FERNDALE, WA 98248



SWPP NOTES AND DETAILS

C-134



LEGEND

(SEE SHEET C-001 FOR GENERAL LEGEND)

ST	PROPOSED STORM SEWER
SAN	PROPOSED SANITARY SEWER
W	PROPOSED WATER SERVICE
GAS	PROPOSED GAS SERVICE
E	PROPOSED UNDERGROUND ELECTRIC SERVICE
T&C	PROPOSED UNDERGROUND TELEPHONE & CABLE SERVICE
D.S.	PROPOSED DOWNSPOUT
A #	APPURTENANCES
#	UTILITY CONSTRUCTION KEYNOTE
---	UNDERDRAIN PIPE

LANDS OF
S & A FAMILY LLC
LOT C
SUPER 8 SHORT PLAT
(#960731081)

TACO BELL
LARGE 66
EXPLORER LITE
FF=39.80

LANDS OF
PILOT TRAVEL CENTERS LLC
LOT 1
FERNDAL PLAZA LOT LINE ADJUSTMENT
(#2121103593)

LANDS OF
GOLDEN ARCH LP
LOT A
AMENDED BARRETT CREEK SHORT PLAT
(#950824139)

EXISTING STRUCTURES	
STRUCT. ID	STRUCTURE DETAILS
SAN 200	EXISTING SANITARY SEWER MANHOLE RIM=34.74 INV. 8" EI (N)=28.96 INV. 8" EI (W)=28.96
SAN 201	EXISTING SANITARY SEWER MANHOLE RIM=35.28 INV. 8" EI (E)=28.46 INV. 8" EI (S)=27.75 PROPOSED 6" PVC SDR 35 INV.(NE)= 28.80

PLAN KEYNOTES

SANITARY

200. PROPOSED SANITARY CONNECTION TO GREASE INTERCEPTOR INV.= 32.50.
201. PROPOSED SANITARY CONNECTION, INV.= 32.50.
202. PROPOSED 77 L.F. OF 6" PVC SDR 35 SANITARY SEWER @ 3.0%.
203. PROPOSED SANITARY CLEANOUT AND WYE CONNECTION, SEE SHEET C-504. INV.= 32.06.
204. PROPOSED GREASE INTERCEPTOR, SEE PLUMBING PLANS FOR DETAILS AND SHEET C-505.
205. PROPOSED 16 L.F. OF 6" PVC SDR 35 SANITARY SEWER @ 3.0%.
206. PROPOSED 37 L.F. OF 6" PVC SDR 35 SANITARY SEWER @ 3.0%.
207. PROPOSED SANITARY CLEANOUT AND WYE CONNECTION, SEE SHEET C-504. INV.= 30.95.
208. PROPOSED 52 L.F. OF 6" PVC SDR 35 SANITARY SEWER @ 3.0%.
209. PROPOSED SANITARY CLEANOUT AND WYE CONNECTION, SEE SHEET C-504. INV.= 29.39.
210. PROPOSED 19.7 L.F. OF 6" PVC SDR 35 SANITARY SEWER @ 3.0%.

WATER

300. PROPOSED WATER CONNECTION, COORDINATE WITH PLUMBING PLANS.
301. PROPOSED 77 L.F. OF 1" COPPER TYPE 'K' DOMESTIC WATER CONNECTION, SEE SHEET C-505.
302. PROPOSED 45' BEND.
303. PROPOSED WATER METER AND BACKFLOW PREVENTOR, PER CITY OF FERNDAL STANDARDS AND SPECIFICATIONS. BACKFLOW PREVENTOR SHALL BE LOCATED AFTER THE METER, SEE SHEET C-505.

UTILITY CROSSINGS

GENERAL CROSSING NOTES: CONTRACTOR SHALL COORDINATE ALL CROSSINGS WITH THE UTILITY COMPANY. PRESSURIZED AND SECONDARY UTILITIES SHALL DEFLECT TO MAINTAIN 18" CLEAR AT SANITARY OR STORM SEWER CROSSINGS.

600. PROPOSED UTILITY CROSSING: 6" PVC STORM INV.=33.02; 6" PVC SRD 35 SANITARY SEWER INV.= 30.39
601. PROPOSED UTILITY CROSSING: 8" PVC STORM INV.=33.89; 6" PVC SRD 35 SANITARY SEWER INV.= 31.12

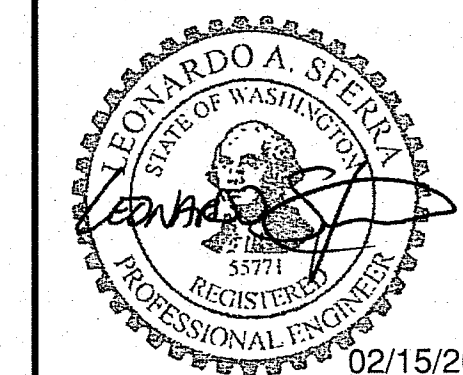
NOTE:

1. ALL PROPOSED STRUCTURES WILL BE LOCATED BY A LICENSED SURVEYOR PRIOR TO INSTALLATION AND CITY INSPECTION FOR REFERENCE.
2. ALL PROPOSED CIVIL IMPROVEMENTS MUST BE INSPECTED AND APPROVED BY PUBLIC WORKS PRIOR TO FINAL BUILDING OCCUPANCY.



AS-BUILT DRAWING

AS-BUILT NOTE:
ONLY INFORMATION NOTED
AS-BUILT "AB" HAS BEEN
PROVIDED BY THE SURVEYOR.



EXPIRES 04/16/2020

ADDENDUM # 2	06/28/18
△	
△	
△	
△	
△	
△	
△	
△	
△	
△	
△	
△	

CONTRACT DATE: 02.26.18
BUILDING TYPE: EXPLORER LITE LG
PLAN VERSION: DECEMBER 2016
BRAND DESIGNER: WANCHO
SITE NUMBER:
STORE NUMBER: 2017088.41

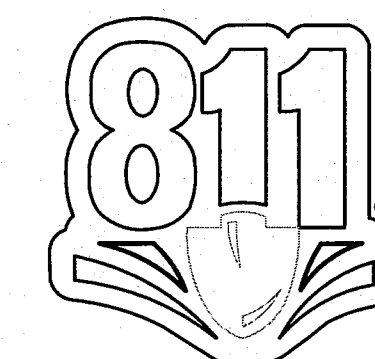
TACO BELL

5720 BARRETT RD
FERNDAL, WA 98248



SANITARY SEWER AND WATER PLAN

C-141



Know what's below
Call before you dig.

APPROVED

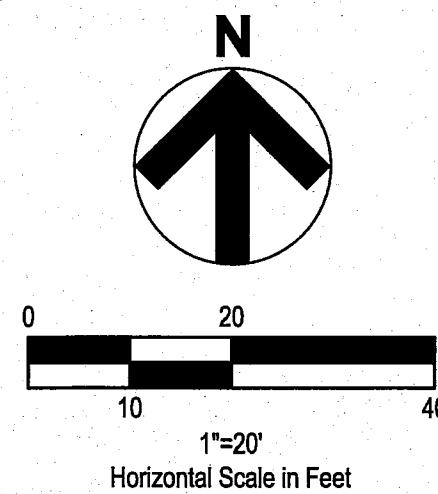
FEB 15 2019

BY *[Signature]*
CITY OF FERNDAL
PUBLIC WORKS DEPARTMENT

BENCHMARKS:

BASIS OF BEARING: NAVD88

BENCHMARK #1 - "X" ON NORTHEASTERLY HEAD
BOLT ON FIRE HYDRANT. ELEVATION=40.79'

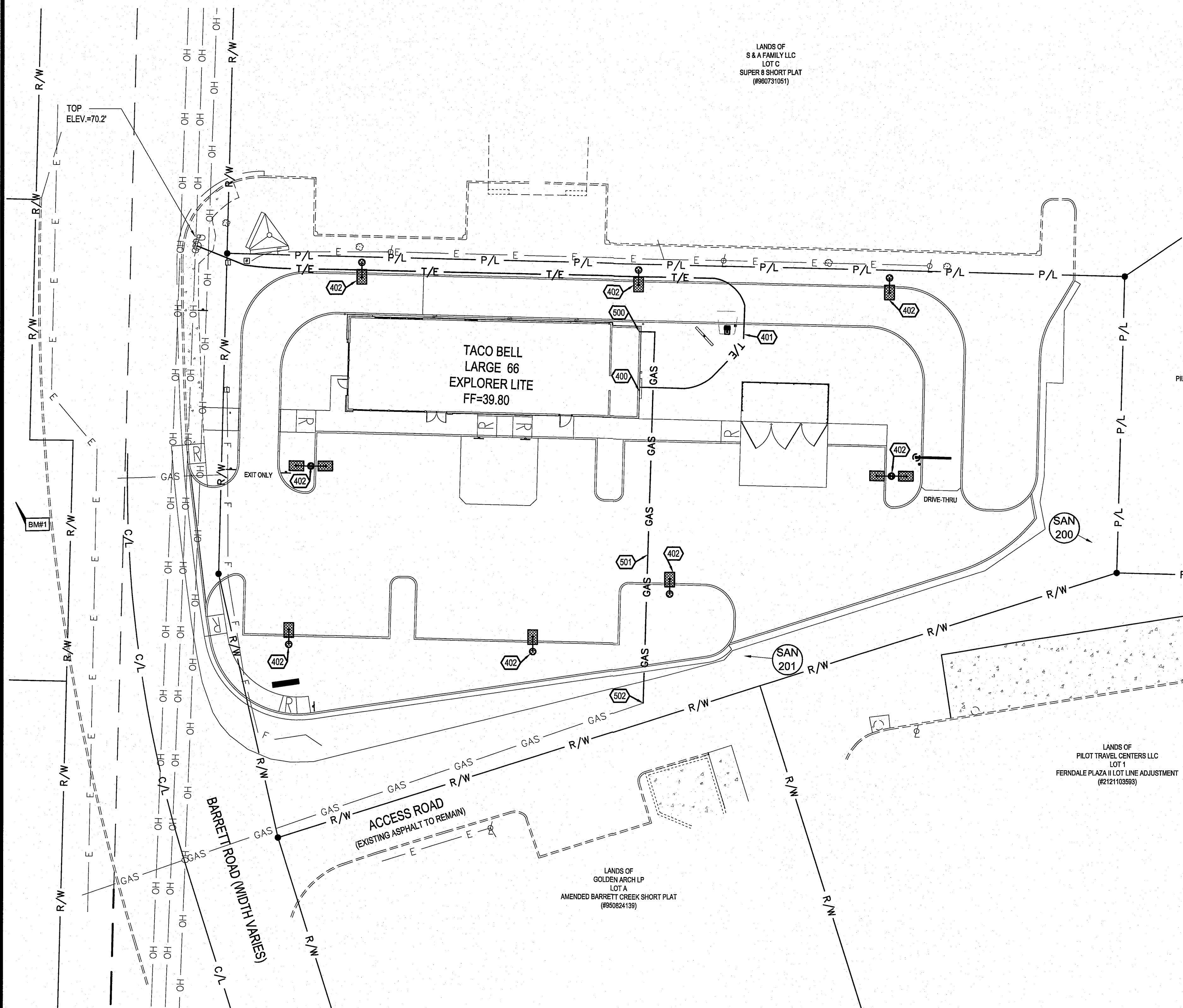


LEGEND

(SEE SHEET C-001 FOR GENERAL LEGEND)

ST	PROPOSED STORM SEWER
SAN	PROPOSED SANITARY SEWER
W	PROPOSED WATER SERVICE
GAS	PROPOSED GAS SERVICE
E	PROPOSED UNDERGROUND ELECTRIC SERVICE
T&C	PROPOSED UNDERGROUND TELEPHONE & CABLE SERVICE
D.S.	PROPOSED DOWNSPOUT
A #	APPURTENANCES
#	UTILITY CONSTRUCTION KEYNOTE
---	UNDERDRAIN PIPE

LANDS OF
S & A FAMILY LLC
LOT C
SUPER 8 SHORT PLAT
(#960731051)



PLAN KEYNOTES

ELECTRIC AND COMMUNICATIONS

400. PROPOSED ELECTRIC METER PER ELECTRIC COMPANY SPECIFICATIONS. SEE BUILDING DRAWINGS FOR EXACT LOCATION. ELECTRIC SERVICE LINE TO BE COORDINATED WITH THE ELECTRIC COMPANY.
401. PROPOSED ELECTRIC AND TELECOMMUNICATIONS SERVICE CONNECTION TO BE COORDINATED WITH THE UTILITY COMPANIES.
402. PROPOSED LIGHT POLE. SEE ARCHITECTURAL AND ELECTRICAL DRAWINGS FOR SPECIFICATIONS.

GAS

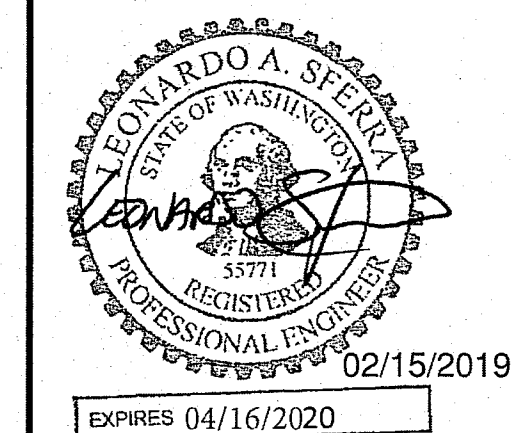
500. PROPOSED GAS METER PER GAS COMPANY SPECIFICATIONS. SEE BUILDING DRAWINGS FOR EXACT LOCATION. GAS SERVICE LINE TO BE COORDINATED WITH THE GAS COMPANY.
501. PROPOSED 120 L.F. GAS SERVICE CONNECTION TO BE COORDINATED WITH THE GAS COMPANY.
502. PROPOSED GAS SERVICE TAP TO BE COORDINATED WITH THE GAS COMPANY.

- NOTE:
1. ALL PROPOSED STRUCTURES WILL BE LOCATED BY A LICENSED SURVEYOR PRIOR TO INSTALLATION AND CITY INSPECTION FOR REFERENCE.
 2. ALL PROPOSED CIVIL IMPROVEMENTS MUST BE INSPECTED AND APPROVED BY PUBLIC WORKS PRIOR TO FINAL BUILDING OCCUPANCY.



AS-BUILT DRAWING

AS-BUILT NOTE:
ONLY INFORMATION NOTED
AS-BUILT "AB" HAS BEEN
PROVIDED BY THE SURVEYOR.



ADDENDUM # 2	06/28/18
ADDENDUM # 1	
ADDENDUM # 0	
CONTRACT DATE:	02.26.18
BUILDING TYPE:	EXPLORER LITE LG
PLAN VERSION:	DECEMBER 2016
BRAND DESIGNER:	WANCHO
SITE NUMBER:	
STORE NUMBER:	2017088.41

TACO BELL

5720 BARRETT RD
FERDALE, WA 98248



EXPLORER LITE
LARGE66

DRY UTILITY
PLAN



Know what's below
Call before you dig.

APPROVED

FEB 15 2019

BY *Kayla M. ...*
CITY OF FERDALE
PUBLIC WORKS DEPARTMENT

BENCHMARKS:

BASIS OF BEARING: NAVD88

BENCHMARK #1 - "X" ON NORTHEASTERLY HEAD
BOLT ON FIRE HYDRANT. ELEVATION=40.79'

C-141A

PROJECT INFORMATION	
ENGINEER	TIM SNELL
PRODUCT	200-901-2013
MANAGER	TIM SNELL@ADS-PIPE.COM
ADS SALES REP	DANNY JONES
	200-313-0399
	DANNY.JONES@ADS-PIPE.COM
PROJECT NO.	507499



TACO BELL FERNANDALE, WA

STORMTECH CHAMBER SPECIFICATIONS

- CHAMBERS SHALL BE STORMTECH SC-740 OR SC-310.
- CHAMBERS SHALL BE MANUFACTURED FROM VIRGIN POLYPROPYLENE OR POLYETHYLENE RESINS.
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORT PANELS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL MEET ASTM F2822 (POLYETHYLENE) OR ASTM F2418-16 (POLYPROPYLENE), "STANDARD SPECIFICATION FOR THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- CHAMBERS SHALL BE DESIGNED AND ALLOWABLE LOADS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE:
 - A STRUCTURAL EVALUATION SEALED BY A REGISTERED PROFESSIONAL ENGINEER THAT DEMONSTRATES THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.85 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD, THE MINIMUM REQUIRED BY ASTM F2787 AND BY AASHTO FOR THERMOPLASTIC PIPE.
 - A STRUCTURAL EVALUATION SEALED BY A REGISTERED PROFESSIONAL ENGINEER THAT DEMONSTRATES THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET, THE 80 YEAR CREEP MODULUS DATA SPECIFIED IN ASTM F2418 OR ASTM F2822 MUST BE USED AS PART OF THE AASHTO STRUCTURAL EVALUATION TO VERIFY LONG-TERM PERFORMANCE.
 - STRUCTURAL CROSS SECTION DETAIL ON WHICH THE STRUCTURAL EVALUATION IS BASED.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF THE SC-310/SC-740 SYSTEM

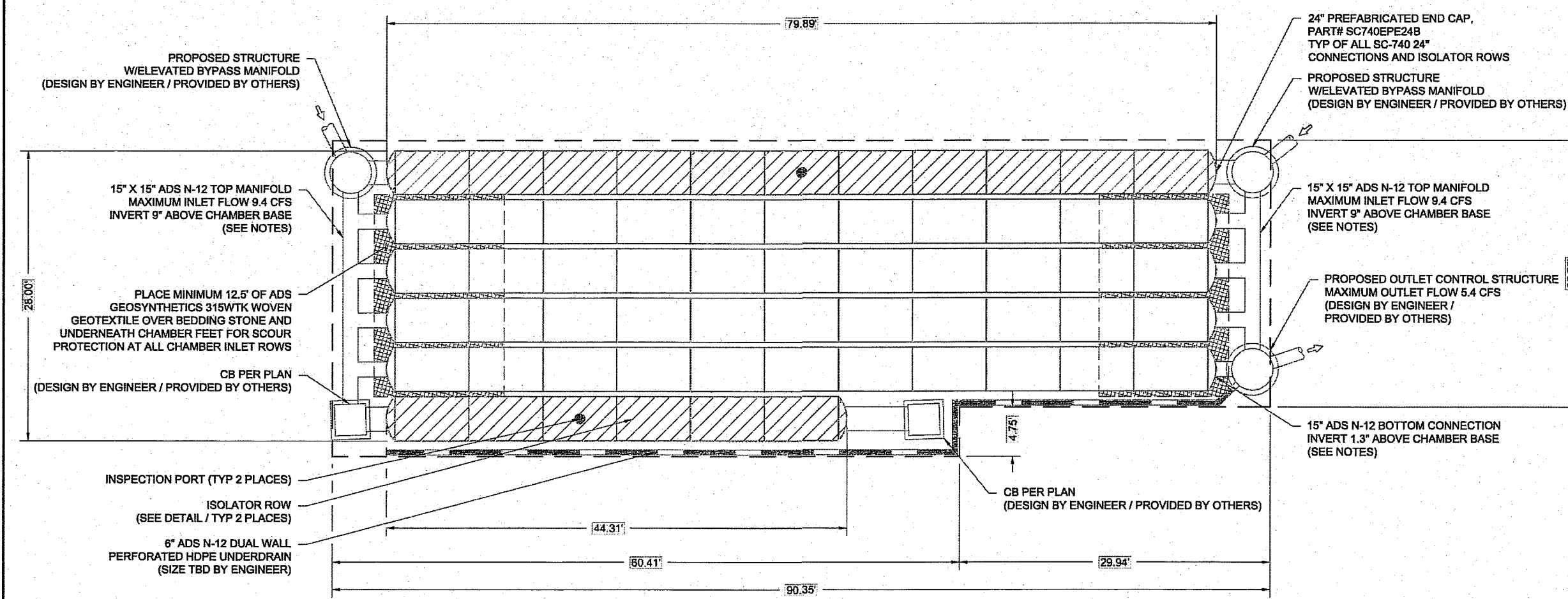
- STORMTECH SC-310 & SC-740 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
 - STORMTECH SC-310 & SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
 - CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS. STORMTECH RECOMMENDS 3 BACKFILL METHODS:
 - STONE/SHOOTER LOCATED OFF THE CHAMBER BED.
 - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
 - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
 - THE FOUNDATION STONE SHALL BE LEVELLED AND COMPACTED PRIOR TO PLACING CHAMBERS.
 - JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEALED PRIOR TO PLACING STONE.
 - MAINTAIN MINIMUM - 6" (150 mm) SPACING BETWEEN THE CHAMBER ROWS.
 - EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE 3/4" (20-50 mm).
 - THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
 - ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.
- NOTES FOR CONSTRUCTION EQUIPMENT**
- STORMTECH SC-310 & SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
 - THE USE OF CONSTRUCTION EQUIPMENT OVER SC-310 & SC-740 CHAMBERS IS LIMITED:
 - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
 - NO RUBBER TIERED LOADERS, DUMP TRUCKS, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
 - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
 - FULL 30" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.
- USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO THE CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.
- CONTACT STORMTECH AT 1-888-892-2884 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.

PROPOSED LAYOUT - POC#1

61	STORMTECH SC-740 CHAMBERS
12	STORMTECH SC-740 END CAPS
9	STONE ABOVE (A)
6	STONE BELOW (B)
40	% STONE VOID
5,601	INSTALLED SYSTEM VOLUME (CF)
2,613	PERIMETER STONE INCLUDED
242	SYSTEM PERIMETER (IN)

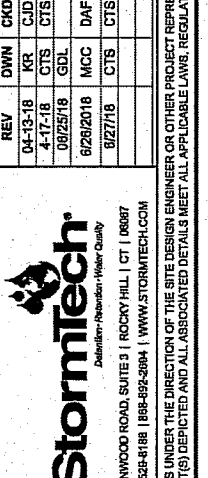
PROPOSED ELEVATIONS - POC#1

MAXIMUM ALLOWABLE GRADE (TOP OF PAVEMENT/UNPAVED):	44.15
MINIMUM ALLOWABLE GRADE (UNPAVED WITH TRAFFIC):	38.15
MINIMUM ALLOWABLE GRADE (UNPAVED NO TRAFFIC):	37.85
MINIMUM ALLOWABLE GRADE (BASE OF FLEXIBLE PAVEMENT):	37.85
MINIMUM ALLOWABLE GRADE (TOP OF RIGID PAVEMENT):	37.85
TOP OF STONE:	36.90
TOP OF SC-740 CHAMBER:	36.15
15" TOP MANHOLE INVERT:	34.40
15" BOTTOM MANHOLE INVERT:	33.78
24" ISOLATOR ROW INVERT:	33.85
BOTTOM OF SC-740 CHAMBER:	33.85
UNDERDRAIN INVERT:	33.15
BOTTOM OF STONE:	33.15



DATE	04-13-18
DESIGNED BY	DAVID J. WILSON
CHECKED BY	DAVID J. WILSON
PROJECT #	507499
CLIENT	TACO BELL
LOCATION	FERNANDALE, WA

DATE	04-13-18
DESIGNED BY	DAVID J. WILSON
CHECKED BY	DAVID J. WILSON
PROJECT #	507499
CLIENT	TACO BELL
LOCATION	FERNANDALE, WA



DATE	04-13-18
DESIGNED BY	DAVID J. WILSON
CHECKED BY	DAVID J. WILSON
PROJECT #	507499
CLIENT	TACO BELL
LOCATION	FERNANDALE, WA

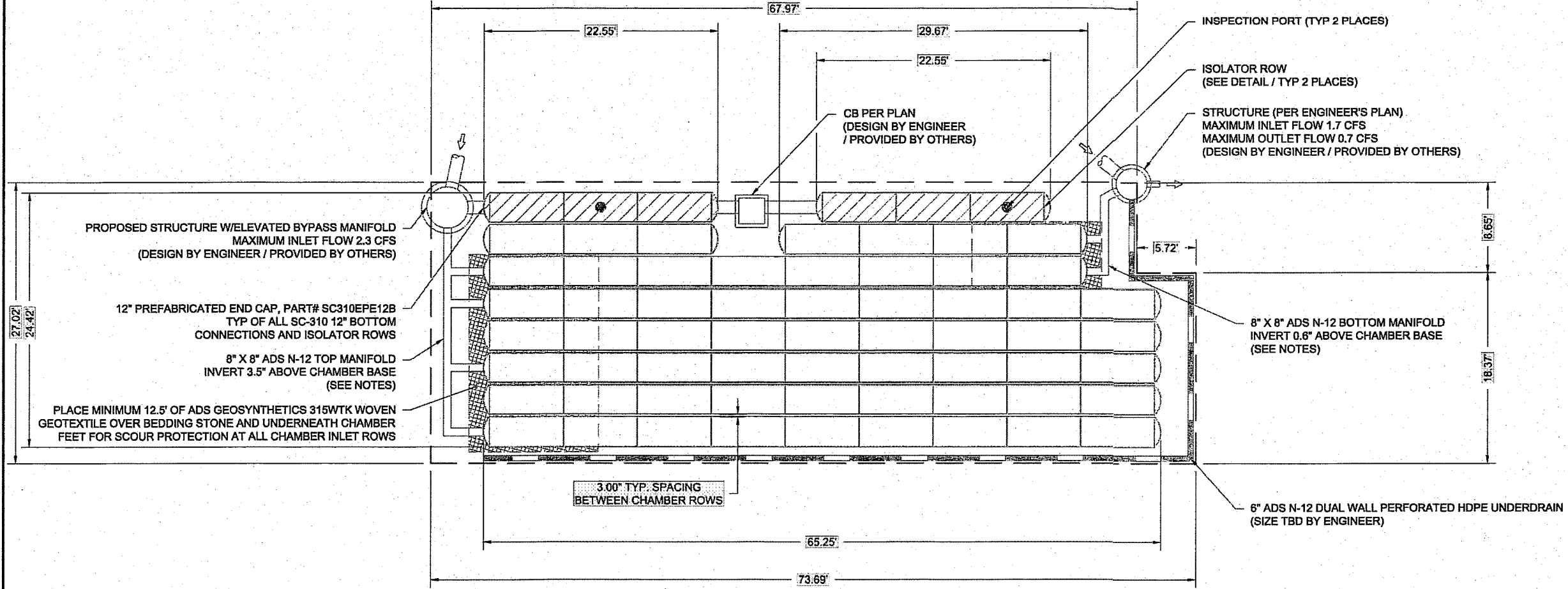
2 OF 9

PROPOSED LAYOUT - POC#2

66	STORMTECH SC-310 CHAMBERS
20	STORMTECH SC-310 END CAPS
6	STONE ABOVE (A)
6	STONE BELOW (B)
40	% STONE VOID
2,396	INSTALLED SYSTEM VOLUME (CF)
1,341	PERIMETER STONE INCLUDED
201	SYSTEM PERIMETER (IN)

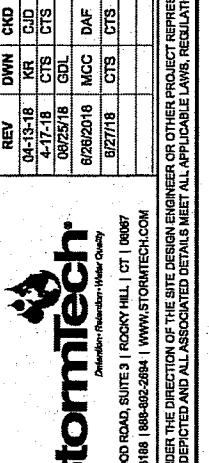
PROPOSED ELEVATIONS - POC#2

MAXIMUM ALLOWABLE GRADE (TOP OF PAVEMENT/UNPAVED):	42.28
MINIMUM ALLOWABLE GRADE (UNPAVED WITH TRAFFIC):	36.28
MINIMUM ALLOWABLE GRADE (UNPAVED NO TRAFFIC):	35.78
MINIMUM ALLOWABLE GRADE (TOP OF RIGID PAVEMENT):	35.78
MINIMUM ALLOWABLE GRADE (BASE OF FLEXIBLE PAVEMENT):	35.61
TOP OF STONE:	34.78
TOP OF SC-310 CHAMBER:	34.28
8" TOP MANHOLE INVERT:	33.24
12" ISOLATOR ROW INVERT:	33.03
8" BOTTOM MANHOLE INVERT:	33.00
BOTTOM OF SC-310 CHAMBER:	32.85
UNDERDRAIN INVERT:	32.45
BOTTOM OF STONE:	32.45



DATE	04-13-18
DESIGNED BY	DAVID J. WILSON
CHECKED BY	DAVID J. WILSON
PROJECT #	507499
CLIENT	TACO BELL
LOCATION	FERNANDALE, WA

DATE	04-13-18
DESIGNED BY	DAVID J. WILSON
CHECKED BY	DAVID J. WILSON
PROJECT #	507499
CLIENT	TACO BELL
LOCATION	FERNANDALE, WA



DATE	04-13-18
DESIGNED BY	DAVID J. WILSON
CHECKED BY	DAVID J. WILSON
PROJECT #	507499
CLIENT	TACO BELL
LOCATION	FERNANDALE, WA

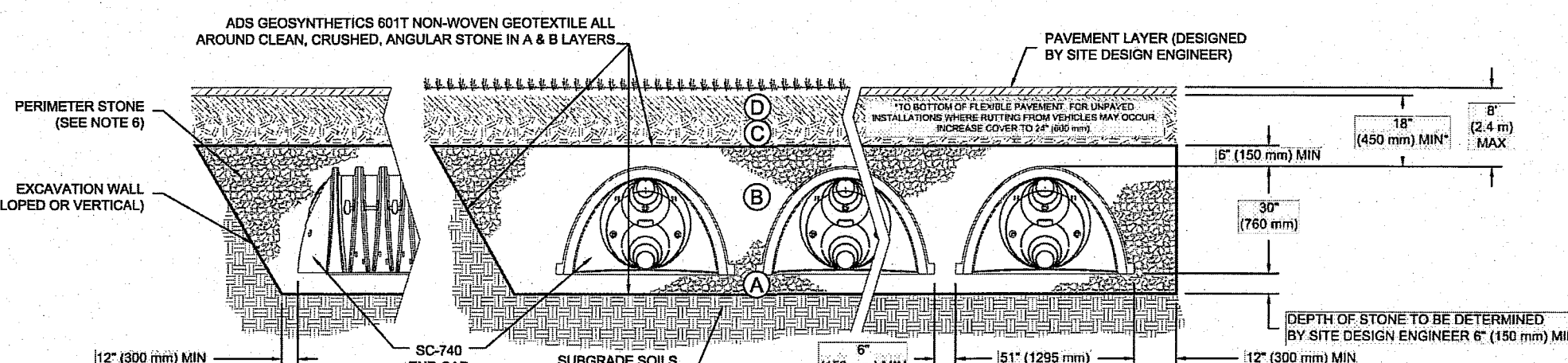
3 OF 9

ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	ANY SOLID ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE (B LAYER) TO 15" (400 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <3% FINES OR PROCESSED AGGREGATE. MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	AASHTO M145 A-1, A-2, A-3 OR AASHTO M43 3, 5, 6, 7, 8, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 8" (150 mm) MAX LIFTS TO A MIN. 90% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M43 3, 5, 6, 7, 8, 9, 10	NO COMPACTION REQUIRED.
A FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M43 3, 5, 6, 7, 8, 9, 10	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. **

PLEASE NOTE:

- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR, FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
- STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 8" (150 mm) MAX LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.

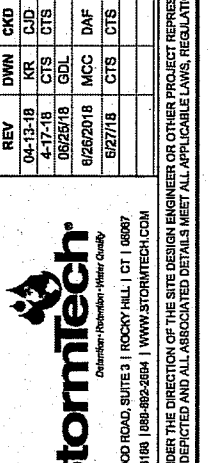


NOTES:

- SC-740 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS", OR ASTM F2822 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- ONCE LAYER 'C' IS PLACED, ANY SOLID MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

DATE	04-13-18
DESIGNED BY	DAVID J. WILSON
CHECKED BY	DAVID J. WILSON
PROJECT #	507499
CLIENT	TACO BELL
LOCATION	FERNANDALE, WA

DATE	04-13-18
DESIGNED BY	DAVID J. WILSON
CHECKED BY	DAVID J. WILSON
PROJECT #	507499
CLIENT	TACO BELL
LOCATION	FERNANDALE, WA



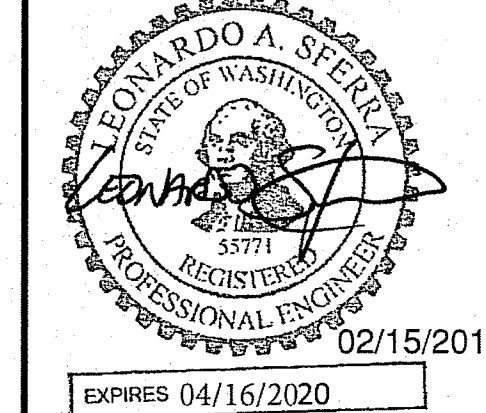
DATE	04-13-18
DESIGNED BY	DAVID J. WILSON
CHECKED BY	DAVID J. WILSON
PROJECT #	507499
CLIENT	TACO BELL
LOCATION	FERNANDALE, WA

4 OF 9



AS-BUILT DRAWING

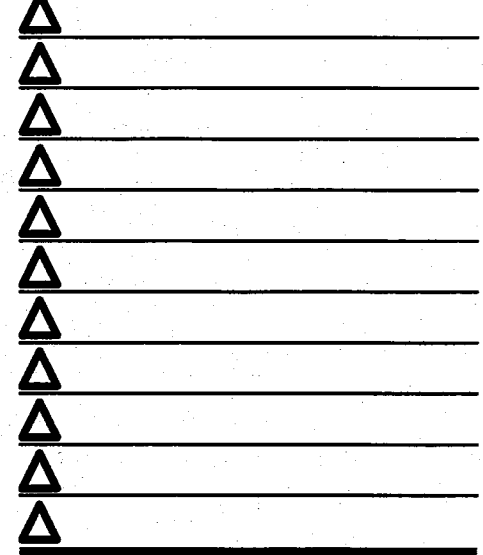
AS-BUILT NOTE:
ONLY INFORMATION NOTED
AS-BUILT "AB" HAS BEEN
PROVIDED BY THE SURVEYOR.



APPROVED

FEB 15 2019
BY *Raymond*
CITY OF FERNDALE
PUBLIC WORKS DEPARTMENT

ADDENDUM # 2 02/28/18



CONTRACT DATE: 02.26.18
BUILDING TYPE: EXPLORER LITE LG
PLAN VERSION: DECEMBER 2016
BRAND DESIGNER: WANCHO
SITE NUMBER:
STORE NUMBER: 2017088.41

TACO BELL

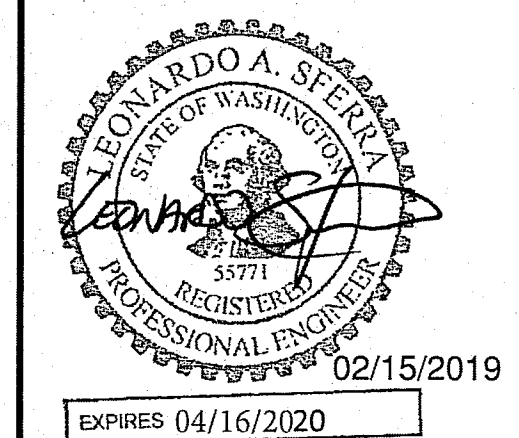
5720 BARRETT RD
FERNDALE, WA 98248



STORMTECH SHEETS

C-142

AS-BUILT DRAWING
AS-BUILT NOTE:
ONLY INFORMATION NOTED
AS-BUILT "AB" HAS BEEN
PROVIDED BY THE SURVEYOR.

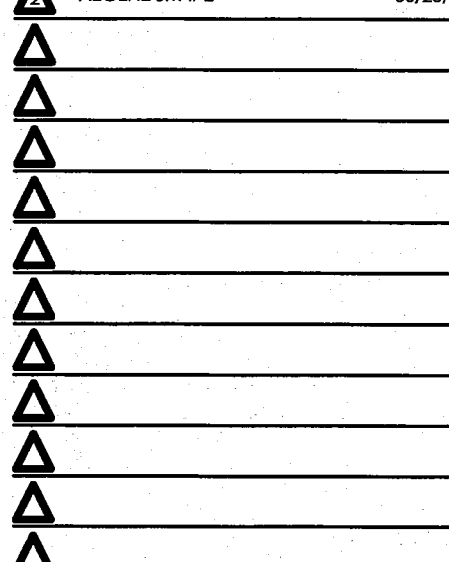


APPROVED

FEB 15 2019

BY *[Signature]*
CITY OF FERNDALE
PUBLIC WORKS DEPARTMENT

ADDENDUM # 2 04/26/18



CONTRACT DATE: 02.26.18
BUILDING TYPE: EXPLORER LITE LG
PLAN VERSION: DECEMBER 2016
BRAND DESIGNER: WANCHOW
SITE NUMBER:
STORE NUMBER: 2017086.41

TACO BELL

5720 BARRETT RD
FERNDAL, WA 98248



EXPLORER LITE
LARGE66

STORMTECH SHEETS

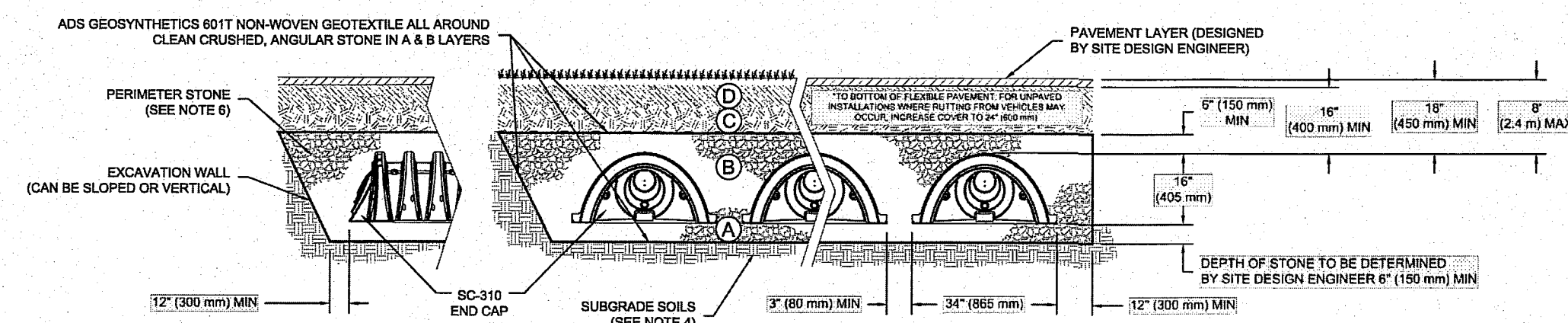
C-143

ACCEPTABLE FILL MATERIALS: STORMTECH SC-310 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	NA	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE (5' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M145 ¹ A-1, A-2-A, A-3 OR AASHTO M33 ² 3, 357, 4, 487, 5, 66, 67, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 85% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (55 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE (A LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M33 ² 3, 357, 4, 487, 5, 66, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M33 ² 3, 357, 4, 487, 5, 66, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. **

PLEASE NOTE:

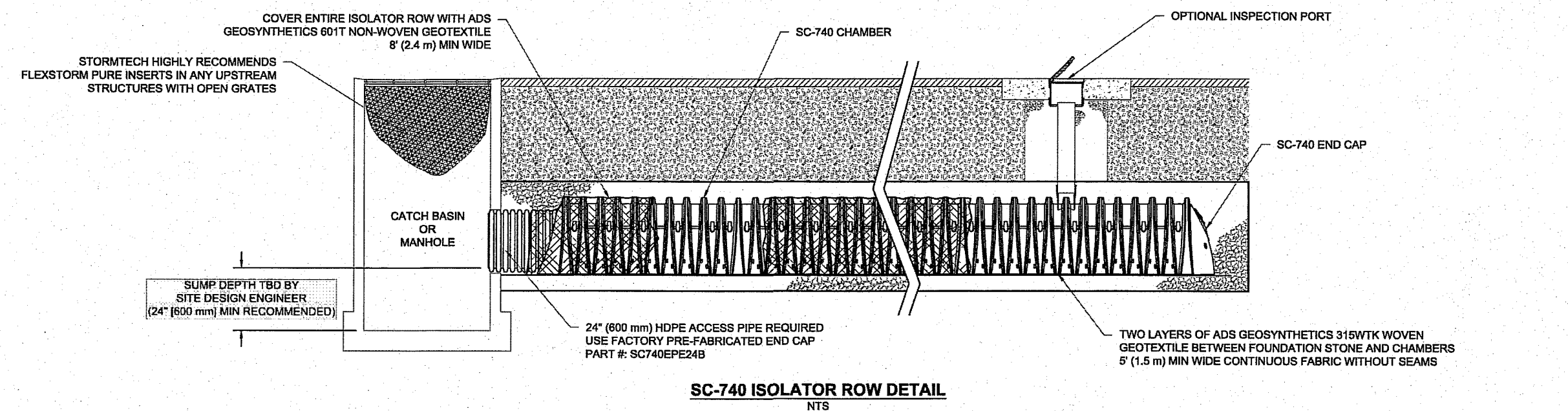
- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (ASHTO) M33 STONE."
- STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) MAX LIFTS USING TWO FULL COVERS WITH A VIBRATORY COMPACTOR. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.



NOTES:

- SC-310 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS", OR ASTM F2522 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- SC-310 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- ONCE LAYER 'C' IS PLACED, ANY SOLID MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

TACO BELL
FERNDAL, WA
DATE: 04-12-18
DRAWN: KRL
CHECKED: GFI
PROJECT #: 2017086
SHEET 5 OF 9

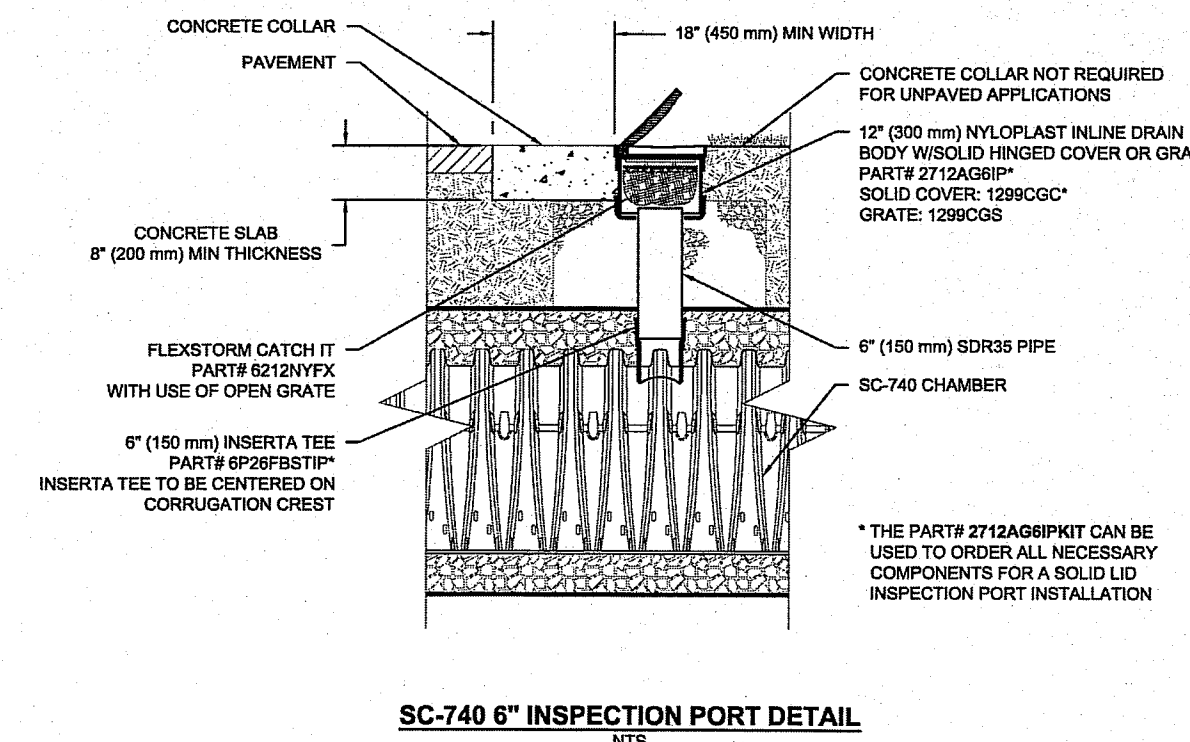


INSPECTION & MAINTENANCE

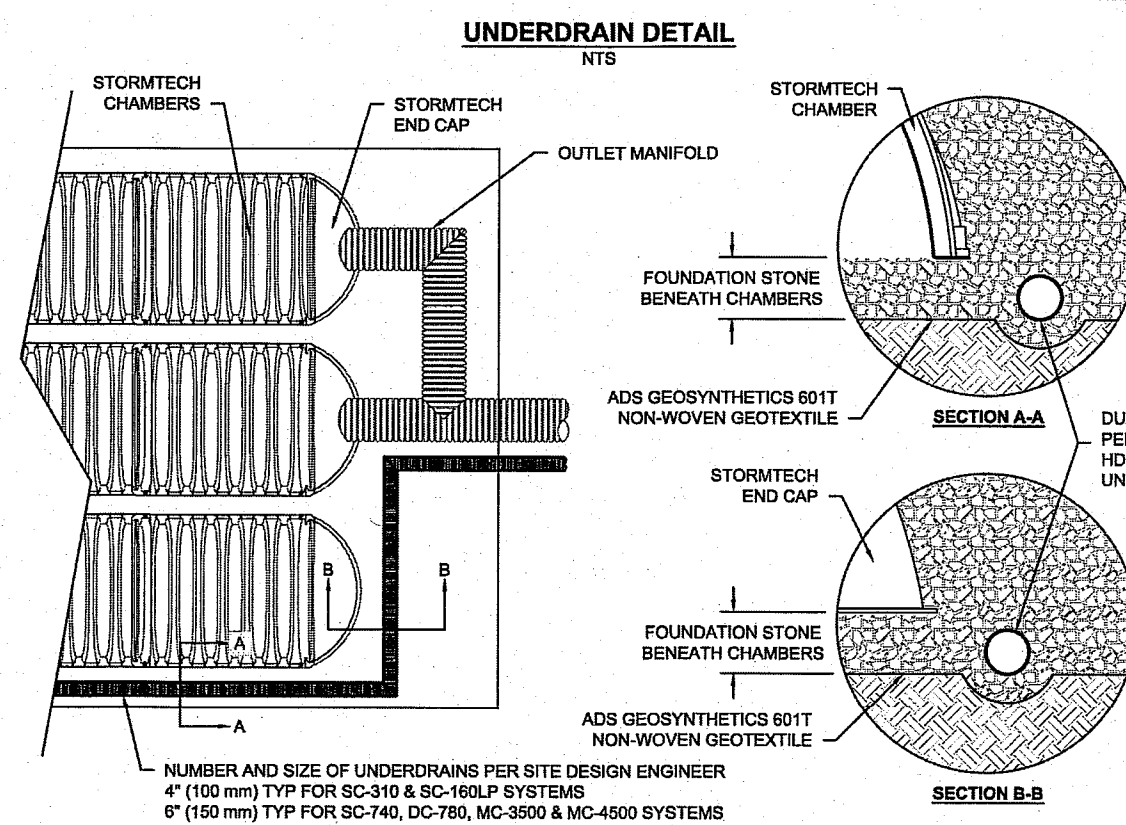
- STEP 1) INSPECT ISOLATOR ROW FOR SEDIMENT
- INSPECTION PORTS (IF PRESENT)
 - REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN
 - REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
 - USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
 - LOWER A CAMERA INTO ISOLATOR ROW FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
 - IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- B. ALL ISOLATOR ROWS
- REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW
 - USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW THROUGH OUTLET PIPE
 - MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
 - FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
 - IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROW USING THE JETVAC PROCESS
- A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED
 - APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
 - VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

NOTES

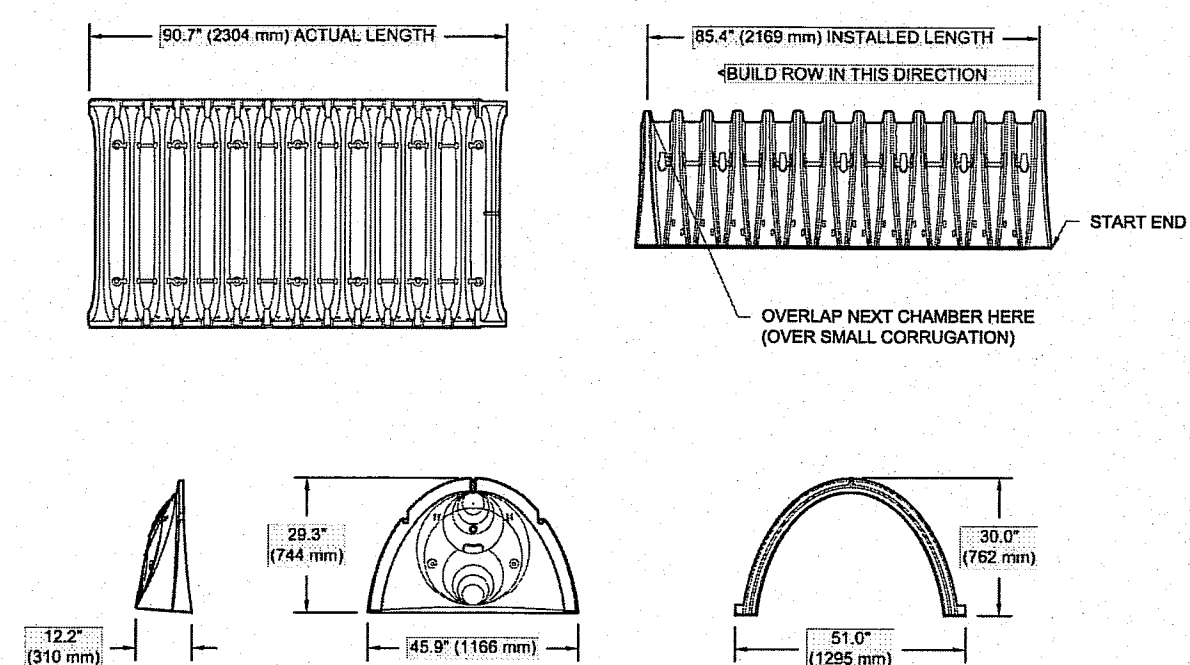
- INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
- CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.



TACO BELL
FERNDAL, WA
DATE: 04-12-18
DRAWN: KRL
CHECKED: GFI
PROJECT #: 2017086
SHEET 6 OF 9



SC-740 TECHNICAL SPECIFICATION



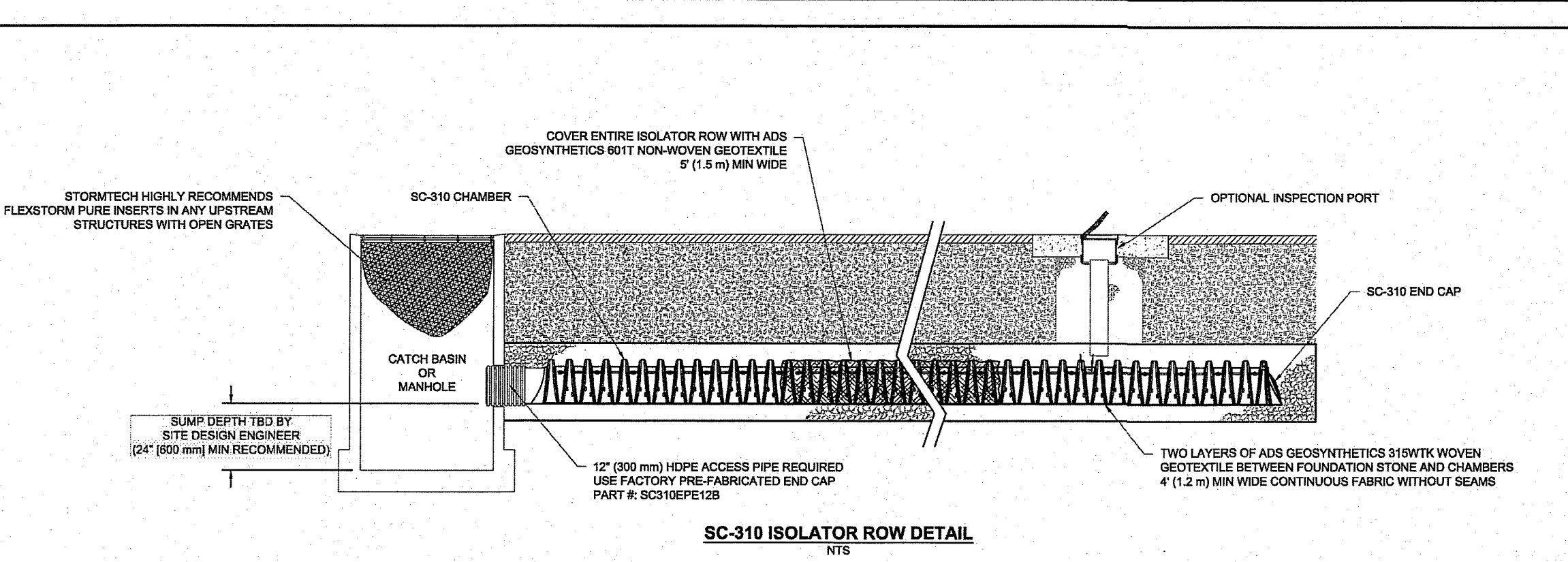
NOMINAL CHAMBER SPECIFICATIONS	6\"/>
--------------------------------	-------

PRE-FAB STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B"
 PRE-FAB STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "C"
 PRE-CORED END CAPS END WITH "PC"

PART #	STUB	A	B	C
SC740EP0601 / SC740EP0601PC	6" (150 mm)	10.9" (277 mm)	18.5" (469 mm)	0.8" (13 mm)
SC740EP0608 / SC740EP0608PC				
SC740EP0609 / SC740EP0609PC	8" (200 mm)	12.2" (310 mm)	16.8" (419 mm)	0.6" (9 mm)
SC740EP0601B / SC740EP0601BPC				
SC740EP0608B / SC740EP0608BPC	10" (250 mm)	13.4" (340 mm)	14.5" (368 mm)	0.7" (18 mm)
SC740EP1001 / SC740EP1001PC				
SC740EP1008 / SC740EP1008PC	12" (300 mm)	14.7" (373 mm)	12.0" (305 mm)	1.2" (30 mm)
SC740EP1001B / SC740EP1001BPC				
SC740EP1008B / SC740EP1008BPC	15" (375 mm)	18.4" (467 mm)	9.0" (229 mm)	1.3" (33 mm)
SC740EP1201 / SC740EP1201PC				
SC740EP1208 / SC740EP1208PC	18" (450 mm)	19.7" (500 mm)	5.0" (127 mm)	1.8" (45 mm)
SC740EP1201B / SC740EP1201BPC				
SC740EP1208B / SC740EP1208BPC	24" (600 mm)	18.9" (479 mm)	0.1" (3 mm)	0.1" (3 mm)

ALL STUBS, EXCEPT FOR THE SC740EP2408 ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-992-2894.
* FOR THE SC740EP2408 THE 24\"/>

TACO BELL
FERNDAL, WA
DATE: 04-12-18
DRAWN: KRL
CHECKED: GFI
PROJECT #: 2017086
SHEET 8 OF 9

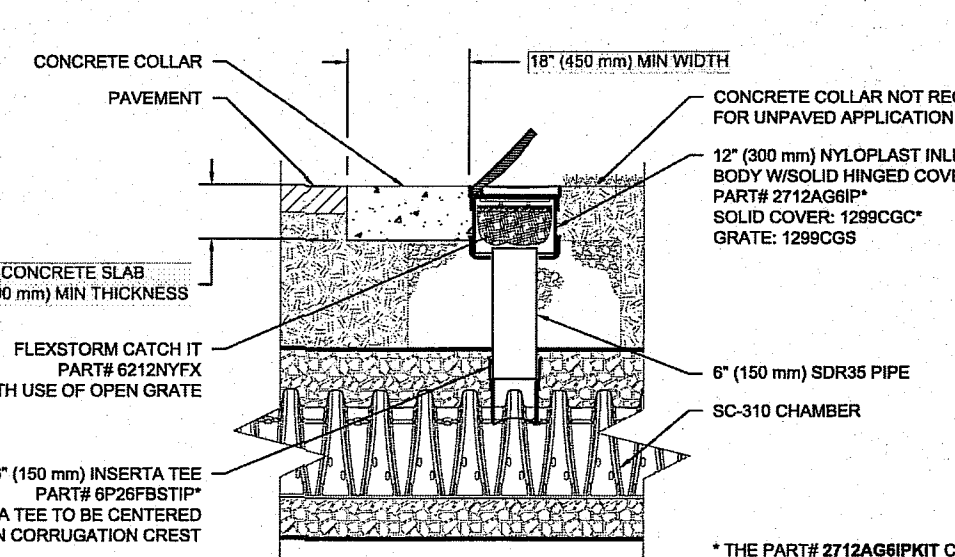


INSPECTION & MAINTENANCE

- STEP 1) INSPECT ISOLATOR ROW FOR SEDIMENT
- INSPECTION PORTS (IF PRESENT)
 - REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN
 - REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
 - USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
 - LOWER A CAMERA INTO ISOLATOR ROW FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
 - IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- B. ALL ISOLATOR ROWS
- REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW
 - USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW THROUGH OUTLET PIPE
 - MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
 - FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
 - IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROW USING THE JETVAC PROCESS
- A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED
 - APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
 - VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

NOTES

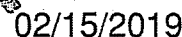
- INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
- CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.



SC-310 6\"/>

TACO BELL
FERNDAL, WA
DATE: 04-12-18
DRAWN: KRL
CHECKED: GFI
PROJECT #: 2017086
SHEET 7 OF 9

AS-BUILT NOTE:
ONLY INFORMATION NOTED
AS-BUILT "AB" HAS BEEN
PROVIDED BY THE SURVEYOR.



EXPIRES 04/16/2020

APPROVED

FEB 15 2019

BY [Signature]
CITY OF FERNDALE
PUBLIC WORKS DEPARTMENT

06/28/18

CONTRACT DATE: 02.26.18

BUILDING TYPE: EXPLORER LITE LG

PLAN VERSION: DECEMBER 2016

BRAND DESIGNER: WANCHO

SITE NUMBER: _____

TACO BELL

5720 BARRETT RD
FERNDALE, WA 9824

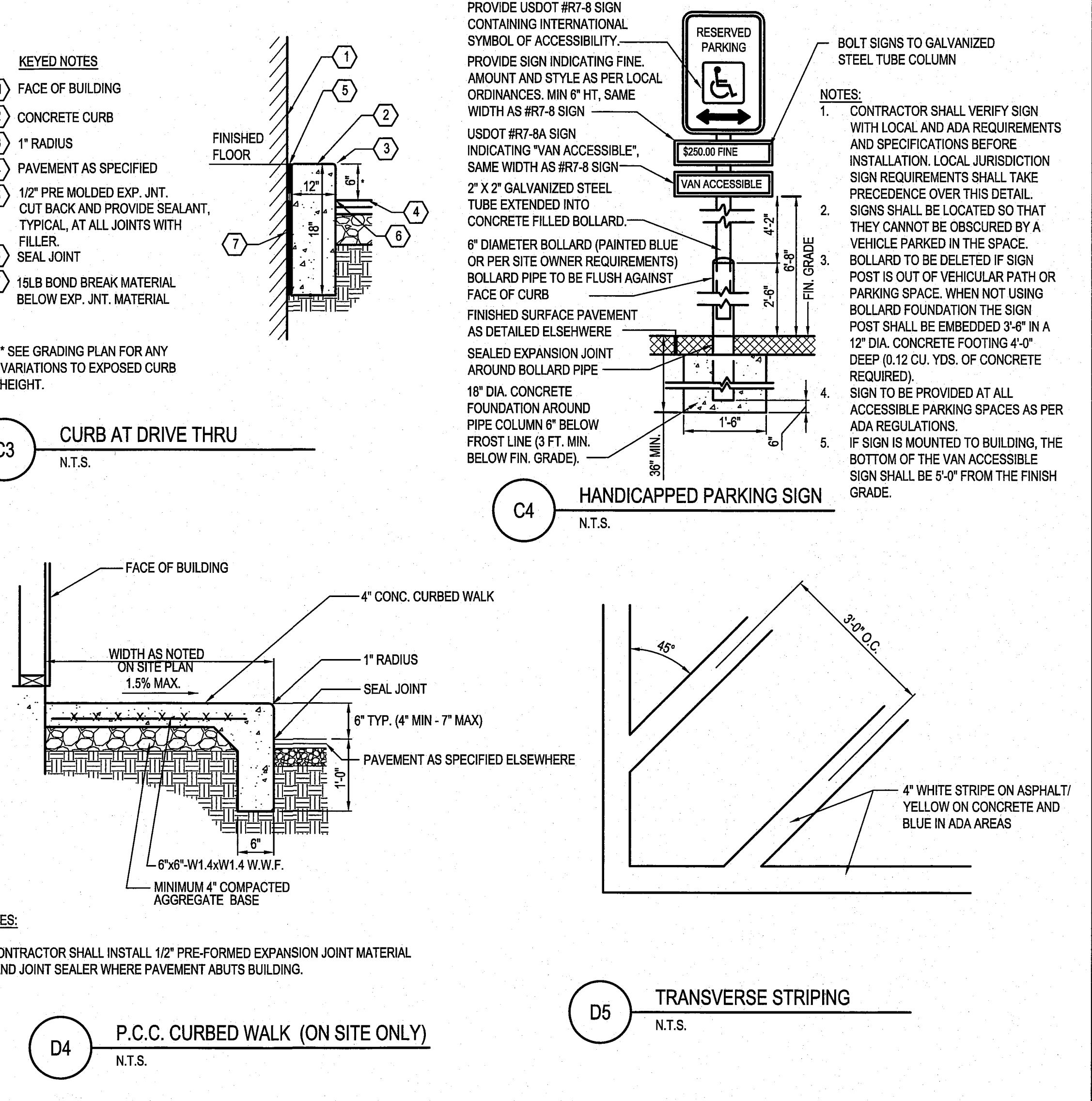
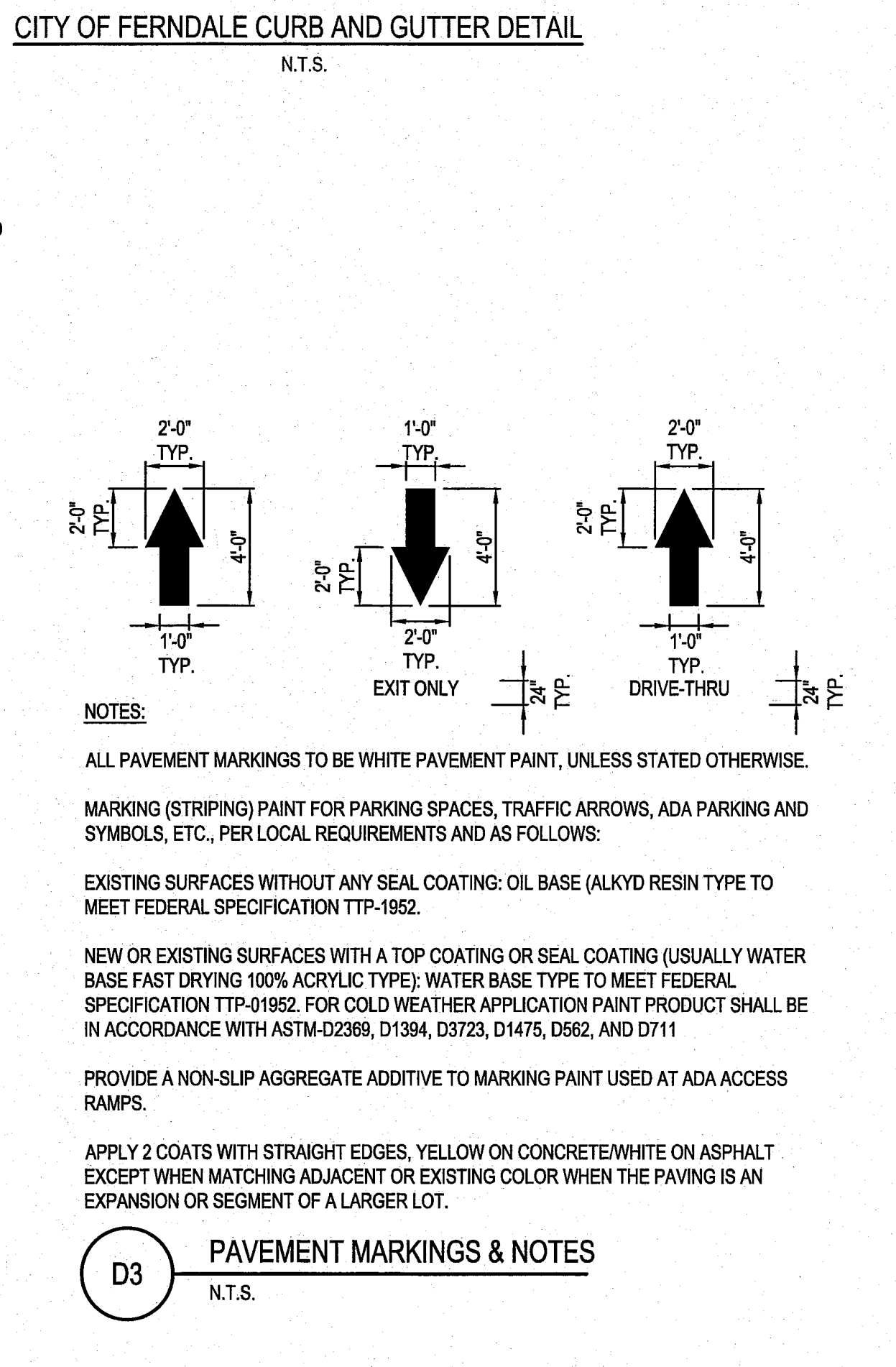
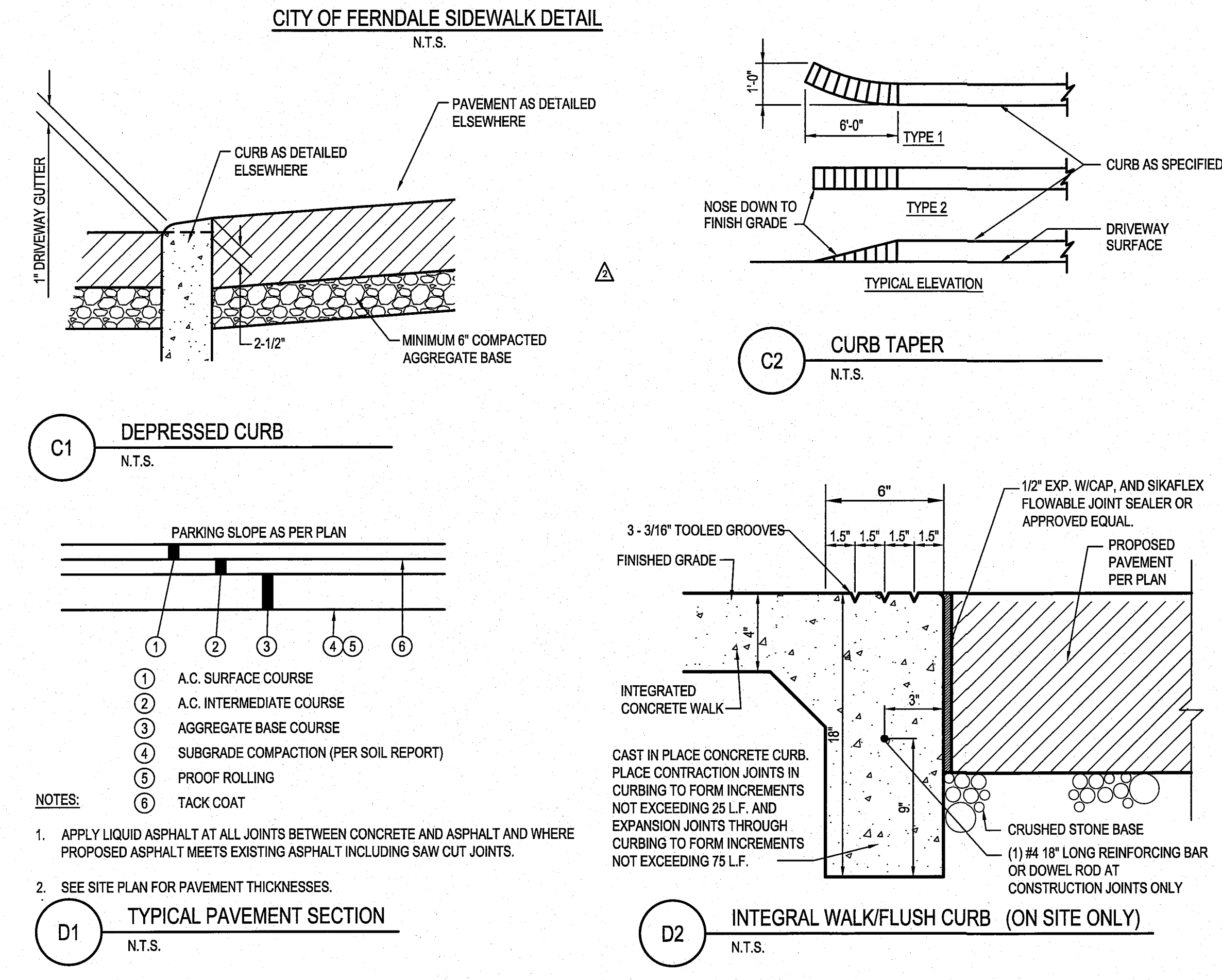
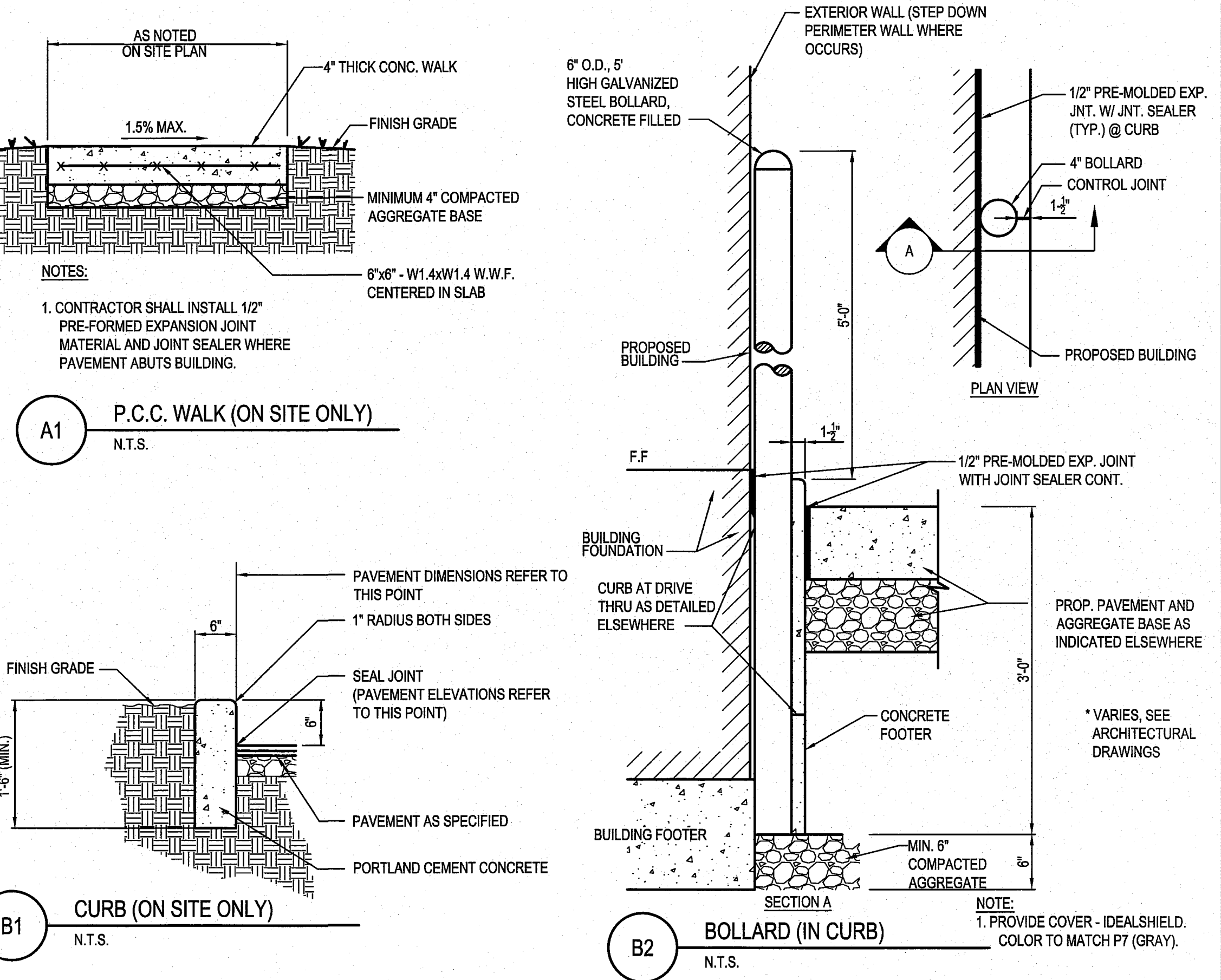
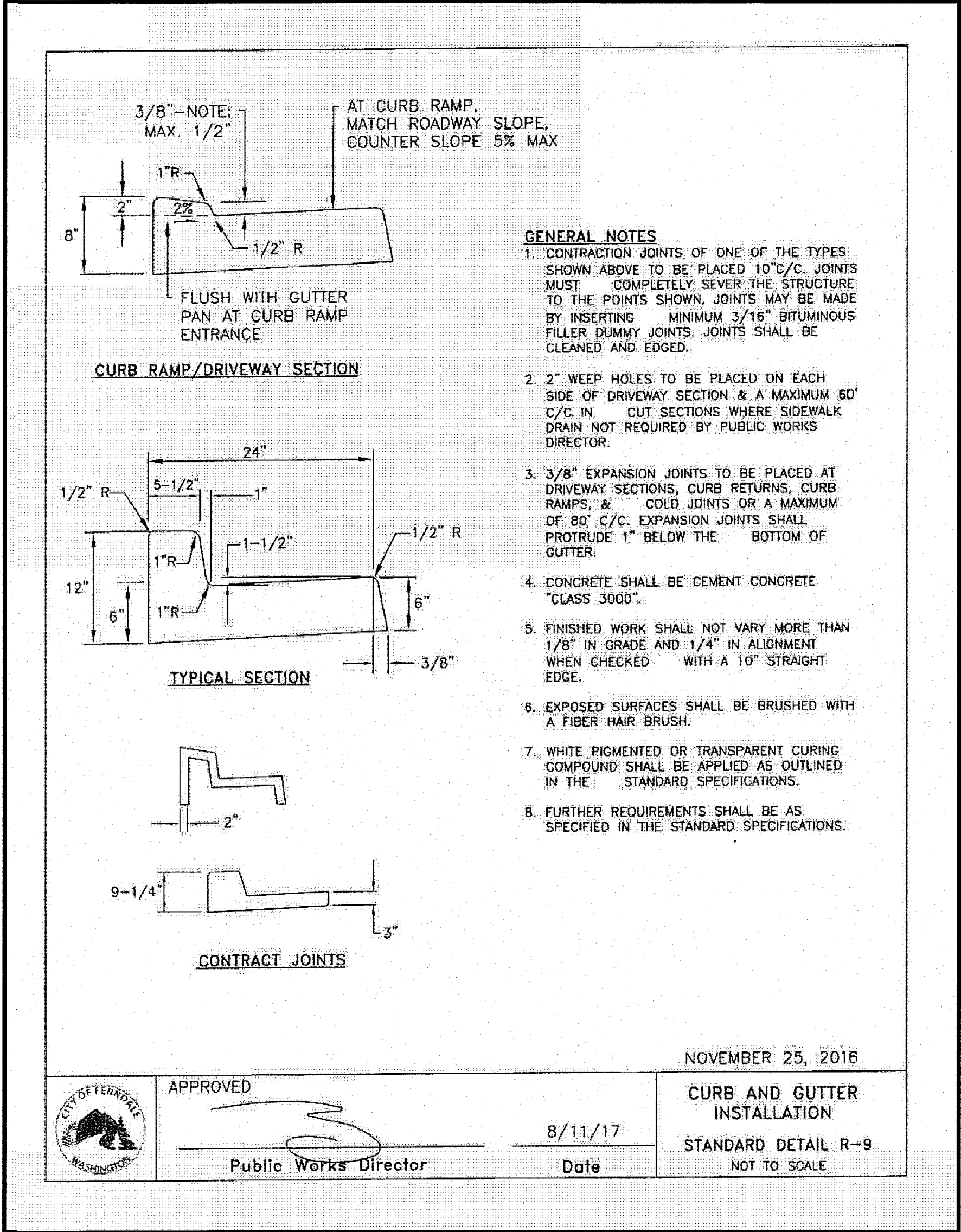
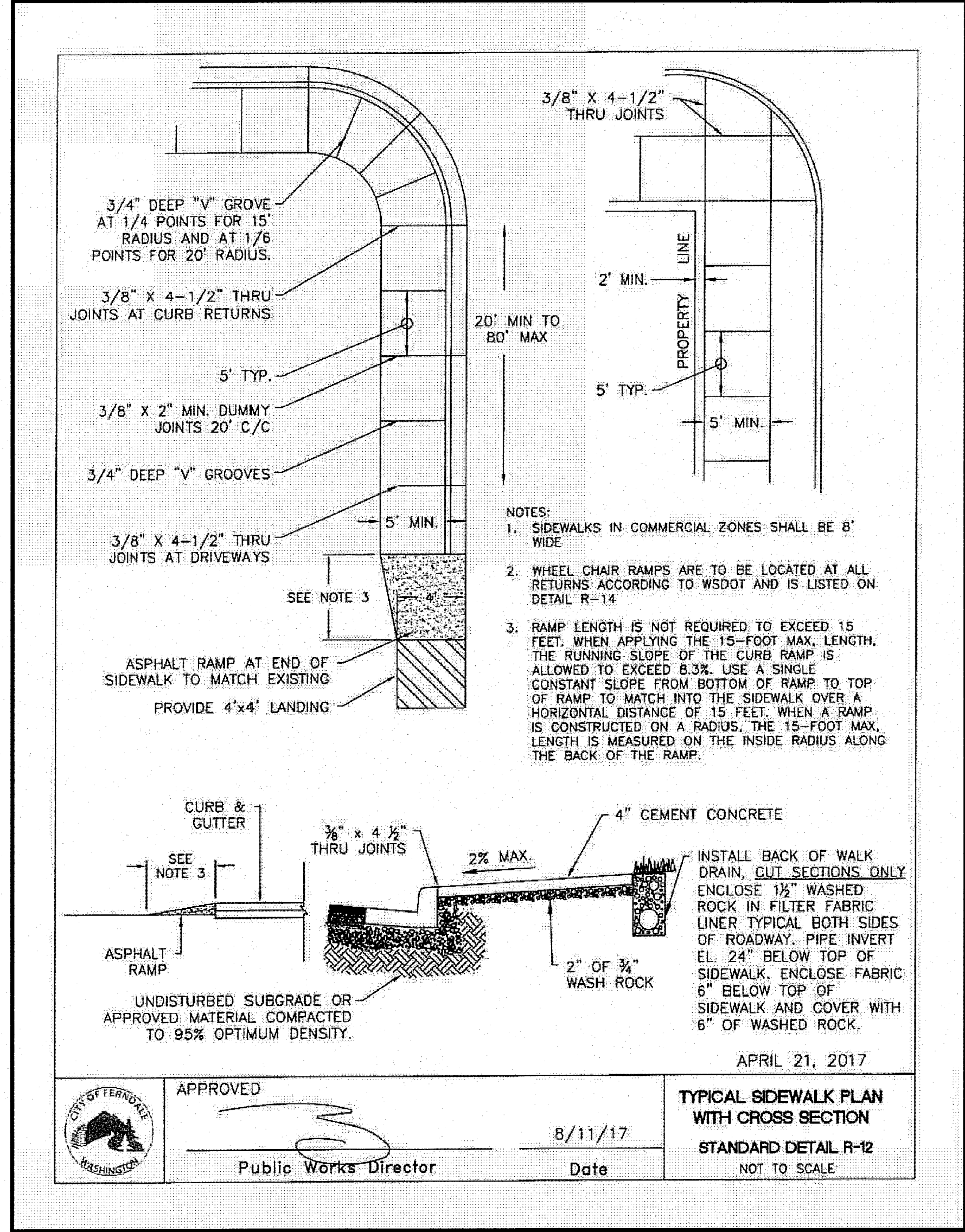


LARGE66

C-144

StormTech.

 $\triangle 2$ Δ



GPD GROUP
Professional Corporation

520 South Main Street, Suite 2531
Aken, OH 44311
330.572.2100 Fax: 330.572.2102

AS-BUILT DRAWING

AS-BUILT NOTE:
ONLY INFORMATION NOTED
AS-BUILT "AB" HAS BEEN
PROVIDED BY THE SURVEYOR.

LEONARDO A. SFERKA
STATE OF WASHINGTON
PROFESSIONAL ENGINEER
55771
02/15/2019
EXPIRES 04/16/2020

APPROVED

FEB 15 2019

BY *Harold M. W.*
CITY OF FERNDALE
PUBLIC WORKS DEPARTMENT

CONTRACT DATE: 02.26.18
BUILDING TYPE: EXPLORER LITE LG
PLAN VERSION: DECEMBER 2016
BRAND DESIGNER: WANCHO
SITE NUMBER:
STORE NUMBER: 2017088.41

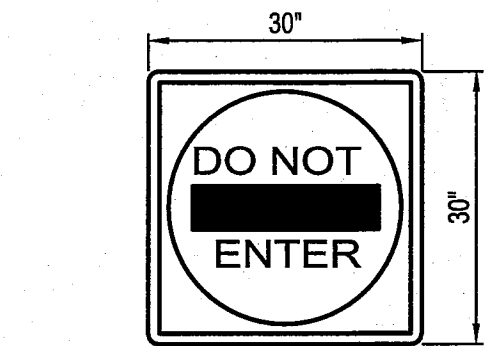
TACO BELL

5720 BARRETT RD
FERNDALE, WA 98248

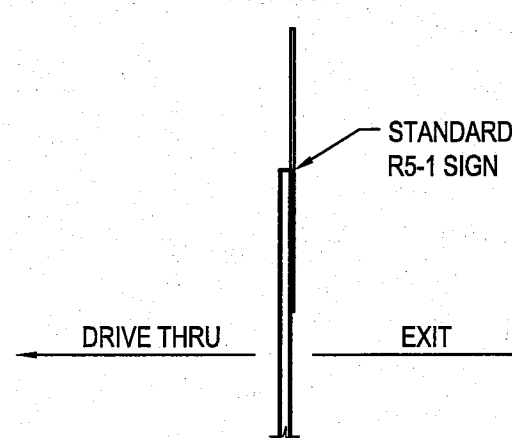
EXPLOER LITE
LARGE66

DETAILS

C-501



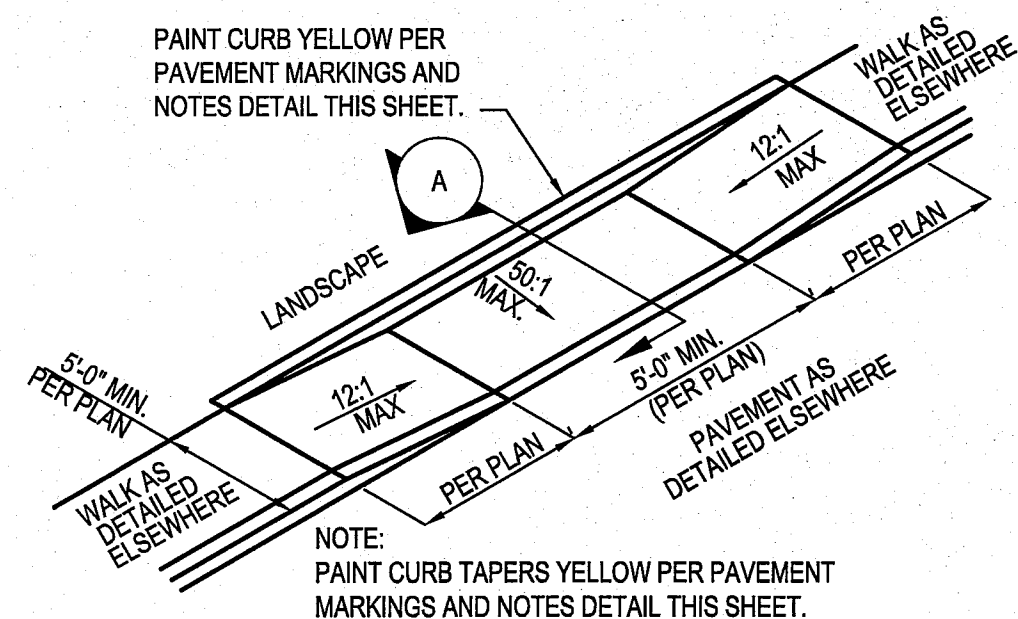
STANDARD
R5-1 SIGN



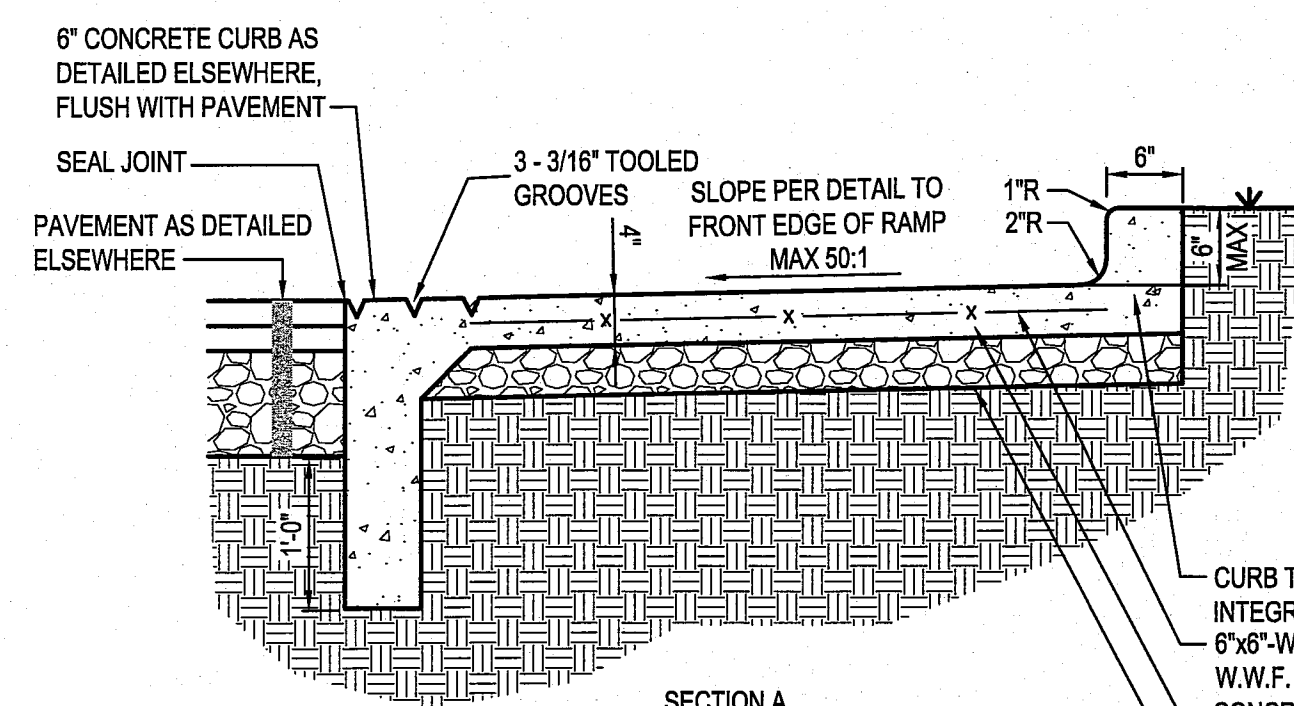
NOTE

ALL SIGNS NOTED SHALL
CONFORM TO THE LATEST MDOT
SPECIFICATIONS.

A1 DO NOT ENTER SIGN
N.T.S.

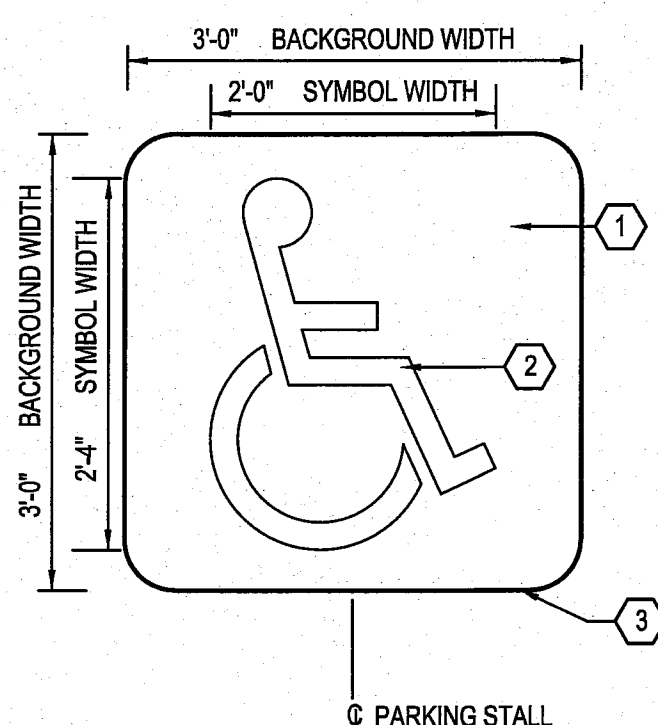


B1 PARALLEL RAMP TYPE 1
N.T.S.

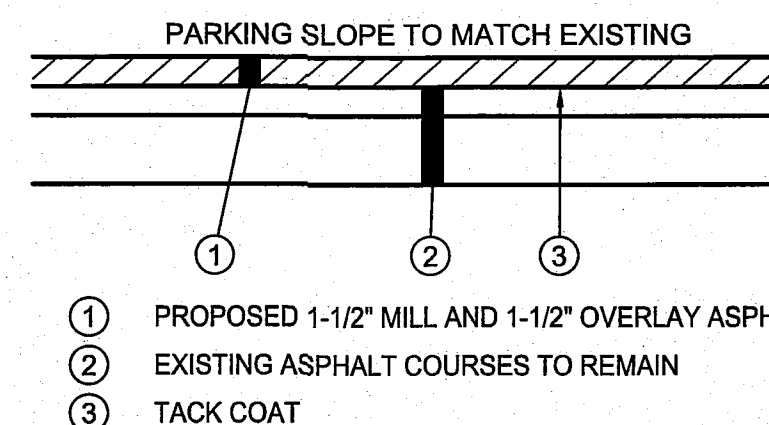


C1 ADA ACCESSIBLE RAMP
N.T.S.

- KEYED NOTES
1. PAINT BACKGROUND BENJAMIN MOORE M58 SAFETY & ZONE MARKING LATEX M58-30 - BLUE
 2. PAINT SYMBOL BENJAMIN MOORE M58 SAFETY & ZONE MARKING LATEX M58-01 - WHITE 4" WIDTH
 3. BOTTOM EDGE OF SYMBOL BOX SHALL MATCH END OF STALL STRIPE AT DRIVE AISLE END OF STALL.



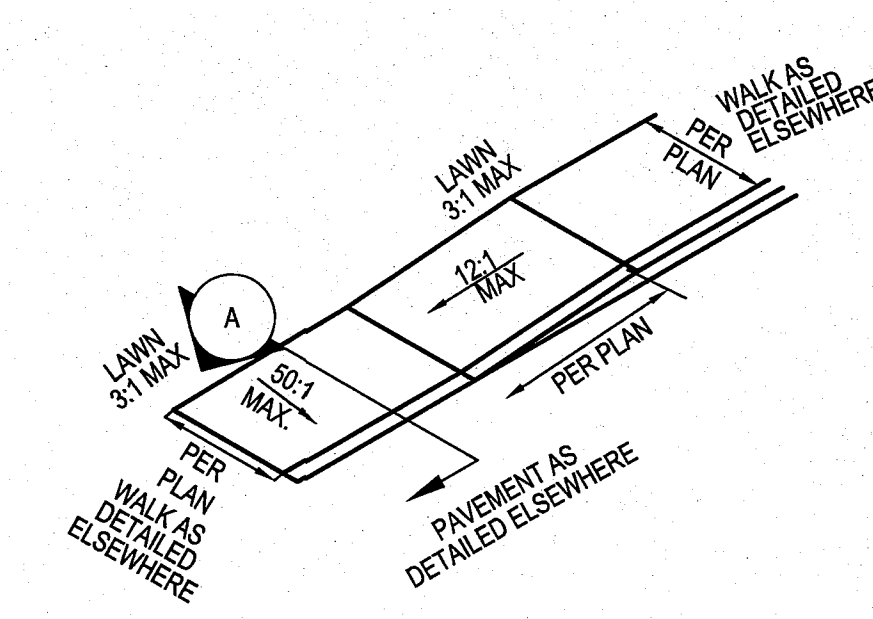
D1 ADA PAVEMENT SYMBOL
N.T.S.



NOTES:

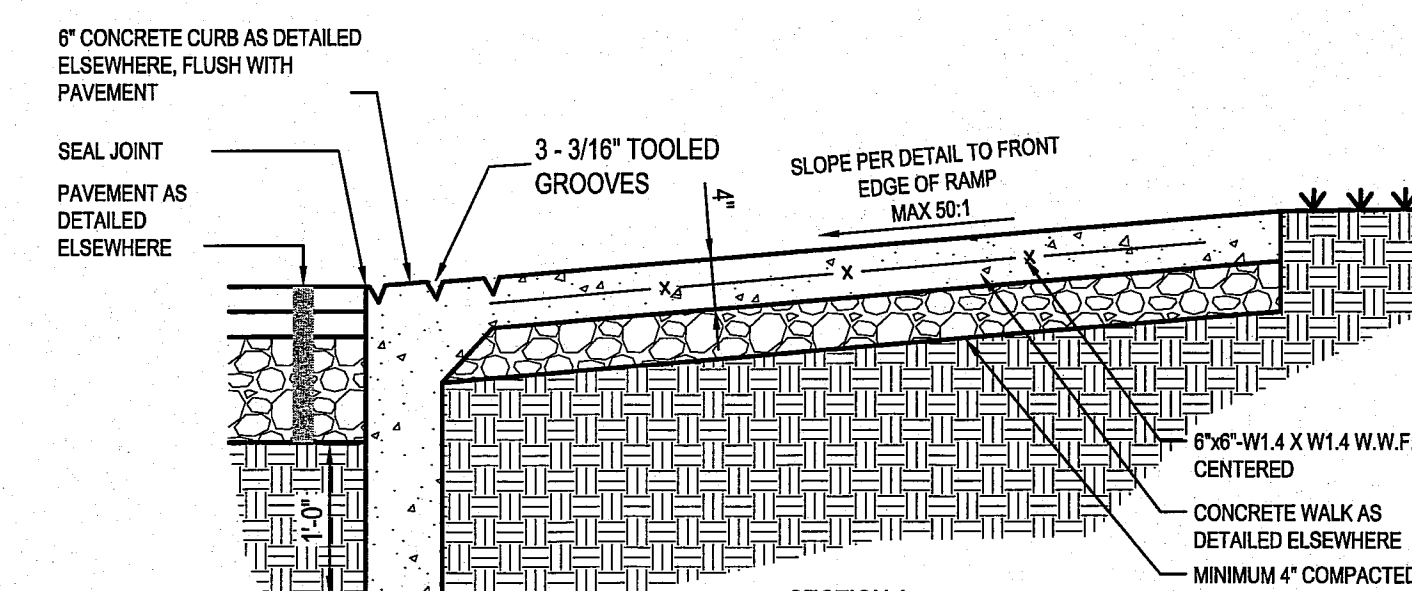
1. APPLY LIQUID ASPHALT AT ALL JOINTS BETWEEN CONCRETE AND ASPHALT AND WHERE PROPOSED ASPHALT MEETS EXISTING ASPHALT INCLUDING SAW CUT AND MILLED JOINTS.
2. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE TOWARDS COLLECTION POINTS.
3. PROPOSED PAVEMENTS SHALL MATCH EXISTING IN KIND.
4. CONTRACTOR SHALL UTILIZE BUTT JOINTS WHERE PROPOSED ASPHALT MEET EXISTING AS DETAILED ELSEWHERE.

A2 TYPICAL MILL AND OVERLAY PAVEMENT SECTION
N.T.S.

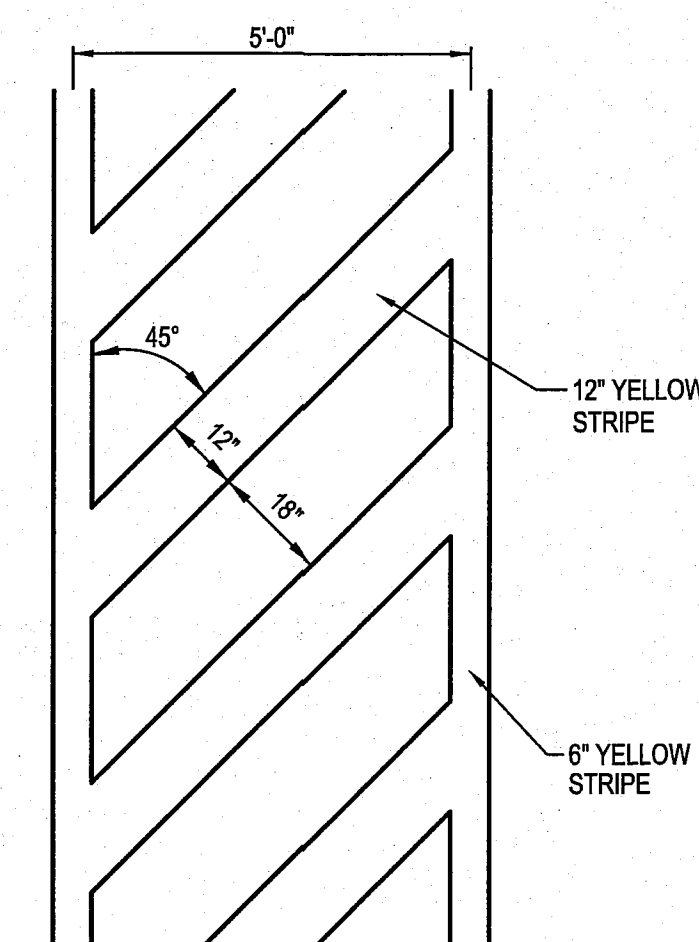


NOTE:
PAINT CURB TAPERS YELLOW PER PAVEMENT
MARKINGS AND NOTES DETAIL THIS SHEET.

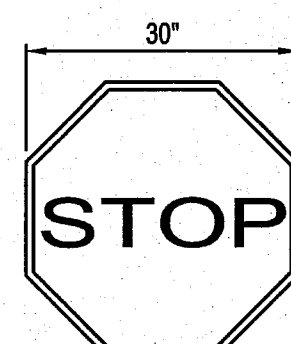
B2 PARALLEL RAMP TYPE 2
N.T.S.



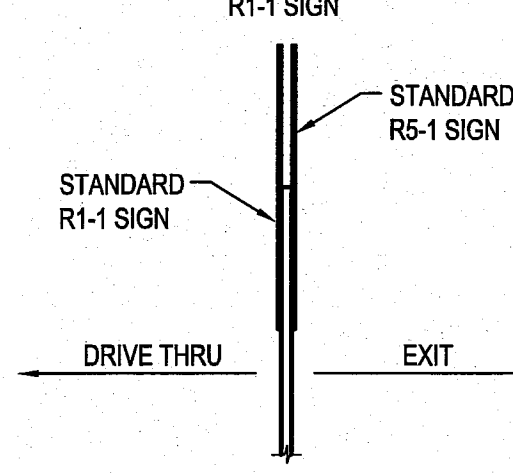
C2 ADA ACCESSIBLE RAMP
N.T.S.



D2 CROSSWALK STRIPING
N.T.S.



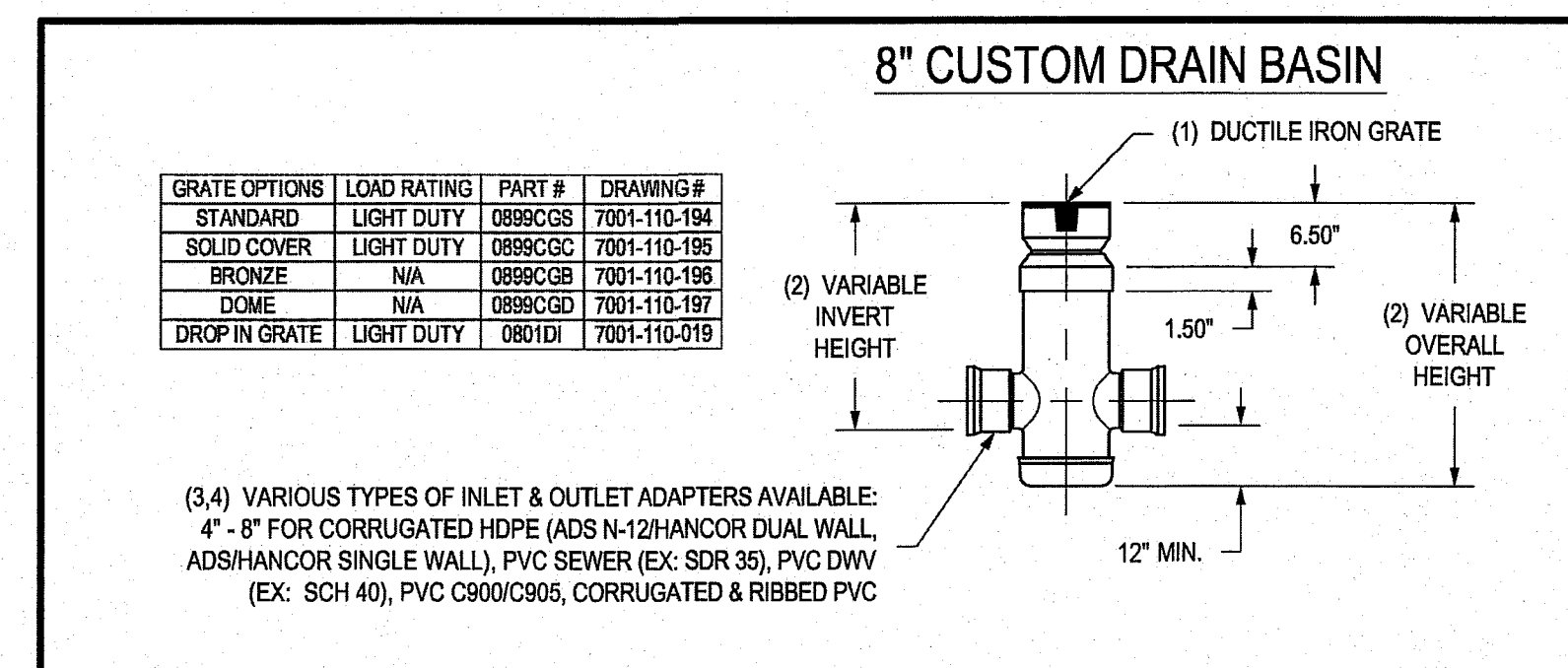
STANDARD
R1-1 SIGN



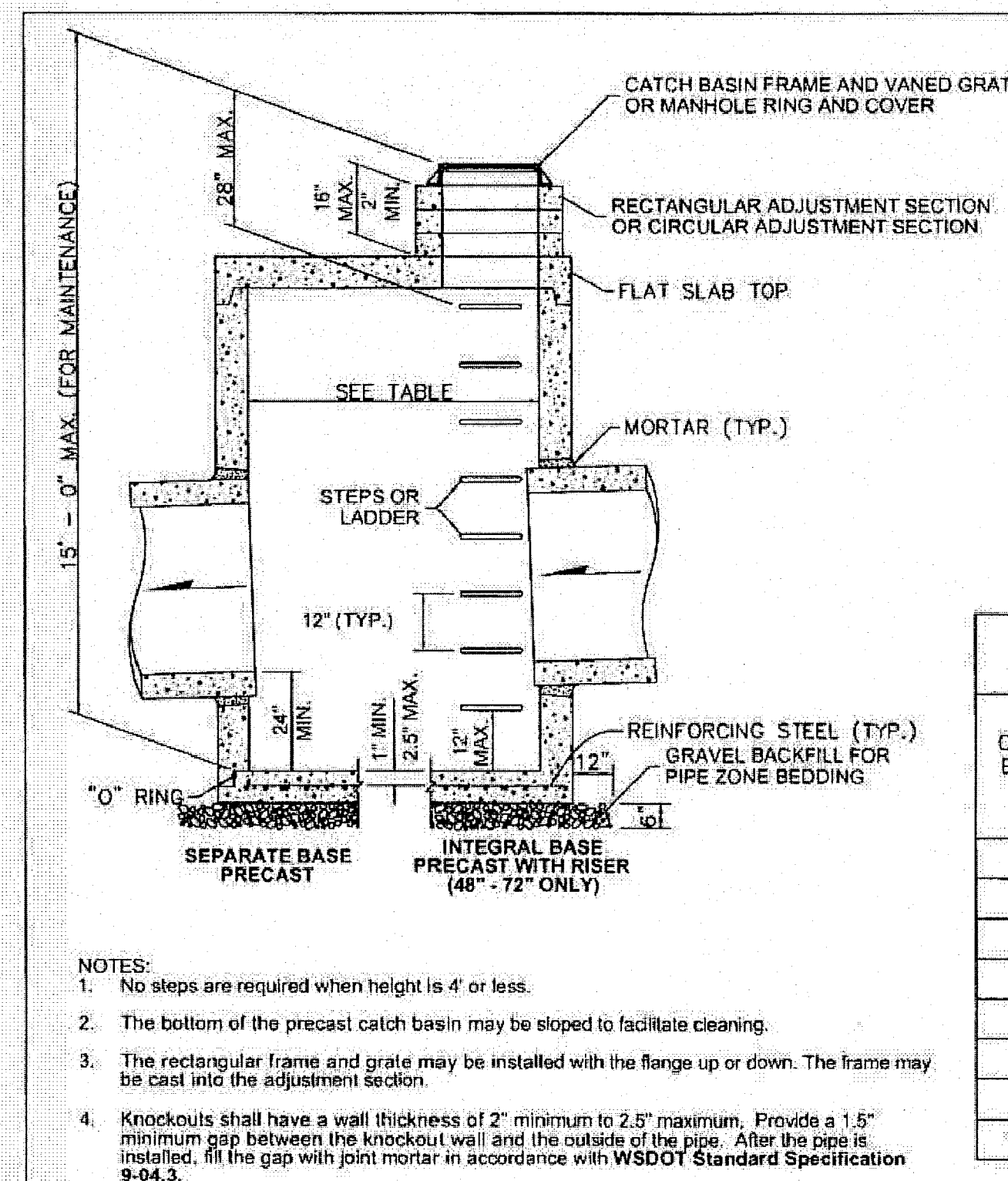
D3 STOP SIGN
N.T.S.

NOTE

ALL SIGNS NOTED SHALL
CONFORM TO THE LATEST 700T
SPECIFICATIONS.

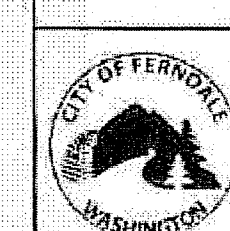


8\"/>



NOTES:

1. No steps are required when height is 4' or less.
2. The bottom of the precast catch basin may be sloped to facilitate cleaning.
3. The rectangular frame and grate may be installed with the flange up or down. The frame may be cast into the adjustment section.
4. Knockouts shall have a wall thickness of 2" minimum to 2.5" maximum. Provide a 1.5" minimum gap between the knockout wall and the outside of the pipe. After the pipe is installed, fill the gap with joint mortar in accordance with WSDOT Standard Specification 9-04.3.



APPROVED

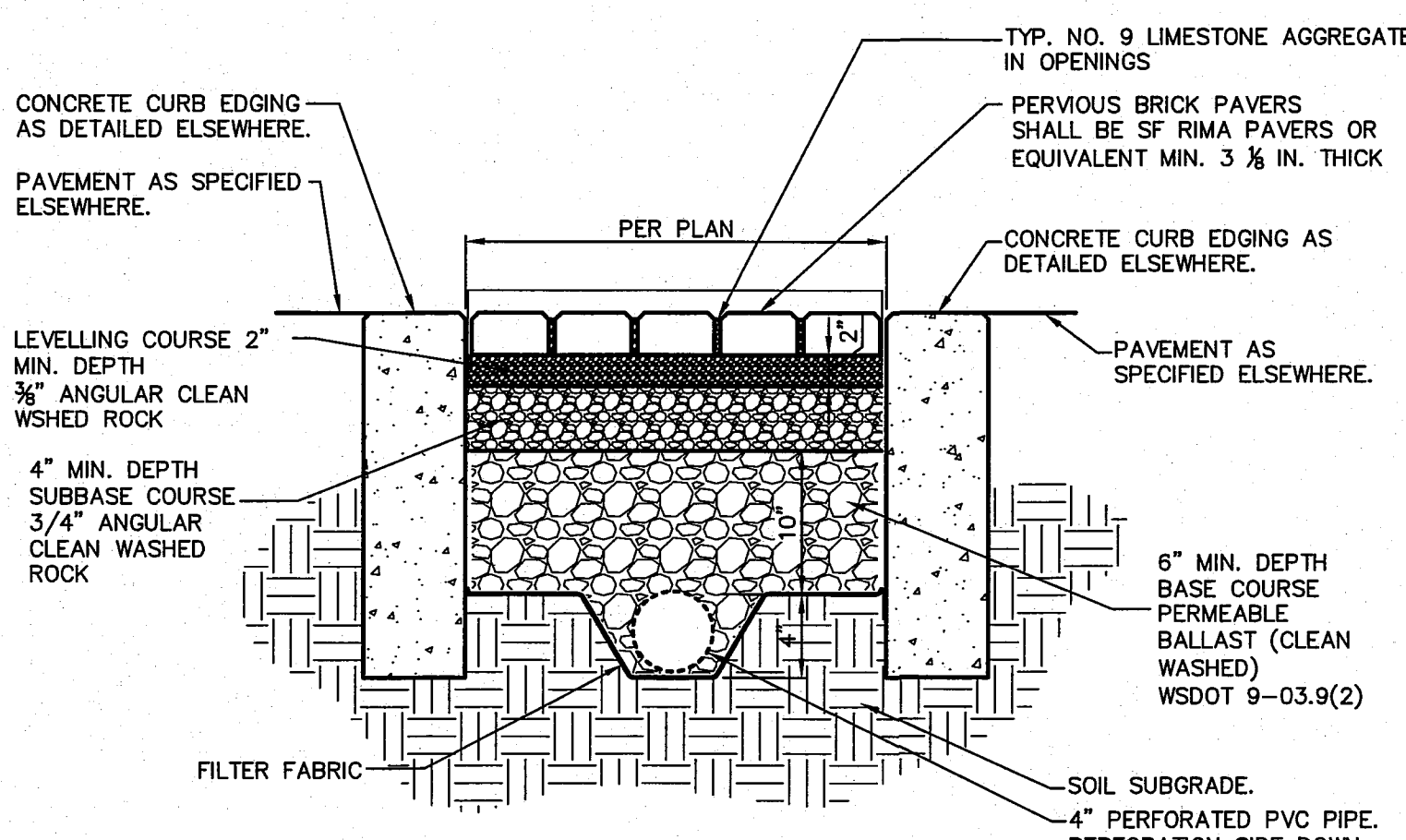
Public Works Director

8/11/17
Date

NOVEMBER 23, 2016

CATCH BASIN
TYPE 2
STANDARD DETAIL ST-3
NOT TO SCALE

CATCH BASIN TYPE 2
N.T.S.



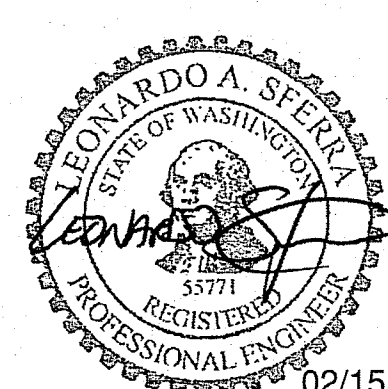
D4 BRICK PAVERS PERVIOUS PAVEMENT
N.T.S.

NOTES:

1. PERMEABLE PAVERS SHALL CONFORM TO ALL REQUIREMENTS BELOW:
A. 3-1/8" THICK PAVERS FOR VEHICULAR APPLICATIONS
B. 2-3/8" THICK PAVERS FOR PEDESTRIAN AREAS
C. SURFACE AREA AND ASPECT RATIO REQUIREMENTS OF ASTM C936
2. AGGREGATE FOR BASE COURSE SHALL BE CLEAN, ANGULAR ROCK 1-1/4", CONFORMING TO PERMEABLE BALLAST WSDOT 9-03.9(2).
3. PERMEABLE PAVERS TO BE INSTALLED AFTER CONSTRUCTION OF HOUSE. AFTER INSTALLATION, PROTECT PERMEABLE PAVEMENT FROM LANDSCAPE AND OTHER CONSTRUCTION ACTIVITIES.
4. SUBGRADE IS TO BE COMPACTED TO THE MINIMUM NECESSARY FOR STRUCTURAL STABILITY, USING DUAL WHEEL SMALL MECHANICAL ROLLERS IN STATIC MODE. HEAVY EQUIPMENT OR TRUCK TRAFFIC IS NOT ALLOWED ON SUBGRADE.
5. TO PREVENT COMPACTION, INSTALL THE AGGREGATE BASE IN THE FOLLOWING MANNER (BACK-DUMPING):
-DUMP AGGREGATE BASE ONTO SUBGRADE FROM THE EDGE OF THE INSTALLATION, THEN PUSH IT OUT ONTO THE SUBGRADE.
-DUMP SUBSEQUENT LOADS FROM ON TOP OF THE AGGREGATE BASE AS THE INSTALLATION PROGRESSES.

AS-BUILT DRAWING

AS-BUILT NOTE:
ONLY INFORMATION NOTED
AS-BUILT "AB" HAS BEEN
PROVIDED BY THE SURVEYOR.



EXPIRES 04/16/2020

APPROVED

FEB 15 2019

BY *Handwritten Signature*
CITY OF FERNDALE
PUBLIC WORKS DEPARTMENT

CONTRACT DATE: 02.26.18
BUILDING TYPE: EXPLORER LITE LG
PLAN VERSION: DECEMBER 2016
BRAND DESIGNER: WANCHO
SITE NUMBER:
STORE NUMBER: 2017088.41

TACO BELL

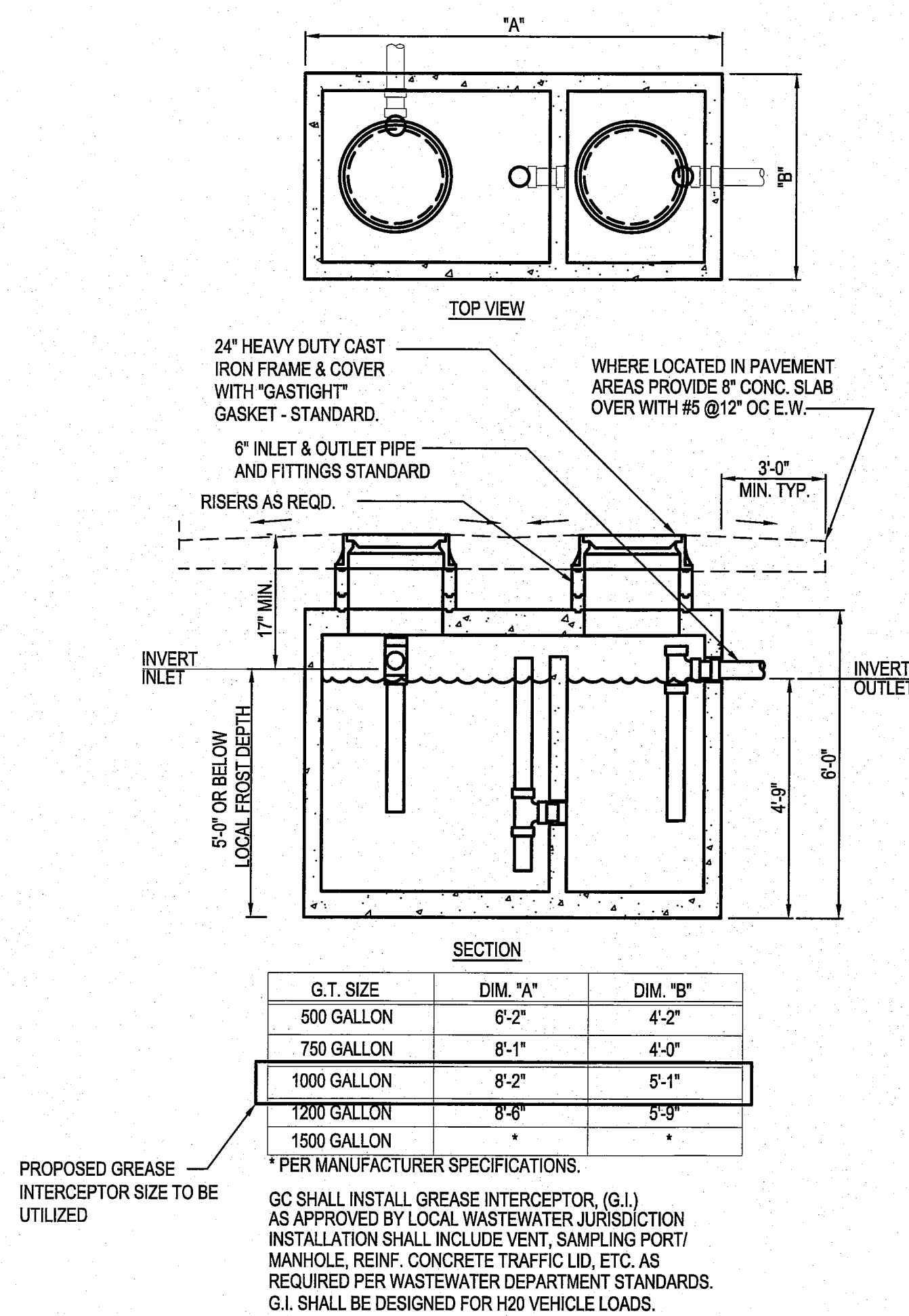
5720 BARRETT RD
FERNDALE, WA 98248



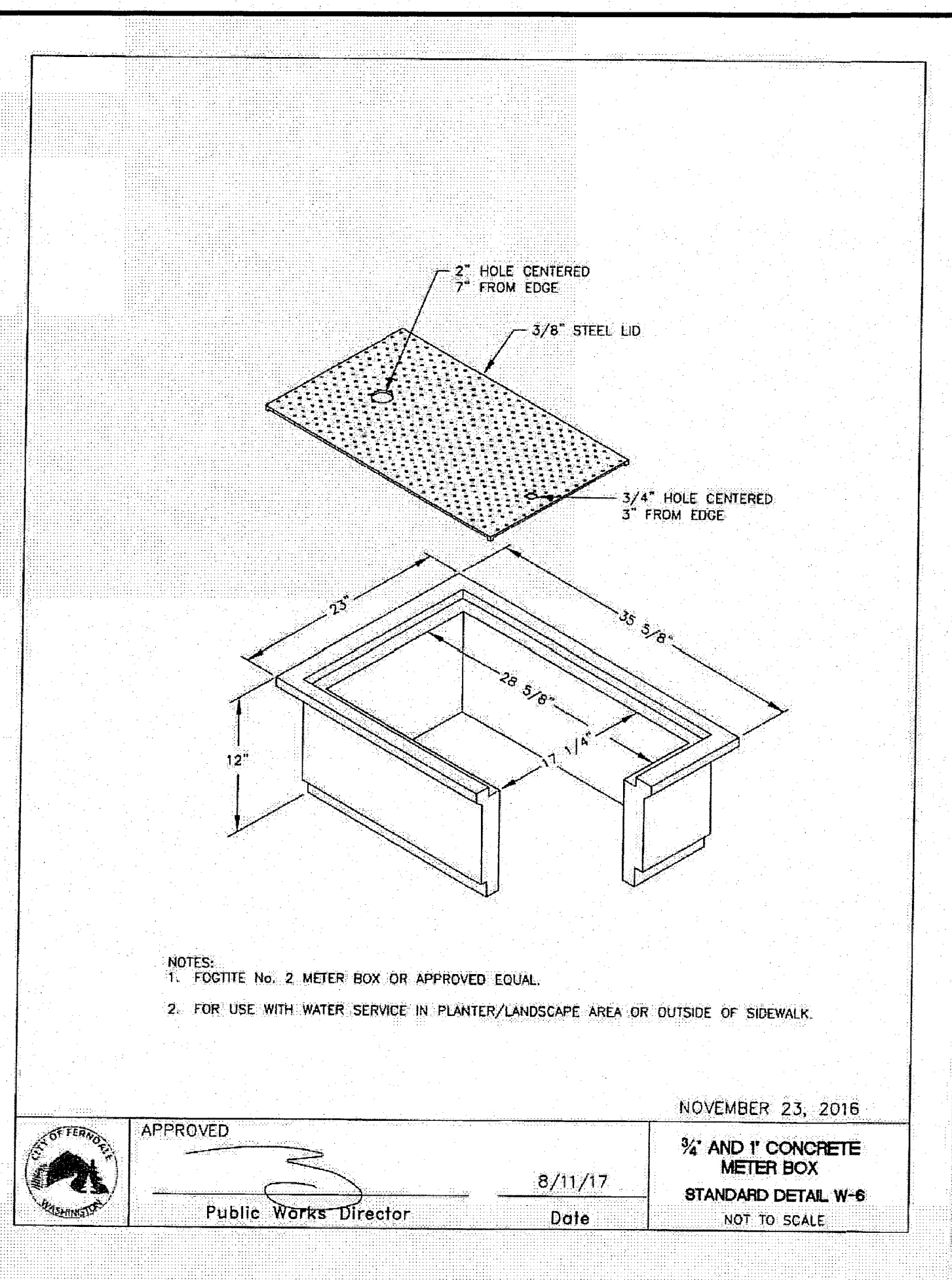
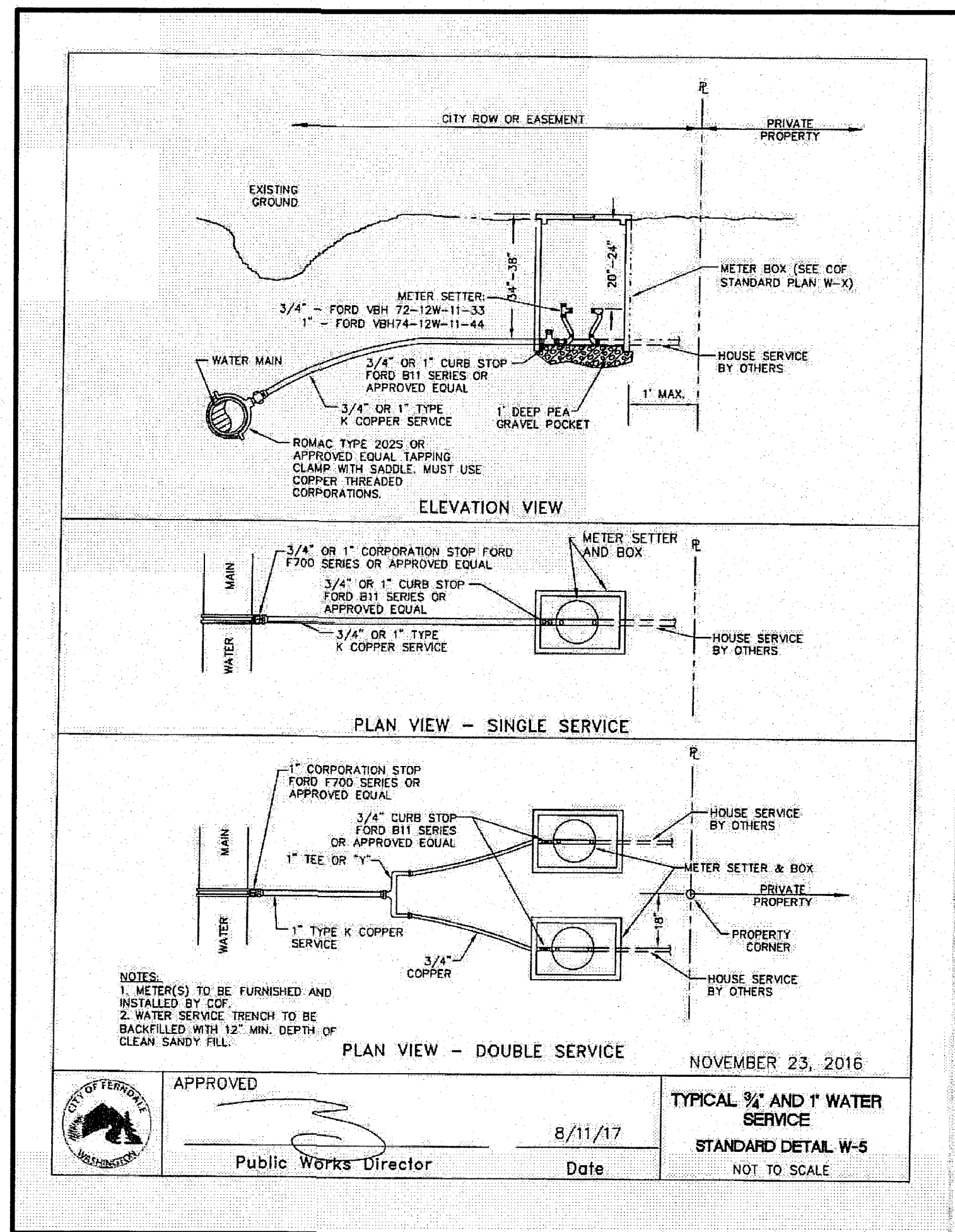
EXPLORER LITE
LARGE66

DETAILS

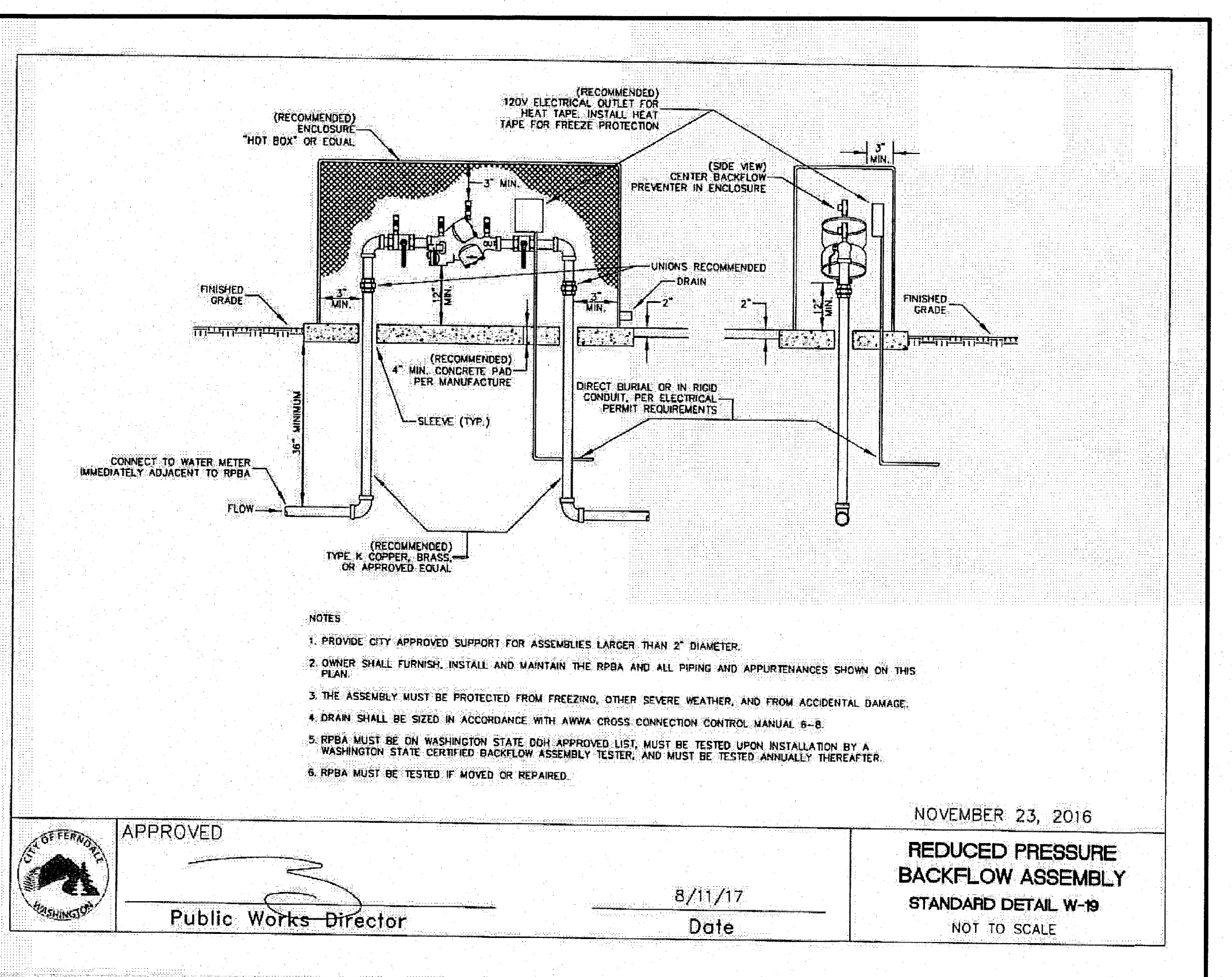
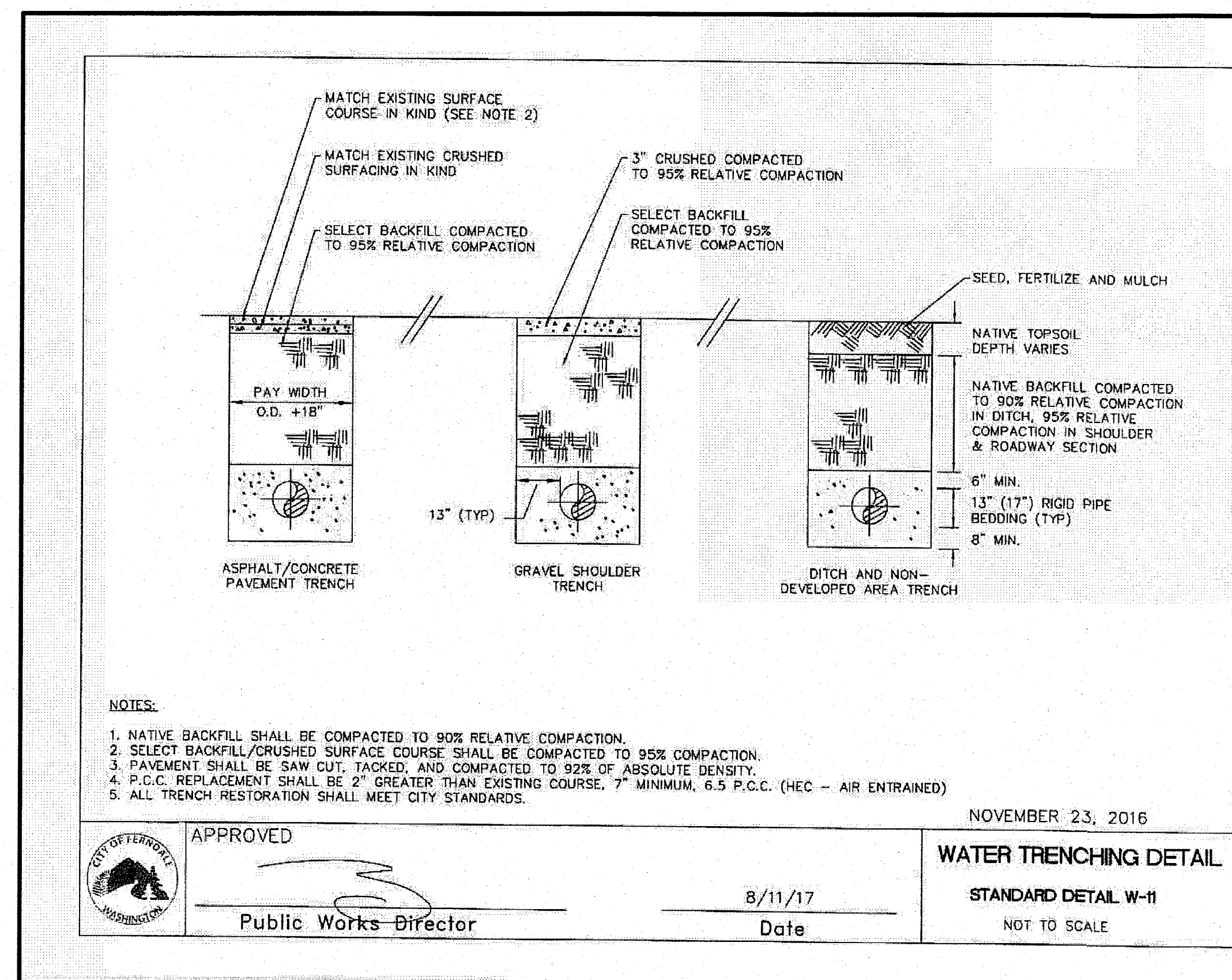
C-502



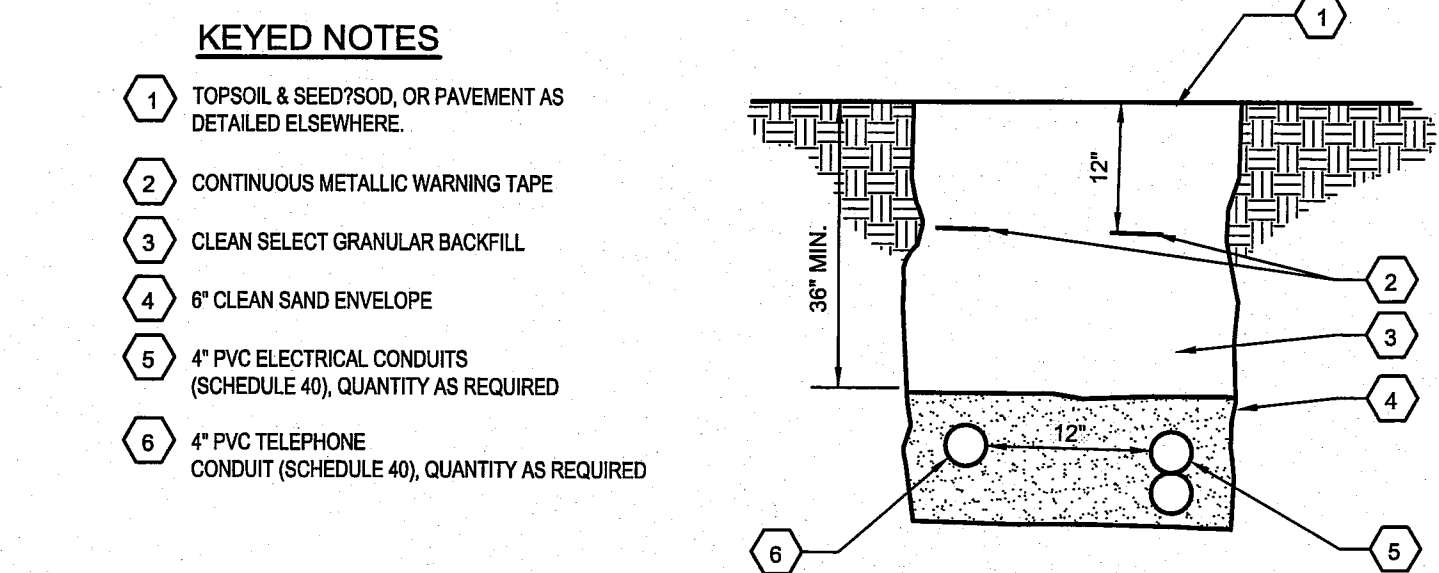
A1 EXTERIOR GREASE INTERCEPTOR
N.T.S.



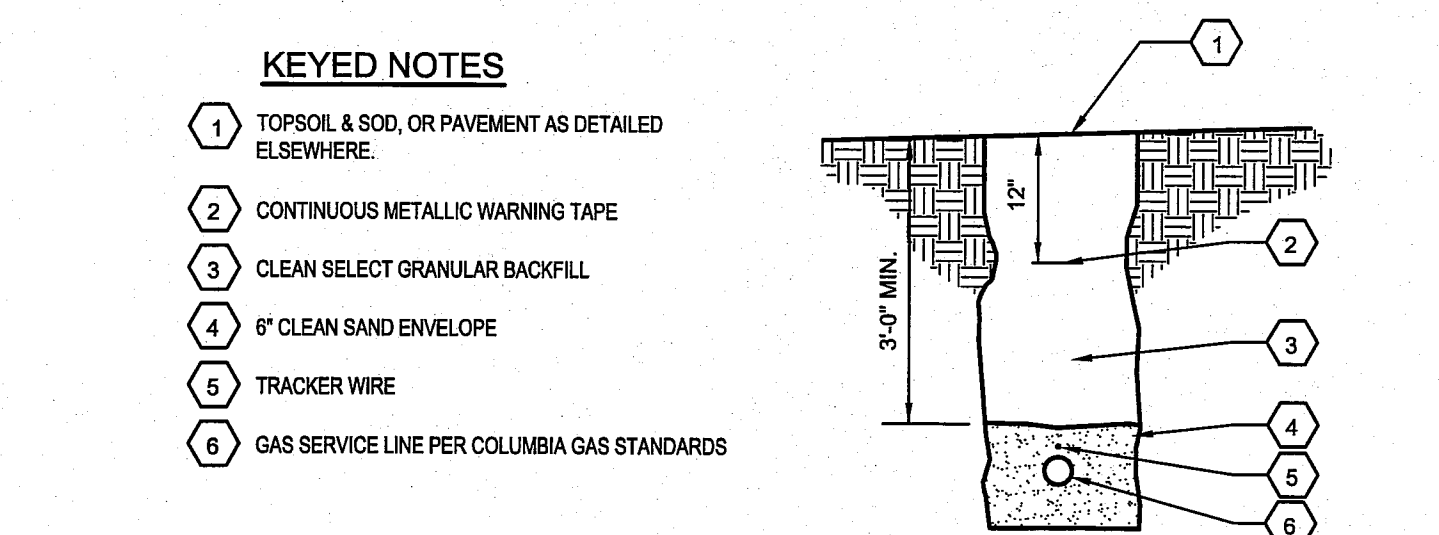
A2 FINGER DRAIN DETAIL
N.T.S.



B1 ELECTRICAL & COMMUNICATIONS SERVICE TRENCH
N.T.S.



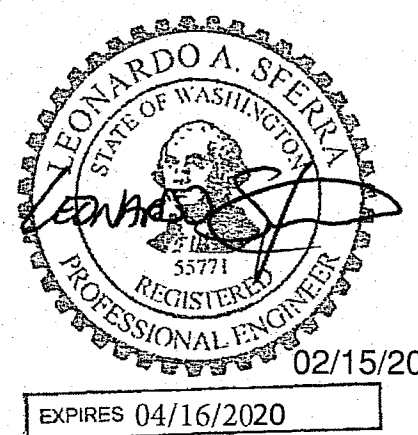
B1 ELECTRICAL & COMMUNICATIONS SERVICE TRENCH
N.T.S.



B1 ELECTRICAL & COMMUNICATIONS SERVICE TRENCH
N.T.S.

AS-BUILT DRAWING

AS-BUILT NOTE:
ONLY INFORMATION NOTED
AS-BUILT "AB" HAS BEEN
PROVIDED BY THE SURVEYOR.



APPROVED
FEB 15 2019
BY *Raymond*
CITY OF FERDALE
PUBLIC WORKS DEPARTMENT

CONTRACT DATE: 02.26.18
BUILDING TYPE: EXPLORER LITE LG
PLAN VERSION: DECEMBER 2016
BRAND DESIGNER: WANCHO
SITE NUMBER:
STORE NUMBER: 2017088.41

TACO BELL
5720 BARRETT RD
FERDALE, WA 98248

TACO BELL
EXPLORER LITE
LARGE66

DETAILS

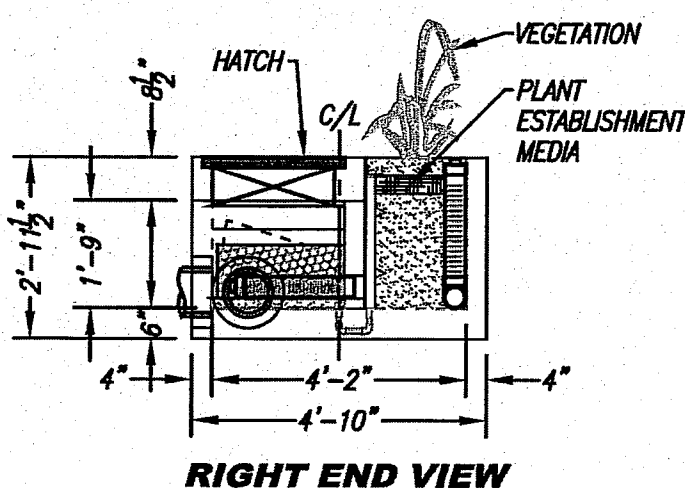
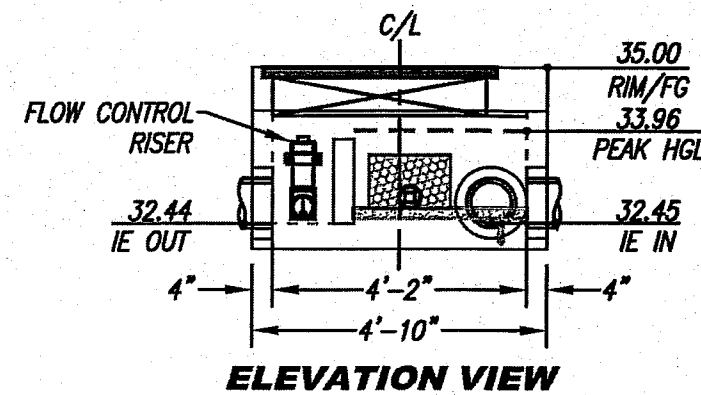
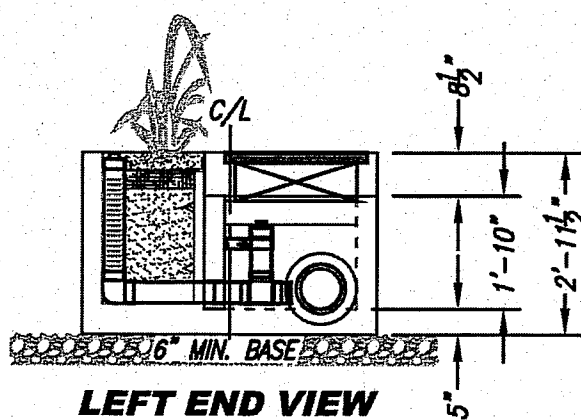
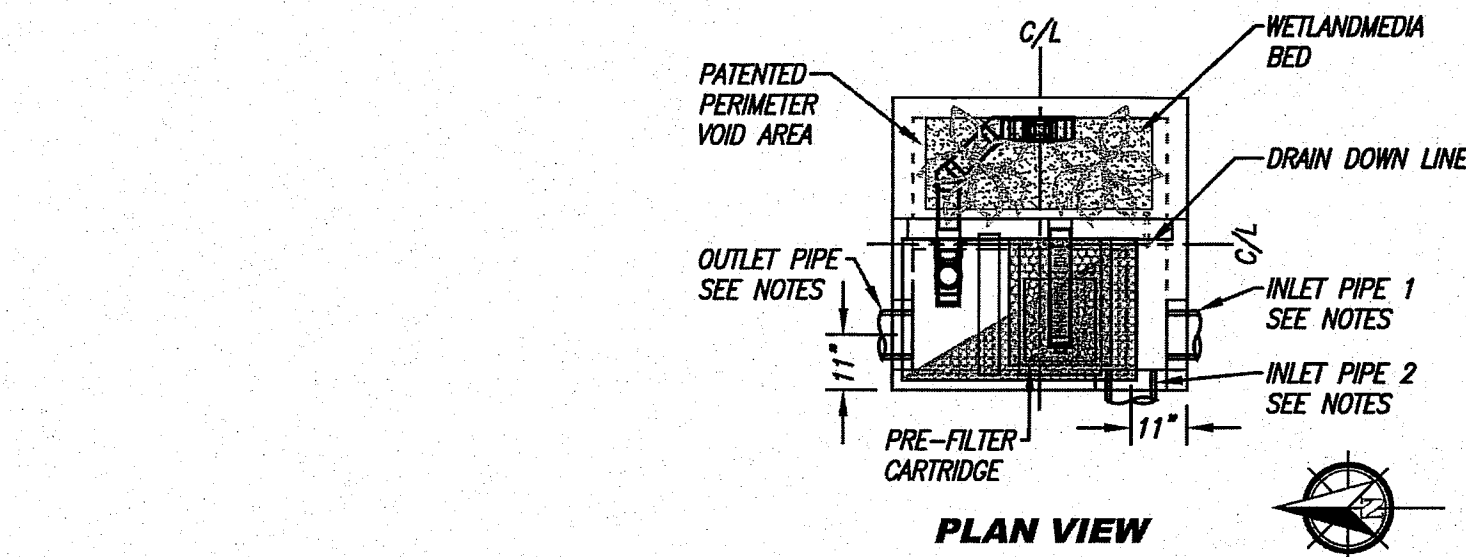
SITE SPECIFIC DATA			
PROJECT NUMBER	6947		
PROJECT NAME	TACO BELL		
PROJECT LOCATION	FERNDALE, WA		
STRUCTURE ID	----		
TREATMENT REQUIRED			
VOLUME BASED (CF)		2-YEAR RELEASE RATE (CFS)	
		0.007314	
TREATMENT HGL AVAILABLE (FT)		N/A	
PEAK BYPASS REQUIRED (CFS) - IF APPLICABLE		0.339	
PIPE DATA	I.E.	MATERIAL	DIAMETER
INLET PIPE 1	32.45	N/K	8"
INLET PIPE 2	32.45	N/K	8"
OUTLET PIPE	32.44	N/K	8"
	PRETREATMENT	BIOFILTRATION	DISCHARGE
RIM ELEVATION	35.00	35.00	35.00
SURFACE LOAD	PEDESTRIAN	OPEN PLANTER	PEDESTRIAN
FRAME & COVER	24" X 42"	N/A	N/A
WETLANDMEDIA VOLUME (CY)	0.60		
WETLANDMEDIA DELIVERY METHOD	PER CONTRACT		
ORIFICE SIZE (DIA. INCHES)	#0.49"		
NOTES: PRELIMINARY, NOT FOR CONSTRUCTION.			

INSTALLATION NOTES

- CONTRACTOR TO PROVIDE ALL LABOR, EQUIPMENT, MATERIALS AND INCIDENTALS REQUIRED TO OFFLOAD AND INSTALL THE SYSTEM AND APPURTENANCES IN ACCORDANCE WITH THIS DRAWING AND THE MANUFACTURERS SPECIFICATIONS, UNLESS OTHERWISE STATED IN MANUFACTURERS CONTRACT.
- UNIT MUST BE INSTALLED ON LEVEL BASE. MANUFACTURER RECOMMENDS A MINIMUM 6" LEVEL ROCK BASE UNLESS SPECIFIED BY THE PROJECT ENGINEER. CONTRACTOR IS RESPONSIBLE TO VERIFY PROJECT ENGINEERS RECOMMENDED BASE SPECIFICATIONS.
- ALL PIPES MUST BE FLUSH WITH INSIDE SURFACE OF CONCRETE. (PIPES CANNOT INTRUDE BEYOND FLUSH). INVERT OF OUTFLOW PIPE MUST BE FLUSH WITH DISCHARGE CHAMBER FLOOR. ALL GAPS AROUND PIPES SHALL BE SEALED WATER TIGHT WITH A NON-SHRINK GROUT PER MANUFACTURERS STANDARD CONNECTION DETAIL AND SHALL MEET OR EXCEED REGIONAL PIPE CONNECTION STANDARDS.
- CONTRACTOR TO SUPPLY AND INSTALL ALL EXTERNAL CONNECTING PIPES.
- CONTRACTOR RESPONSIBLE FOR INSTALLATION OF ALL RISERS, MANHOLES, AND HATCHES. CONTRACTOR TO GROUT ALL MANHOLES AND HATCHES TO MATCH FINISHED SURFACE UNLESS SPECIFIED OTHERWISE.
- DRIP OR SPRAY IRRIGATION REQUIRED ON ALL UNITS WITH VEGETATION.
- CONTRACTOR RESPONSIBLE FOR CONTRACTING MODULAR WETLANDS FOR ACTIVATION OF UNIT. MANUFACTURES WARRANTY IS VOID WITH OUT PROPER ACTIVATION BY A MODULAR WETLANDS REPRESENTATIVE.

GENERAL NOTES

- MANUFACTURER TO PROVIDE ALL MATERIALS UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS, ELEVATIONS, SPECIFICATIONS AND CAPACITIES ARE SUBJECT TO CHANGE. FOR PROJECT SPECIFIC DRAWINGS DETAILING EXACT DIMENSIONS, WEIGHTS AND ACCESSORIES PLEASE CONTACT MANUFACTURER.



INTERNAL BYPASS DISCLOSURE:

THE DESIGN AND CAPACITY OF THE PEAK CONVEYANCE METHOD TO BE REVIEWED AND APPROVED BY THE ENGINEER OF RECORD. HGL(S) AT PEAK FLOW SHALL BE ASSESSED TO ENSURE NO UPSTREAM FLOODING. PEAK HGL AND BYPASS CAPACITY SHOWN ON DRAWING ARE USED FOR GUIDANCE ONLY.

LOW INFLOW PIPE DISCLOSURE:

IT IS RECOMMENDED THAT A SUFFICIENT VARIATION IN ELEVATION BETWEEN THE INLET AND OUTLET BE PROVIDED TO ALLOW FOR ACCUMULATION OF SEDIMENT IN THE PRE-TREATMENT CHAMBER. FAILURE TO DO SO MAY RESULT IN BLOCKAGE AT INFLOW POINT(S) WHICH MAY CAUSE UPSTREAM FLOODING.

THE PRODUCT DESCRIBED MAY BE PROTECTED BY ONE OR MORE OF THE FOLLOWING US PATENTS: 7,455,262; 7,475,352; 7,474,378; 6,303,616; RELATED FOREIGN PATENTS OR OTHER PATENTS PENDING

PROPRIETARY AND CONFIDENTIAL: THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF MODULAR WETLANDS SYSTEMS. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF MODULAR WETLANDS SYSTEMS IS PROHIBITED.

Bio Clean
A Forterra Company

2-YEAR RELEASE RATE (CFS)	0.007314
OPERATING HEAD (FT)	1.3
PRETREATMENT LOADING RATE (GPM/SF)	0.4
WETLAND MEDIA LOADING RATE (GPM/SF)	0.4

MWS-L-4-4-V
STORMWATER BIOFILTRATION SYSTEM
STANDARD DETAIL

Bio Clean
A Forterra Company

Date: 06/22/18

Subject: 6947 - Taco Bell, Ferndale, Wa

To Whom It May Concern,

The MWS Linear will be sized in accordance with the TAPE GULD approval for the Modular Wetland System. The system is sized at a loading rate of (less than or equal to) 1.0 gpm/ sq ft, where the pre-filter cartridges are sized at a loading rate of less than 2.1 gpm/ sq ft. Design, sizing, and loading have been reviewed and approved by a Modular Wetland Representative and is ready for final approval. Shown below are the calculations for this Project:

MWS-L-4-4-V

- Required Treatment Flow Rate = 0.007314 cfs
- MWS-Linear-4-4 Treatment Capacity Provided = 0.007314 cfs or 3.28 gpm at 1.3' HGL
- Pre-filter Cartridge = 1 half size shallow cartridge
- Surface Area per Cartridge = 7.44 sq ft
- Loading rate (Pre-Filter Cartridge) = 0.4 gpm/sq ft
- MWS Wetland Surface Area = 8.71 sf
- Loading Rate (Wetland Media) = 0.4 gpm/sf

If you have any questions please feel free to contact us at your convenience.

Sincerely,

Anthony J. Spolar

Anthony J. Spolar, E.I.T.

Stormwater Engineer

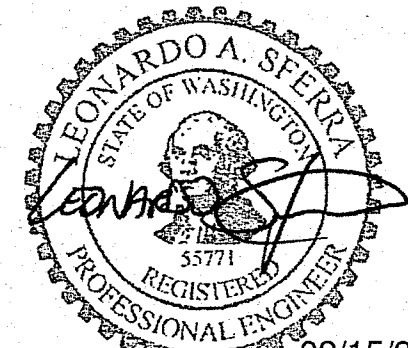
Modular Wetland System, Inc.

398 Via El Centro, Oceanside, CA 92058
(469) 458-7973 • Fax (760) 433-3176
www.biocleanenvironmental.com

GPD GROUP
Professional Corporation
520 South Main Street, Suite 2531
Alegan, OH 44311
330.572.2100 Fax: 330.572.2102

AS-BUILT DRAWING

AS-BUILT NOTE:
ONLY INFORMATION NOTED
AS-BUILT "AB" HAS BEEN
PROVIDED BY THE SURVEYOR.



02/15/2019

EXPIRES 04/16/2020

ADDENDUM # 2 04/28/18

CONTRACT DATE: 02.26.18
BUILDING TYPE: EXPLORER LITE LG
PLAN VERSION: DECEMBER 2016
BRAND DESIGNER: WANCHO
SITE NUMBER:
STORE NUMBER: 2017088.41

TACO BELL

5720 BARRETT RD
FERNDALE, WA 98248



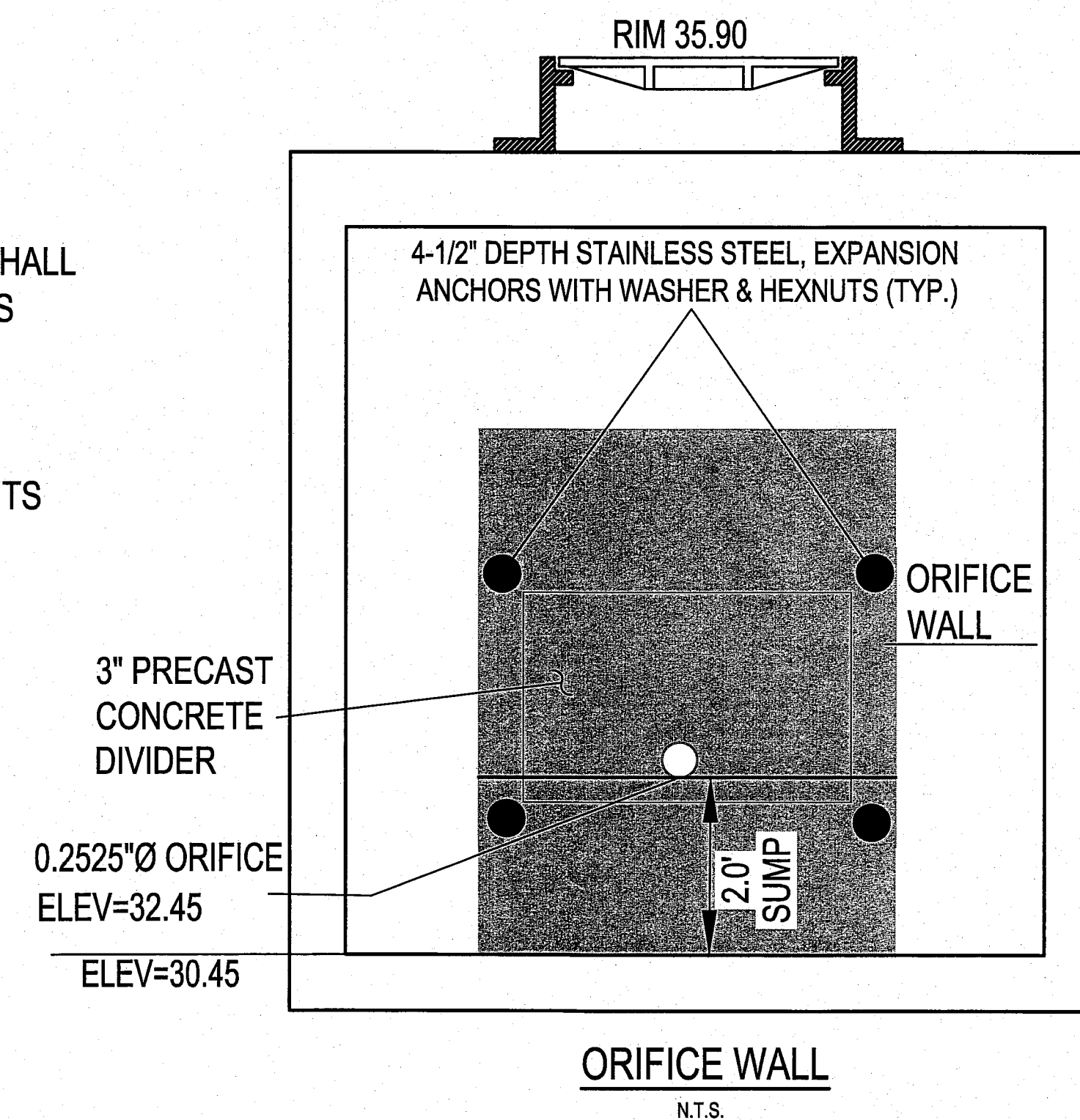
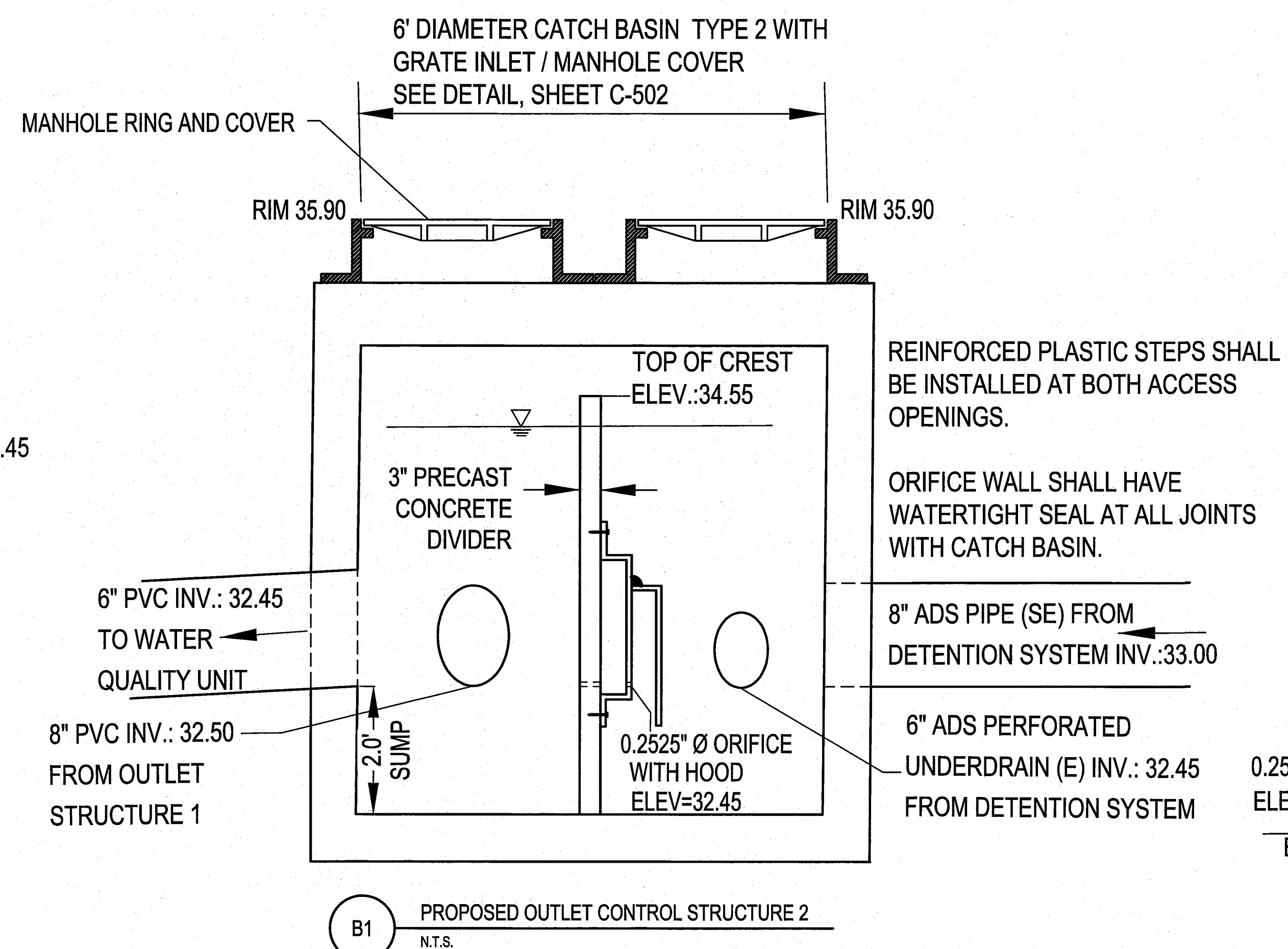
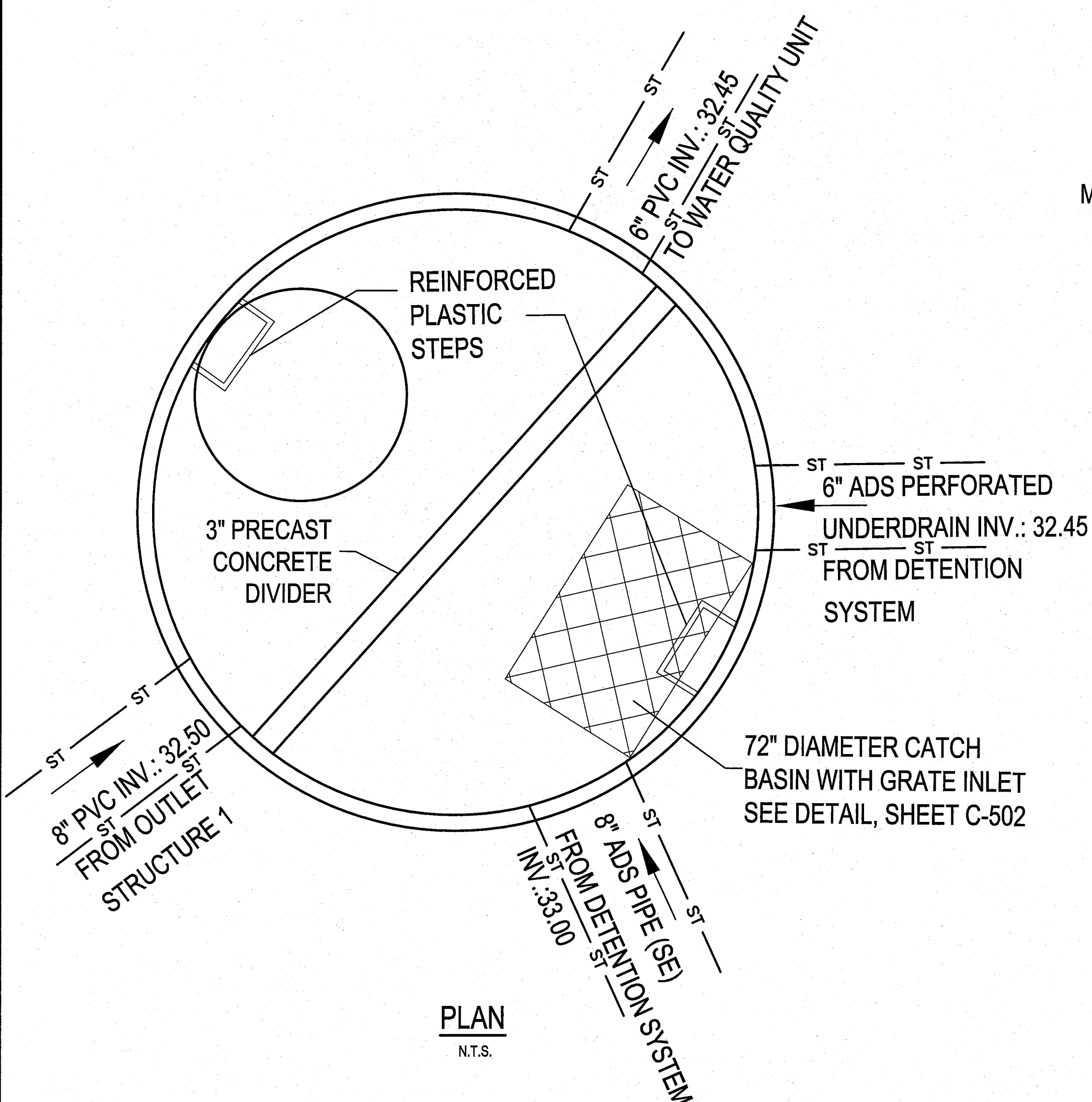
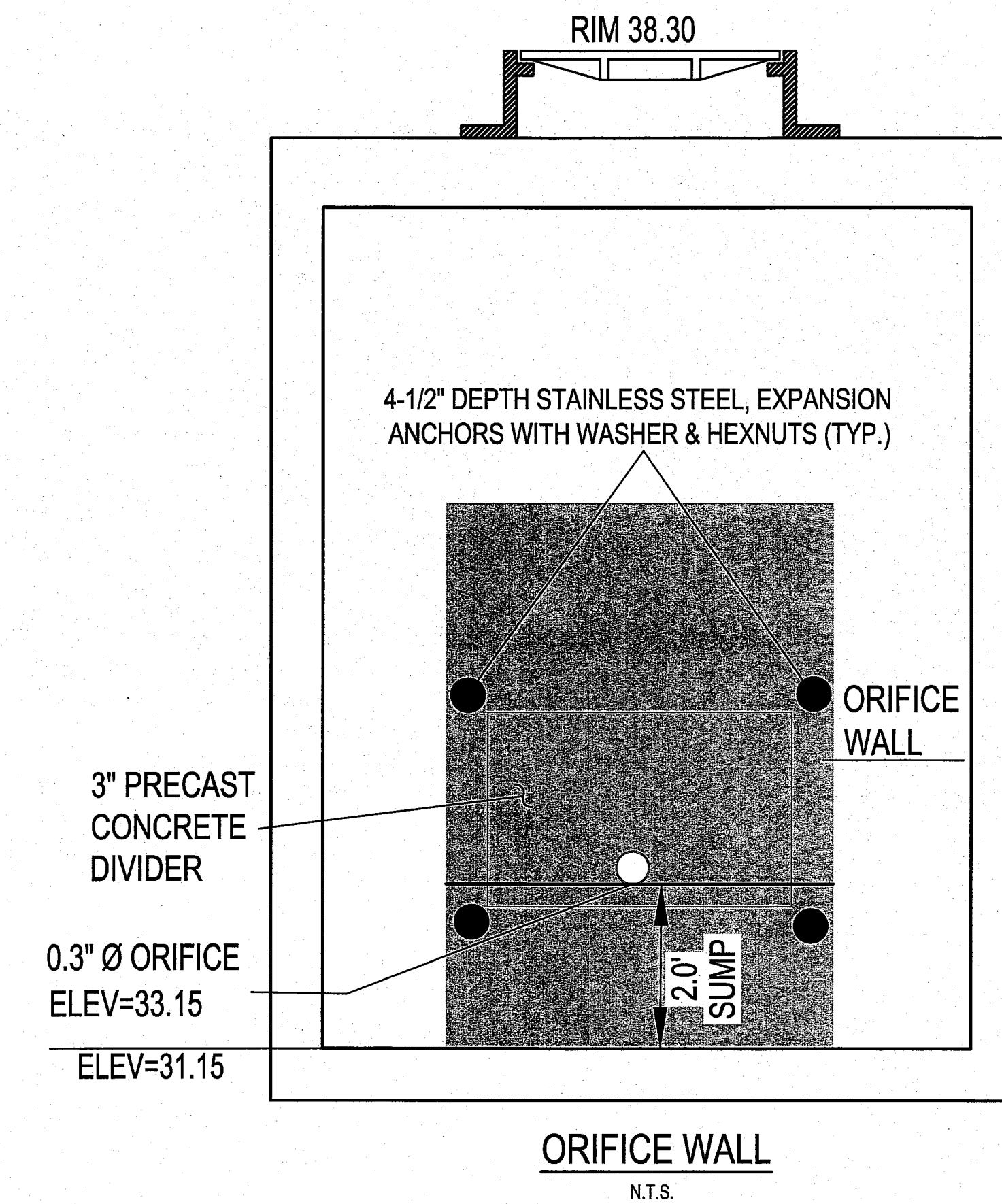
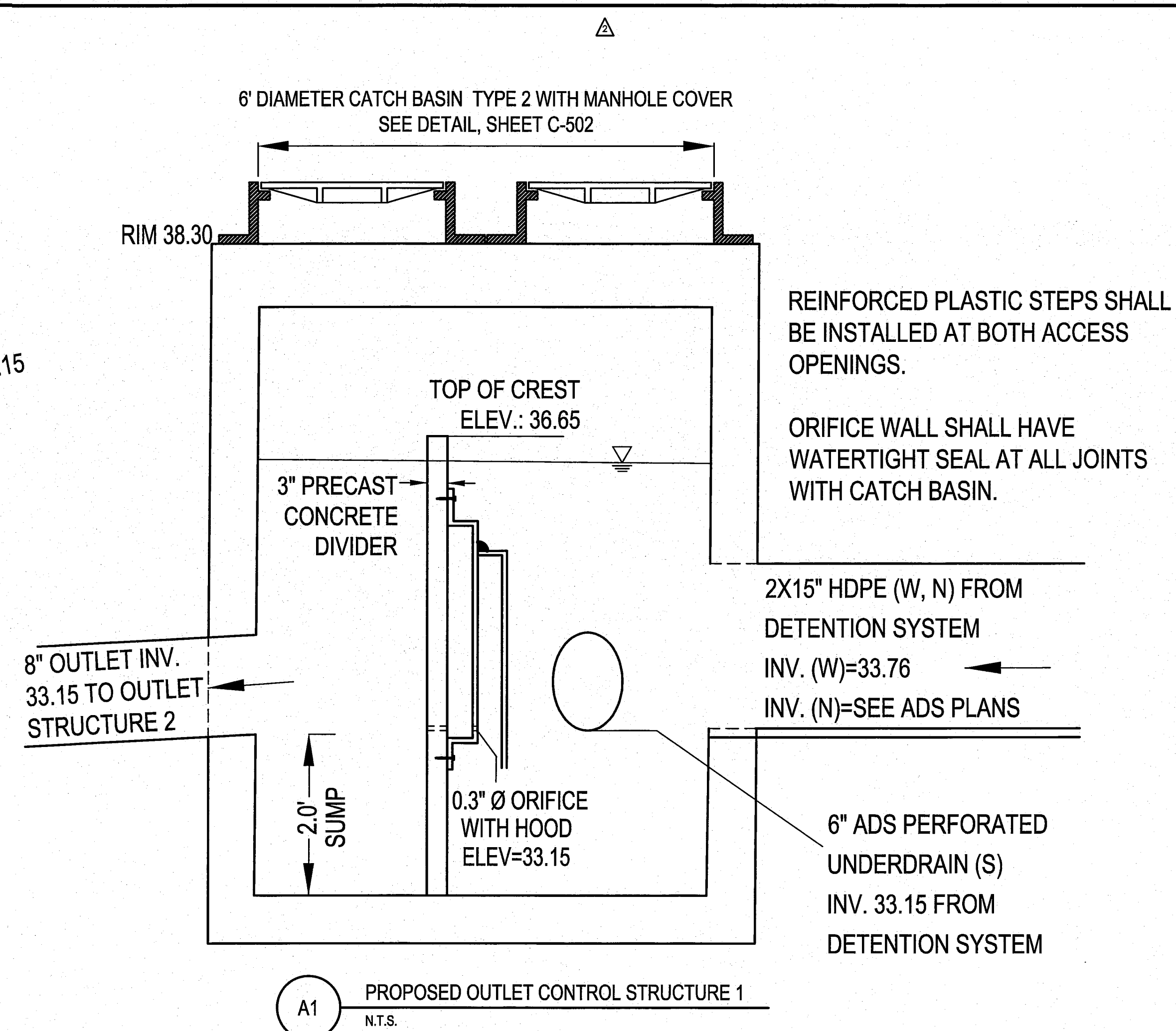
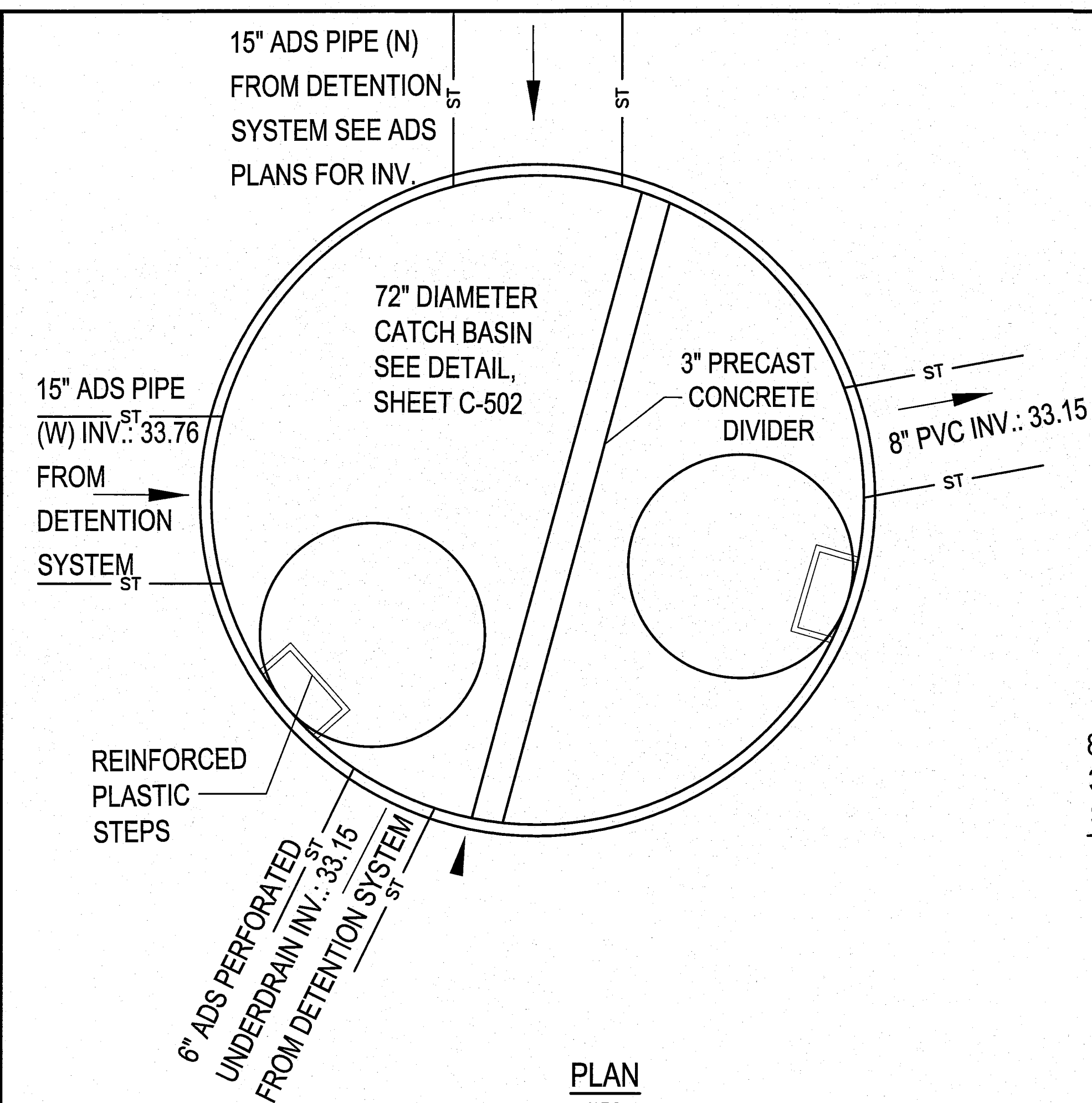
EXPLORER LITE
LARGE66

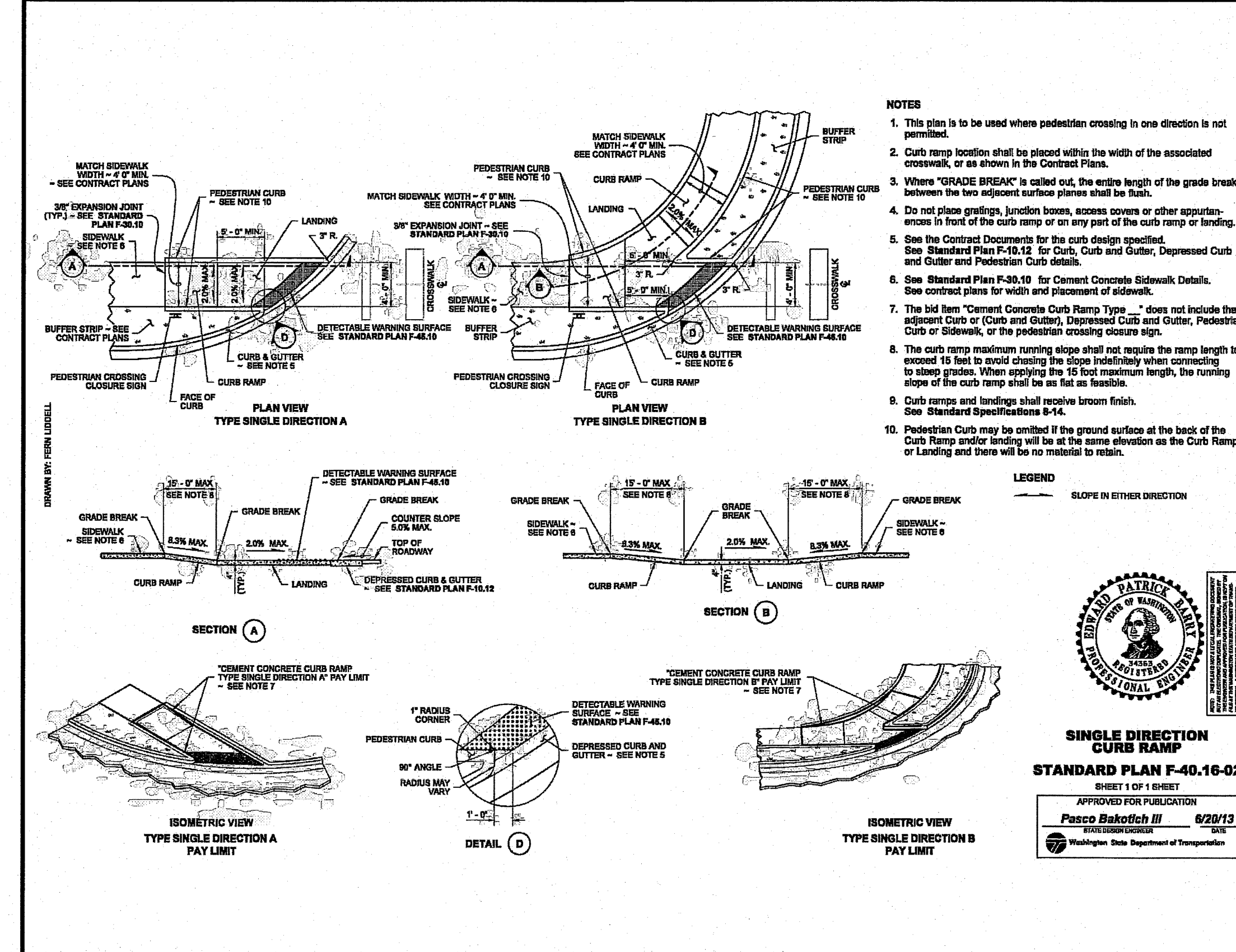
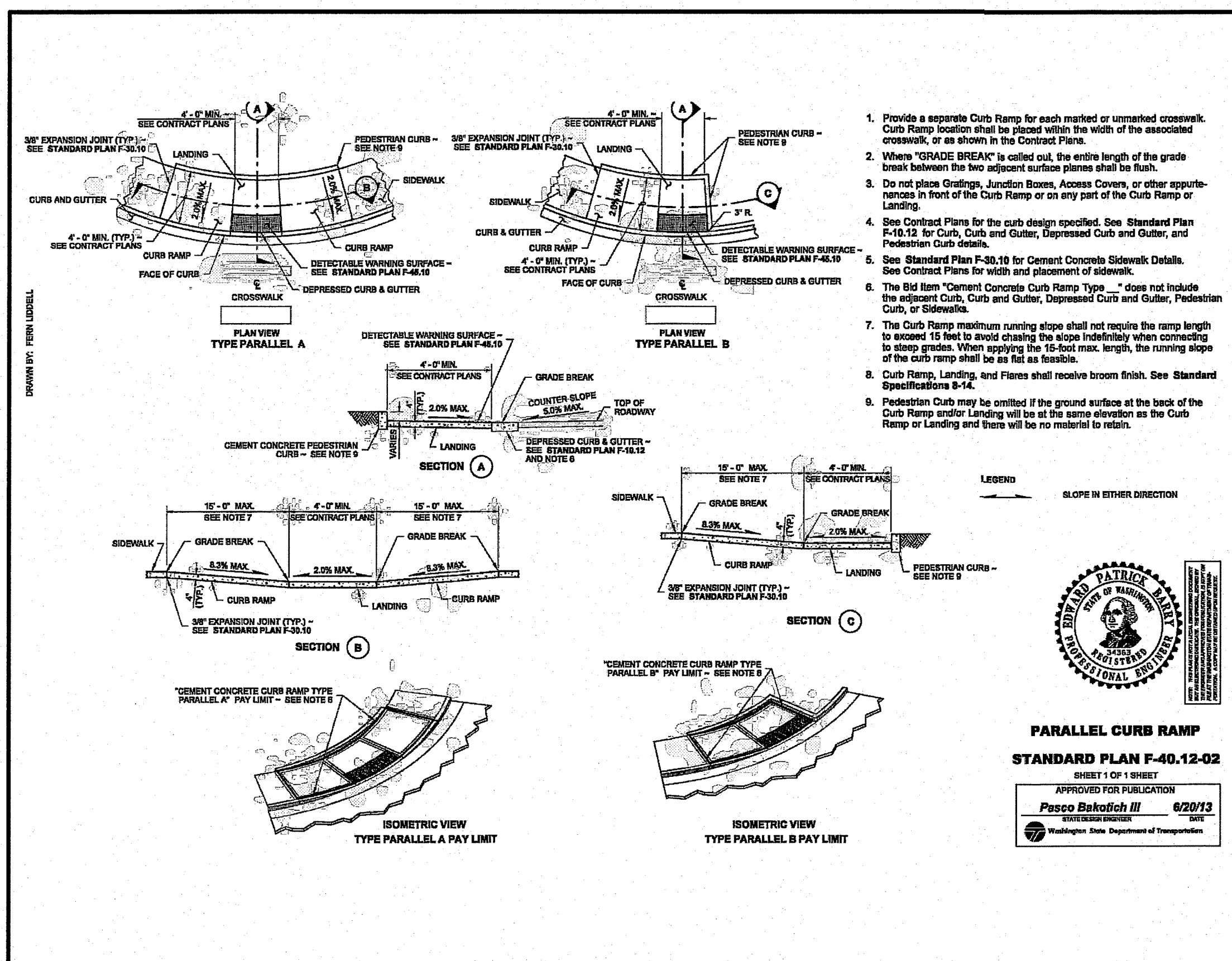
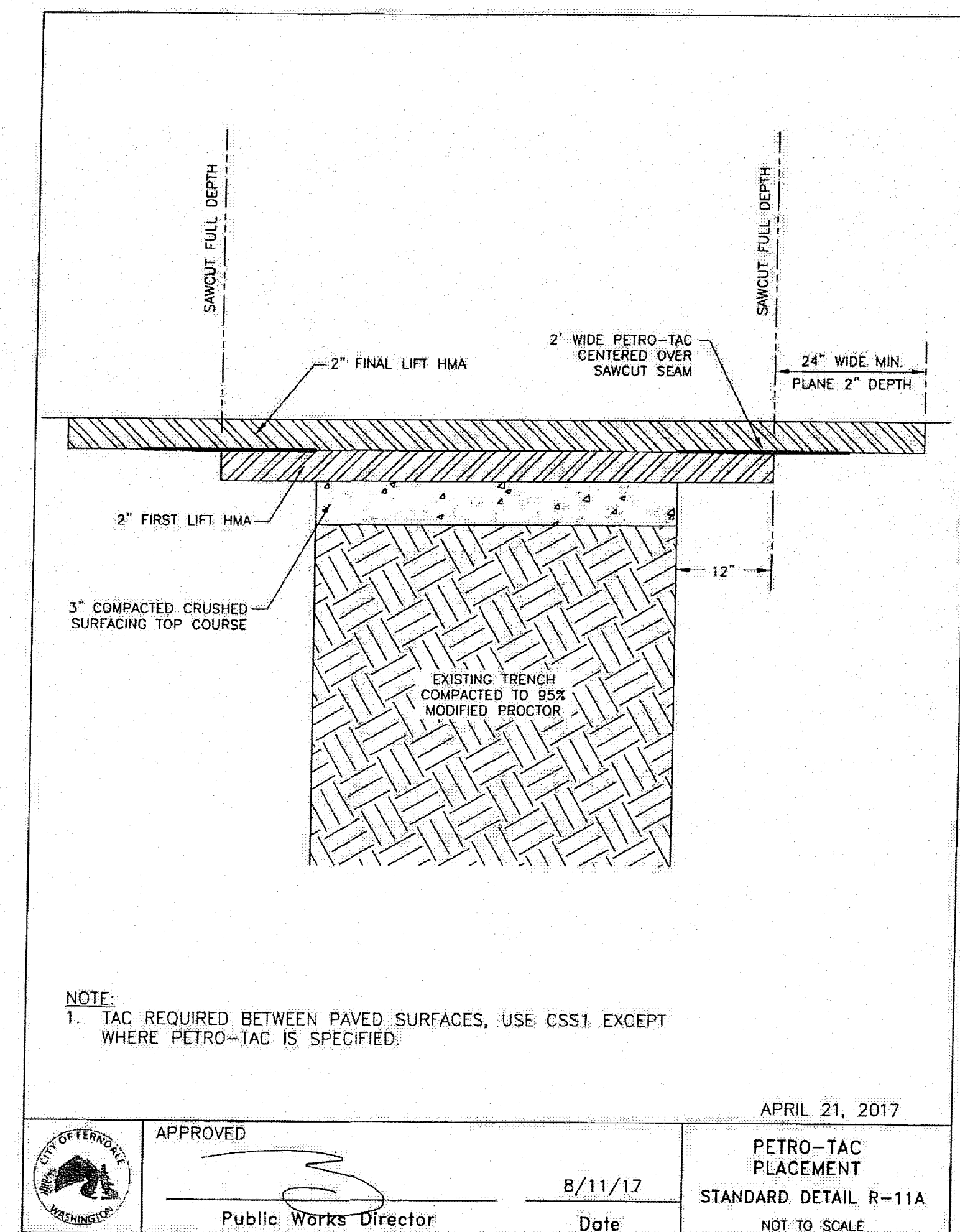
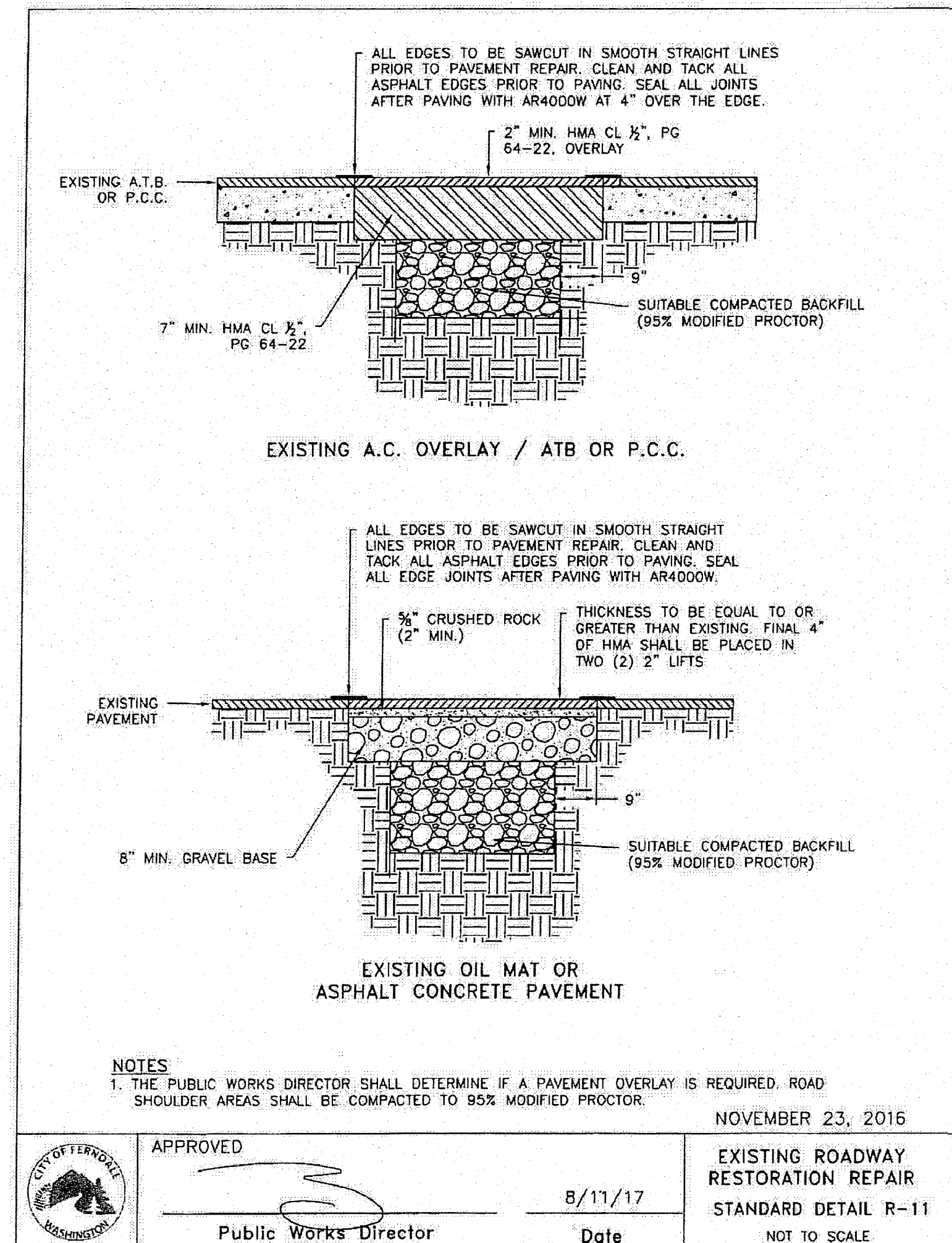
DETAILS

C-506

APPROVED

FEB 15 2019
BY *Raymond*
CITY OF FERNDALE
PUBLIC WORKS DEPARTMENT

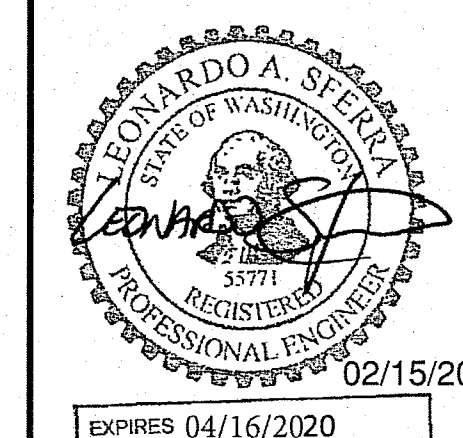




APPROVED
FEB 15 2019
BY:
CITY OF FERDALE
PUBLIC WORKS DEPARTMENT

AS-BUILT DRAWING

AS-BUILT NOTE:
ONLY INFORMATION NOTED
AS-BUILT "AB" HAS BEEN
PROVIDED BY THE SURVEYOR.



ADDENDUM # 2	06/28/18
ADDENDUM # 3	08/14/18
ADDENDUM # 4	
ADDENDUM # 5	
ADDENDUM # 6	
ADDENDUM # 7	
ADDENDUM # 8	
ADDENDUM # 9	
ADDENDUM # 10	
ADDENDUM # 11	
ADDENDUM # 12	
ADDENDUM # 13	
ADDENDUM # 14	
ADDENDUM # 15	
ADDENDUM # 16	
ADDENDUM # 17	
ADDENDUM # 18	
ADDENDUM # 19	
ADDENDUM # 20	

CONTRACT DATE: 02.26.18
BUILDING TYPE: EXPLORER LITE LG
PLAN VERSION: DECEMBER 2016
BRAND DESIGNER: WANCHO
SITE NUMBER:
STORE NUMBER: 2017088.41

TACO BELL
5720 BARRETT RD
FERDALE, WA 98248

TACO BELL
EXPLORER LITE
LARGE66

DETAILS

C-508