

SITUATE IN A PORTION OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 28,
TOWNSHIP 39 NORTH, RANGE 2 EAST, W.M., WHATCOM COUNTY, WASHINGTON

	= FOUND BRASS MON
	= FOUND ALUMINUM CAP MON
	= FOUND CONC MON
	= FOUND SQUARE CONC MON
	= FOUND REBAR AND PLASTIC
	= SET 1/2" REBAR W/ PLASTIC CAP
	= FOUND IRON PIPE
	= FOUND HUB AND TACK
	= FOUND PK NAIL
	= FOUND PK NAIL AND TAG/SHINER
	= FOUND RR SPIKE
	= EXISTING STORM DRAIN CATCH BASIN (TYPE 1)
	= EXISTING STORM DRAIN CATCH BASIN (TYPE 2)
	= EXISTING STORM DRAIN MANHOLE (TYPE 2) (SOLID LID)
	= EXISTING STORM DRAIN AREA DRAIN
	= EXISTING STORM DRAIN CLEANOUT
	= EXISTING STORM DRAIN SERVICE
	= PROPOSED RAINLEADER/DOWNSPOUT
	= PROPOSED AREA DRAIN
	= PROPOSED STORM DRAIN SERVICE
	= PROPOSED STORM DRAIN CLEANOUT
	= PROPOSED STORM DRAIN CATCH BASIN
	= PROPOSED STORM DRAIN MANHOLE (TYPE 2)
	= EXISTING SANITARY SEWER MANHOLE
	= EXISTING SANITARY SEWER CLEANOUT
	= EXISTING SANITARY SEWER SERVICE
	= PROPOSED SANITARY SEWER SERVICE
	= PROPOSED SEWER CLEANOUT
	= PROPOSED SEWER MANHOLE
	= EXISTING WATER SERVICE CONNECT
	= EXISTING FIRE STAND PIPE
	= EXISTING WATER BLOW-OFF VALVE
	= EXISTING WATER METER BOX
	= EXISTING FIRE HYDRANT
	= EXISTING WATER VALVE
	= EXISTING WATER VALVE BOXES
	= PROPOSED WATER SERVICE CONNECT
	= PROPOSED WATER METER BOX
	= PROPOSED WATER VALVE
	= PROPOSED WATER BLOW-OFF
	= PROPOSED FIRE HYDRANT
	= PROPOSED FIRE DEPARTMENT CONNECTION
	= PROPOSED POST INDICATOR VALVE
	= PROPOSED WATER BEND
	= PROPOSED THRUST BLOCK
	= PROPOSED TEE OR CROSS
	= EXISTING POWER/AND OR UTILITY POLE
	= EXISTING POWER/AND OR UTILITY POLE
	= EXISTING GUY POLE
	= EXISTING GUY WIRE
	= EXISTING POWER METER/STRUCTURE
	= EXISTING POWER VAULT
	= EXISTING POWER JBOX/HANDHOLD
	= EXISTING LIGHT POLE
	= PROPOSED LIGHT POLE
	= EXISTING UTILITY POLE
	= EXISTING TV BOX
	= EXISTING TELEPHONE PEDESTAL
	= EXISTING TELEPHONE MANHOLE
	= EXISTING MAIL BOX
	= EXISTING SIGN
	= PROPOSED SIGN
	= EXISTING FLAG POLE
	= EXISTING LANDSCAPING
	= EXISTING GAS METER
	= PROPOSED FLOW DIRECTION ARROW
	= DETAIL CALLOUT
	= ADA PARKING SPACE

GENERAL REQUIREMENTS

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARD WSDOT SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION, CURRENT EDITION AND CITY OF FERNDALE CONSTRUCTION STANDARDS. ALL WORK SHALL BE SUBJECT TO APPROVAL BY THE CITY OF FERNDALE. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENT SHALL APPLY.
2. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PERMITS AND APPROVALS. ALL PERMITS AND APPROVALS MUST BE OBTAINED FROM THE PERMITTING AUTHORITIES. THROUGHOUT THE PERIOD OF CONSTRUCTION, CONTRACTOR SHALL COMPLY WITH THE TERMS OF ALL PERMITS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING SUB-SURFACE CONDITIONS AND SOILS TYPES.
4. THE SURVEYOR SHALL LAY OUT AND SET ANY CONSTRUCTION STAKES AND MARKS NEEDED TO ESTABLISH THE LINES, GRADES, SLOPES OR CROSS-SECTIONS AS SHOWN ON THE PLANS OR AS STAKED BY THE ENGINEER. ALL STRUCTURES AND GRADES WILL BE CLEARLY STAKED AND MARKED PRIOR TO CITY INSPECTION.
5. THE CONTRACTOR SHALL PROTECT ALL PRIVATE AND PUBLIC UTILITIES FROM DAMAGE RESULTING FROM THE WORK. CONTRACTOR SHALL RESTORE ALL PRIVATE AND PUBLIC PROPERTY DISRUPTED BY THE PROJECT IMMEDIATELY AFTER CONSTRUCTION.
6. WHEN THE CONTRACTOR CONSIDERS THE WORK PHYSICALLY COMPLETE AND READY FOR INSPECTION, THE CONTRACTOR SHALL REQUEST THAT THE CITY INSPECTOR SCHEDULE A FINAL INSPECTION. THE INSPECTOR WILL MAKE A FINAL INSPECTION AND NOTIFY THE CONTRACTOR IN WRITING OF ALL PARTICULARS IN WHICH THE FINAL INSPECTION REVEALS DEFICIENCIES, UNCOMPLETED OR UNACCEPTABLE. THE CONTRACTOR SHALL IMMEDIATELY TAKE SUCH CORRECTIVE MEASURES AS ARE NECESSARY TO REMEDY THE LISTED DEFICIENCIES.
7. BEFORE ANY CONSTRUCTION OR DEVELOPMENT ACTIVITY A PRE-CONSTRUCTION MEETING MUST BE HELD BETWEEN THE CONTRACTOR, OWNER, CITY ENGINEER AND PROJECT ENGINEER. (MINIMUM 3 DAYS PRIOR TO STARTING WORK)
8. A COPY OF THESE APPROVED PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH AND SAFETY OF THE PUBLIC, AND TO PROTECT FROM DAMAGE TO EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTRACTOR, ANY WORK WITHIN THE TRAVELED RIGHT-OF-WAY THAT MAY INTERRUPT NORMAL TRAFFIC FLOW SHALL REQUIRE AT LEAST ONE FLAGGER FOR EACH LANE OF TRAFFIC AFFECTED. ALL SECTIONS OF THE WSDOT STANDARD SPECIFICATIONS 1-07.23-PUBLIC CONVENIENCE AND SAFETY, SHALL APPLY.
10. PROOF OF LIABILITY INSURANCE SHALL BE SUBMITTED TO THE CITY PRIOR TO THE PRE-CONSTRUCTION MEETING.
11. NO WORK SHALL OCCUR BETWEEN 7:00 PM & 7:00 AM MONDAY THROUGH SATURDAY.
12. ALL HARD SURFACED PAVEMENTS MUST BE REPAIRED AT THE CLOSE OF EACH WORK DAY. THE REPAIRS CAN BE TEMPORARY WITH ASPHALT COLD MIX OR PERMANENT WITH HOT MIX ASPHALT OR CONCRETE. ALL REPAIRS SHALL BE ACCORDING TO CITY OF FERNDALE DRAWING R-11.
13. ALL WORK MUST BE INSPECTED BY A REPRESENTATIVE OF THE CITY OF FERNDALE BEFORE THE CITY ENGINEER OR CITY INSPECTOR CAN BE OBTAINED. OTHER THAN STARTING WORK OR TO SCHEDULE INSPECTIONS IN ACCORDANCE WITH SECTION 302 OF THE DEVELOPMENT STANDARDS.
14. THE CONTRACTOR SHALL INFORM THE ENGINEER AND OBTAIN APPROVAL FROM THE CITY OF FERNDALE PUBLIC WORKS DIRECTOR OF ANY PROPOSED DEVIATION FROM THE APPROVED PLANS PRIOR TO CONSTRUCTION OF THE REVISED IMPROVEMENTS. THE CONTRACTOR SHALL SUBMIT THE REQUEST FOR DEVIATION TO THE CITY OF FERNDALE AND THE ENGINEER AND TO THE CITY OF FERNDALE PUBLIC WORKS DEPARTMENT.
15. AS-BUILT DATA SHALL BE PROVIDED TO THE CITY OF FERNDALE UPON COMPLETION OF CONSTRUCTION AND PROVIDED IN CITY OF FERNDALE DATUM-VERTICAL (NGVD 29) AND HORIZONTAL (NAD 83/91). CONTACT THE CITY FOR MORE INFORMATION ON SUBMITTAL REQUIREMENTS. ALL EXISTING AND NEW SITE IMPROVEMENTS MUST BE ACCURATELY DOCUMENTED PRIOR TO FINAL PROJECT ACCEPTANCE.
16. METHOD OF SURVEY, SURVEY DATA, AND SURVEY EQUIPMENT UTILIZED TO CREATE THE BASE MAP/EXISTING CONDITIONS ARE NOTED ON SHEET C2 OF THIS PLAN SET.
17. THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR LINES PRIOR TO STARTING CONSTRUCTION. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE. CALL 1-800-424-5555. FOR UTILITY LOCATIONS PRIOR TO WORK. CONTRACT TO HOLD. THEN CONTRACTOR SHALL NOTIFY THE ENGINEER PROMPTLY OF ANY CONFLICT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF ALL ADJACENT UTILITIES WHICH INCLUDE BUT ARE NOT LIMITED TO: WATER, SEWER, STORM SEWER, POWER, TELEPHONE, LIGHT, GAS, IRRI, AND STREET LIGHTING. CONTRACTOR SHALL RESTORE ALL PRIVATE AND PUBLIC PROPERTY DISTURBED BY THE PROJECT UPON COMPLETION OF THE PROJECT.
18. A REVOCABLE ENCROACHMENT PERMIT SHALL BE OBTAINED PRIOR TO COMMENCING WORK IN THE PUBLIC RIGHT-OF-WAY.
19. POT HOLDING ALL EXISTING UTILITIES IS REQUIRED PRIOR TO CONSTRUCTION TO VERIFY DESIGN FEASIBILITY. THE CITY DOES NOT GUARANTEE AS BUILT INFORMATION IN THE CITY DATA BASE IS ACCURATE AND WILL NOT BE HELD RESPONSIBLE IF FIELD INVESTIGATIONS REVEAL THAT ADDITIONAL COSTS ARE REQUIRED BECAUSE POT-HOLING WAS NOT DONE PRIOR TO DESIGN.

BASES

1. GRAVEL BASE AND GRAVEL BALLAST USED FOR TRENCH BACKFILL AND ROAD CONSTRUCTION MUST MEET CURRENT WSDOT REGULATIONS AND SPECIFICATIONS.
2. BALLAST, GRAVEL BASE AND CRUSHED SURFACING SHALL BE COMPACTED TO AT LEAST 95% OF ITS MAXIMUM DRY DENSITY.

- C1 COVER SHEET
- C2 EXISTING CONDITIONS
- C3 TEMPORARY EROSION & SEDIMENT CONTROL PLAN
- C4 TEMPORARY EROSION & SEDIMENT CONTROL
DETAILS & SWPPP
- C5 SITE PLAN
- C6 GRADING & DRAINAGE PLAN
- C7 WATER MAIN PLAN & PROFILE 0+00 - 6+00
- C8 SITE DETAILS
- C9 SITE DETAILS
- C10 STORM DETAILS
- C11 STORM DETAILS
- C12 STORM DETAILS
- C13 SEWER DETAILS
- C14 WATER DETAILS
- C15 STORMBRIX DETAILS

[illegible]**CIVIL ENGINEER**

FREELAND & ASSOCIATES, INC.
JEAN-PAUL SLAGLE, PE
DAVIS PHILLIPS, PE
220 W. CHAMPION STREET
SUITE 200
BELLINGHAM, WA 98225
(360) 650-1408
jpslagle@freelandengineering.com
dphillips@freelandengineering.com

ARCHITECT

HAVEN DESIGN WORKSHOP
BRENDA ZIRKELBACH
5828 2ND AVE
SUITE 101
FERNDALE, WA 98248
(360) 527-2840
brenda@haven-dw.com

OWNER

MICHAEL WATTERS
1016 CORDATA AVENUE
BELLINGHAM, WA 98226

SURVEYOR

COMPASS POINT SURVEY GROUP INC.
523 FRONT STREET
LYNDEN, WA 98264
(360) 354-8320

SHOULD ARCHAEOLOGICAL MATERIALS (e.g. SHELL MIDDEN, FAUNAL REMAINS, STONE TOOLS) OR HUMAN REMAINS BE OBSERVED DURING THE SCOPE OF OPERATIONS AS APPROVED, ALL WORK IN THE VICINITY SHALL STOP, AND THE AREA SHALL BE SECURED. THE STATE OFFICE OF ARCHAEOLOGY AND HISTORIC PRESERVATION (360-586-3065) AND THE LUMMI NATION TRIBAL HISTORIC PRESERVATION OFFICE (360-384-2298) SHALL BE CONTACTED IMMEDIATELY IN ORDER TO HELP ASSESS THE SITUATION AND DETERMINE HOW TO PRESERVE THE RESOURCE(S). COMPLIANCE WITH ALL APPLICABLE LAWS PERTAINING TO ARCHAEOLOGICAL RESOURCES IS REQUIRED.

DIGITAL COPIES OF THE CIVIL SITE PLANS WILL BE PROVIDED TO THE CONTRACTOR. ALL BUILDINGS, UTILITY STRUCTURES, AND OTHER COMPONENTS NECESSARY FOR CONSTRUCTION SHALL BE STAKED BY A LICENSED SURVEYOR PRIOR TO CONSTRUCTION.

**CALL BEFORE YOU DIG
FOR BURIED UTILITY LOCATIONS
1-800-424-5555**

ENGINEER'S CERTIFICATION:
"I HEREBY CERTIFY THAT THE IMPROVEMENTS OF
1655 MAIN STREET HAVE BEEN INSPECTED BY
FREELAND & ASSOCIATES, INC. AND CONSTRUCTED IN
GENERAL CONFORMANCE WITH THE PLANS APPROVED
BY PUBLIC WORKS DIRECTOR FOR SAID DEVELOPMENT
AND THE GENERAL SPECIFICATIONS ADOPTED BY THE
CITY OF FERNANDO DEPARTMENT OF PUBLIC WORKS."

BY: [Signature] DATE: 4/23/2024

APPROVED
04/24/2024

BY: *[Signature]*
CITY OF FERNDALE
PUBLIC WORKS DEPARTMENT

AS-BUILT DRAWING

AS-BUILT NOTE:
ONLY INFORMATION NOTED AS AS-BUILT "(AB)"
HAS BEEN PROVIDED BY CONTRACTOR



220 West Champion Street, Suite 200 t: 360.650.1408
 Bellingham, WA 98225 f: 360.650.1401

FREELAND
 & ASSOCIATES

[illegible]

MICHAEL WATTERS
1016 CORDATA AVENUE

FOR BURIED UTILITY LOCATIONS
1-800-424-5555

1655 MAIN STREET
1655 MAIN STREET

DRAWING #: 18054AB3.DWG	DRAWN BY: DJP
DESIGNED BY: jps	CHECKED BY: jps

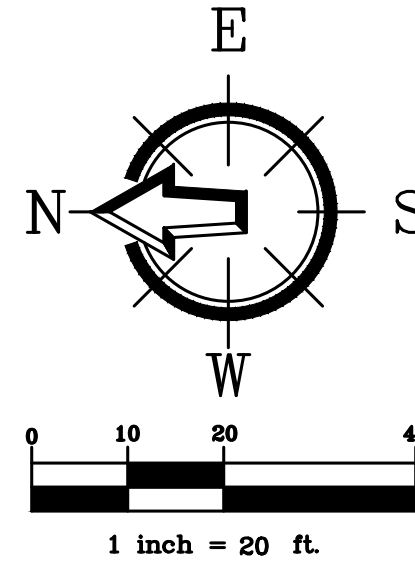
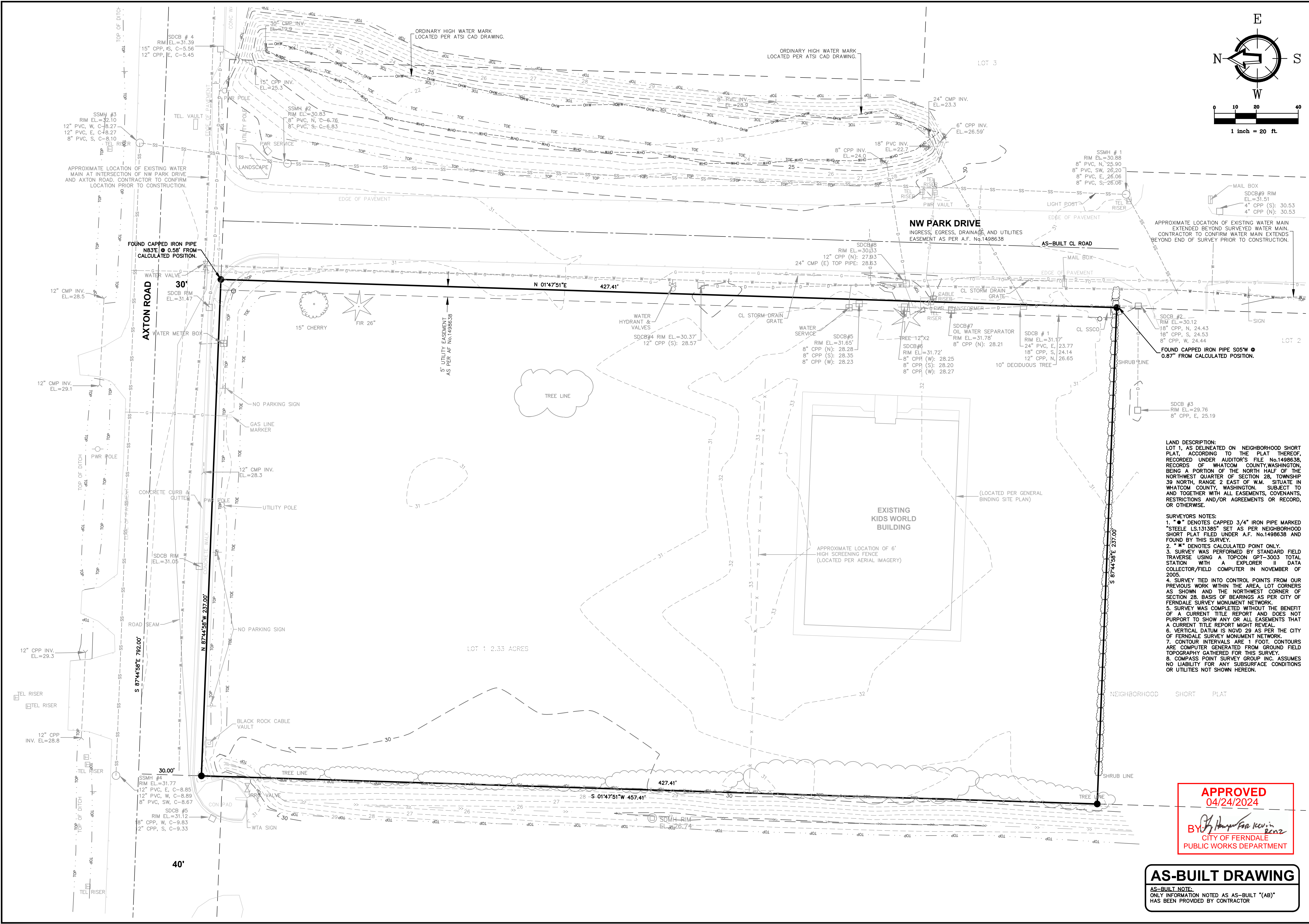
COVER SHEET

SHEET
CONTENTS:



JOB #: 18054	DATE: 4-23-2024
SHEET:	

C1



220 West Champion Street, Suite 200
Bellingham, WA 98225
t: 360.650.1408
f: 360.650.1401

FREELAND
& ASSOCIATES

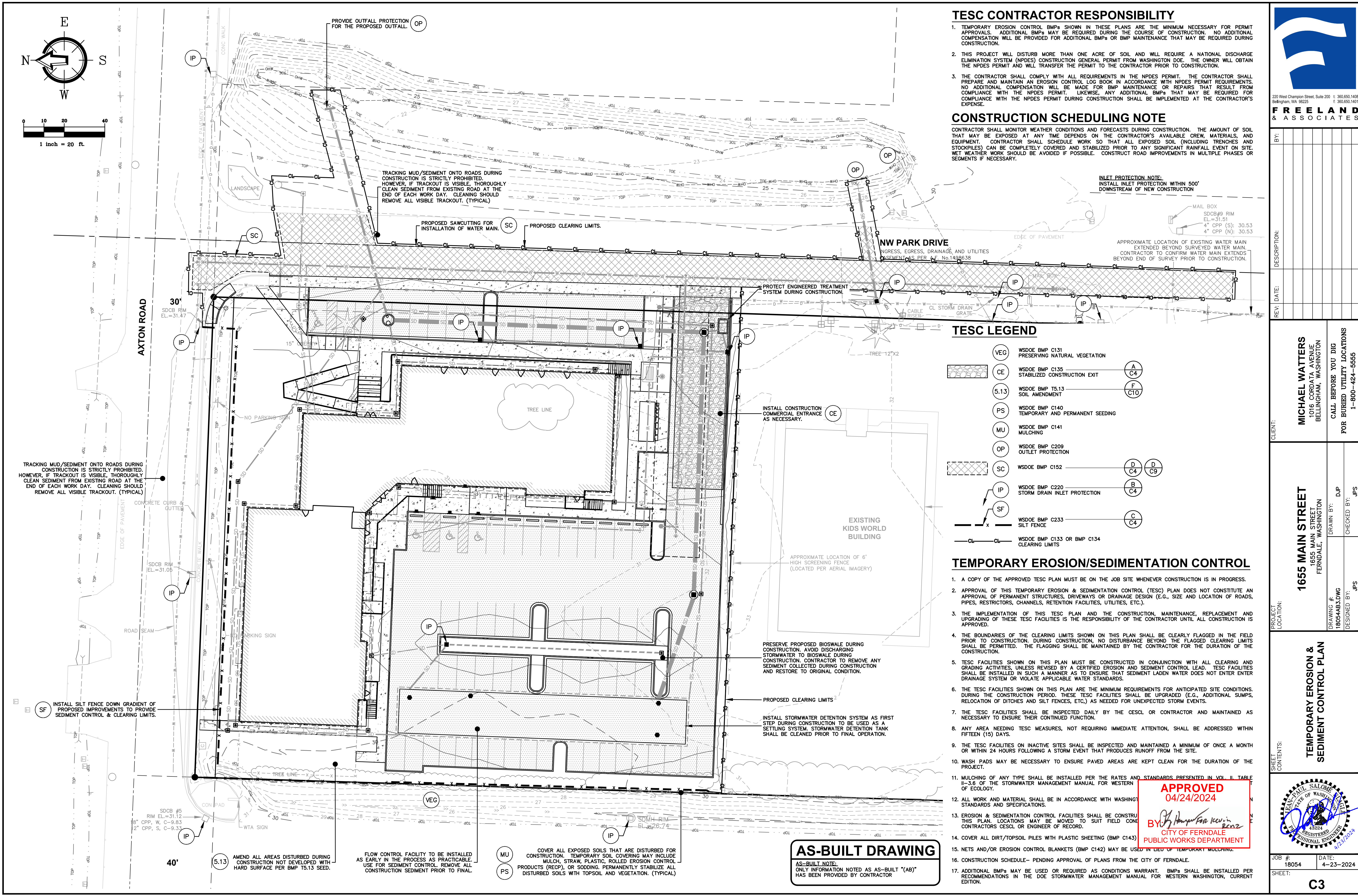
BY: <div></div>		DESCRIPTION: <div></div>	
REV: <div></div>		DATE: <div></div>	
CLIENT: <div>MICHAEL WATERS 1016 CORDATA AVENUE BELLINGHAM, WASHINGTON</div>		CALL BEFORE YOU DIG FOR BURIED UTILITY LOCATIONS 1-800-424-5655	
PROJECT LOCATION: <div>1655 MAIN STREET 1655 MAIN STREET FERDALE, WASHINGTON</div>		DRAWN BY: <div>DJP</div>	CHECKED BY: <div>JPS</div>
SHEET CONTENTS: <div>EXISTING CONDITIONS</div>		<div></div>	
JOB #: <div>18054</div>		DATE: <div>4-23-2024</div>	
SHEET: <div>C2</div>			

APPROVED
04/24/2024
BY: *[Signature]*
CITY OF FERDALE
PUBLIC WORKS DEPARTMENT

AS-BUILT DRAWING
AS-BUILT NOTE:
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LAND DESCRIPTION:
LOT 1, AS DELINEATED ON NEIGHBORHOOD SHORT PLAT, ACCORDING TO THE PLAT THEREOF, RECORDED UNDER AUDITOR'S FILE No.1498638, RECORDS OF WHATCOM COUNTY, WASHINGTON, BEING A PORTION OF THE NORTH HALF OF THE NORTHWEST QUARTER OF SECTION 28, TOWNSHIP 39 NORTH, RANGE 2 EAST OF W.M. SITUATE IN WHATCOM COUNTY, WASHINGTON, SUBJECT TO AND TOGETHER WITH ALL EASEMENTS, COVENANTS, RESTRICTIONS AND/OR AGREEMENTS OR RECORD, OR OTHERWISE.


SURVEYOR'S NOTES:
1. "●" DENOTES CAPPED 3/4" IRON PIPE MARKED "STEELE LS.131385" SET AS PER NEIGHBORHOOD SHORT PLAT FILED UNDER A.F. No.1498638 AND FOUND BY THIS SURVEY.
2. "X" DENOTES CALCULATED POINT ONLY.
3. SURVEY WAS PERFORMED BY STANDARD FIELD TRAVERSE USING A TOPOCON GPT-3003 TOTAL STATION WITH A EXPLORER II DATA COLLECTOR/FIELD COMPUTER IN NOVEMBER OF 2005.
4. SURVEY TIED INTO CONTROL POINTS FROM OUR PREVIOUS WORK WITHIN THE AREA, LOT CORNERS AS SHOWN AND THE NORTHWEST CORNER OF SECTION 28, BASIS OF BEARINGS AS PER CITY OF FERDALE SURVEY MONUMENT NETWORK.
5. SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND DOES NOT PURPORT TO SHOW ANY OR ALL EASEMENTS THAT A CURRENT TITLE REPORT MIGHT REVEAL.
6. VERTICAL DATUM IS NGVD 29 AS PER THE CITY OF FERDALE SURVEY MONUMENT NETWORK.
7. CONTOUR INTERVALS ARE 1 FOOT. CONTOURS ARE COMPUTER GENERATED FROM GROUND FIELD TOPOGRAPHY GATHERED FOR THIS SURVEY.
8. COMPASS POINT SURVEY GROUP INC. ASSUMES NO LIABILITY FOR ANY SUBSURFACE CONDITIONS OR UTILITIES NOT SHOWN HEREON.

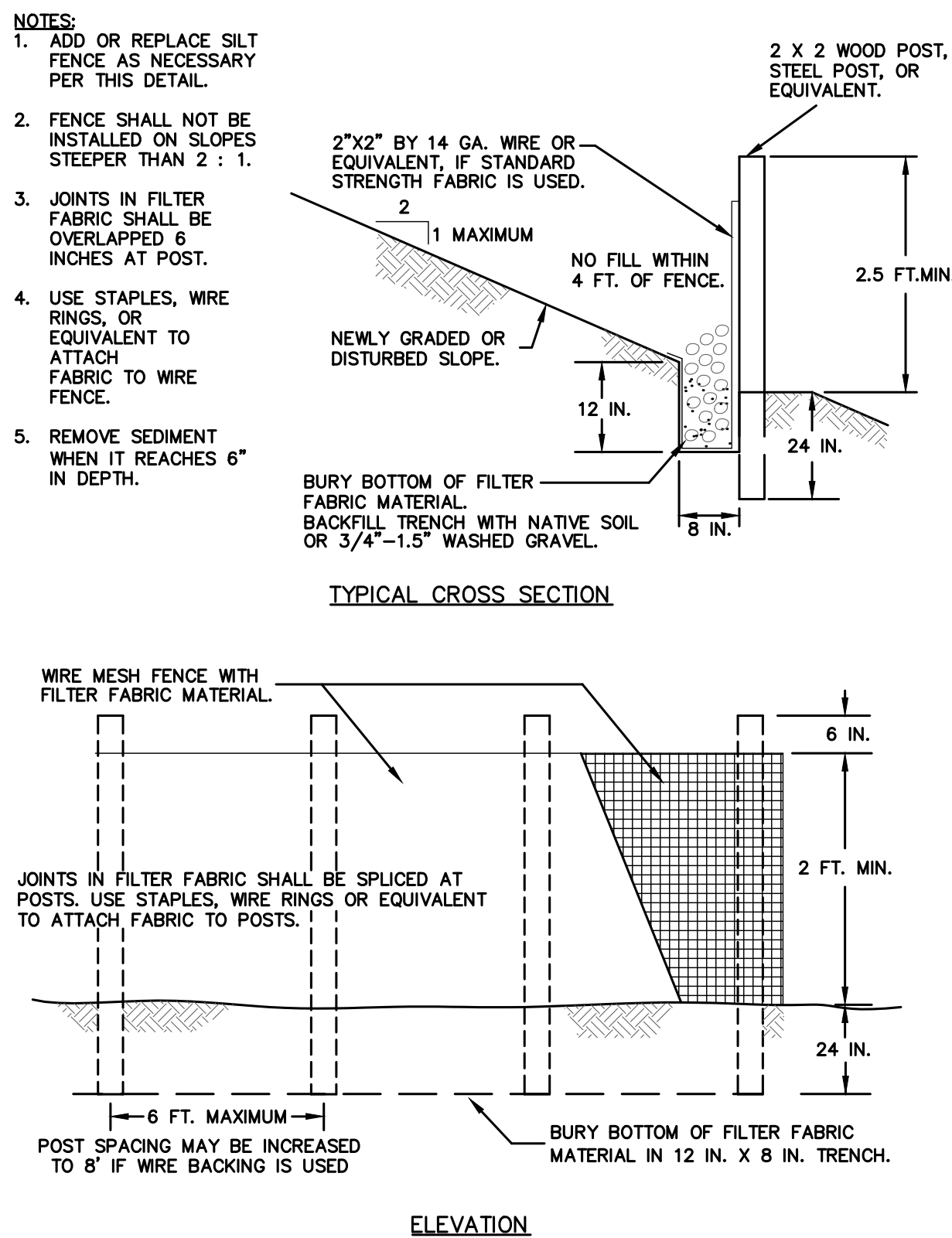
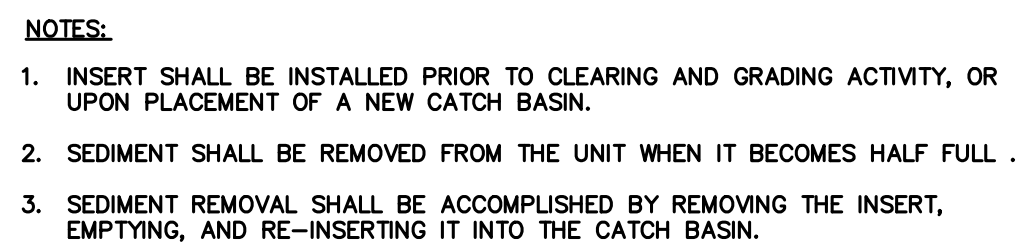
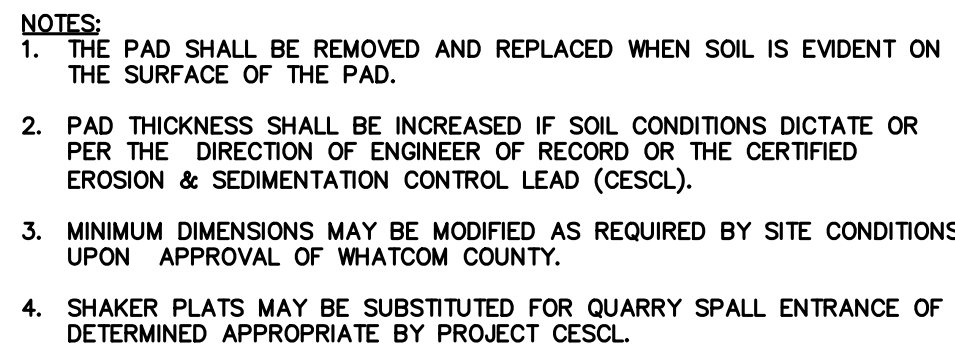




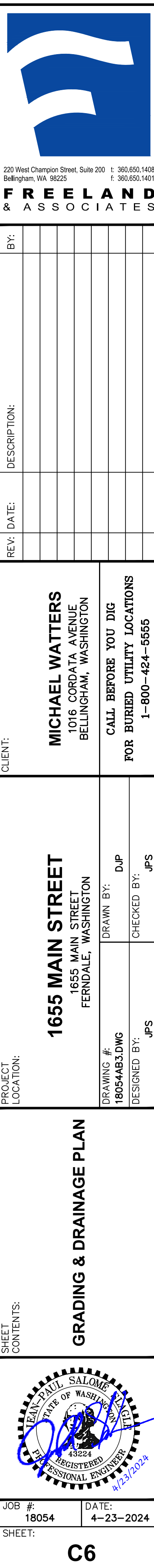
220 West Champion Street, Suite 200
Bellevue, WA 98005
t: 360.650.1408
f: 360.650.1401

FREELAND & ASSOCIATES

BY: <div></div>		DESCRIPTION: <div></div>	
REV: <div></div>		DATE: <div></div>	
CLIENT: <div>MICHAEL WATERS 1016 CORONA AVENUE BELLEVUE, WASHINGTON</div>		CALL BEFORE YOU DIG FOR BURIED UTILITY LOCATIONS 1-800-424-5655	
PROJECT LOCATION: <div>1655 MAIN STREET 1655 MAIN STREET FERNDALE, WASHINGTON</div>		DRAWN BY: <div>DJP</div>	CHECKED BY: <div>JPS</div>
SHEET CONTENTS: <div>TEMPORARY EROSION & SEDIMENT CONTROL PLAN</div>		DRAWING #: <div>18054AB3.DWG</div>	DESIGNED BY: <div>JPS</div>
JOB #: <div>18054</div>		DATE: <div>4-23-2024</div>	
SHEET: <div>C3</div>		<div></div>	



Volume II – Construction Stormwater Pollution Prevention - December 2014
4-44



A ASPHALT PAVEMENT

B CONCRETE PAVEMENT

C CONCRETE SIDEWALK
nts

D CONCRETE CURB & GUTTER

CLIENT:	REV:	DATE:	DESCRIPTION:	BY:
MICHAEL WATTERS 016 CORDATA AVENUE, BELLINGHAM, WASHINGTON				
CALL BEFORE YOU DIG FOR BURIED UTILITY LOCATIONS 1-800-424-5555				



AS-BUILT DRAWING

AS-BUILT NOTE:
ONLY INFORMATION NOTED AS AS-BUILT "(AB)"
HAS BEEN PROVIDED BY CONTRACTOR

E BARRIER CURB

1 1/2"Ø GALVANIZED PIPE
GRIPPABLE HANDRAIL, PAINT FINISH
W/ ROUNDED RETURN @ EACH END.

2" WIDE BLACK
ANIT-SLIP STRIP, AT
EACH TREAD &
UPPER APPROACH, 1"
OFF NOSE OF STAIR

1/2" RADIUS
CHAMFER

6" GRAVEL BASE
—COMPACTED TO 95% MAX
DENSITY, MODIFIED PROCTOR

34"

12"

12"

2% SL

6"

1"

F CONCRETE STAIRS AND HANDRAIL



G WHEEL STOP



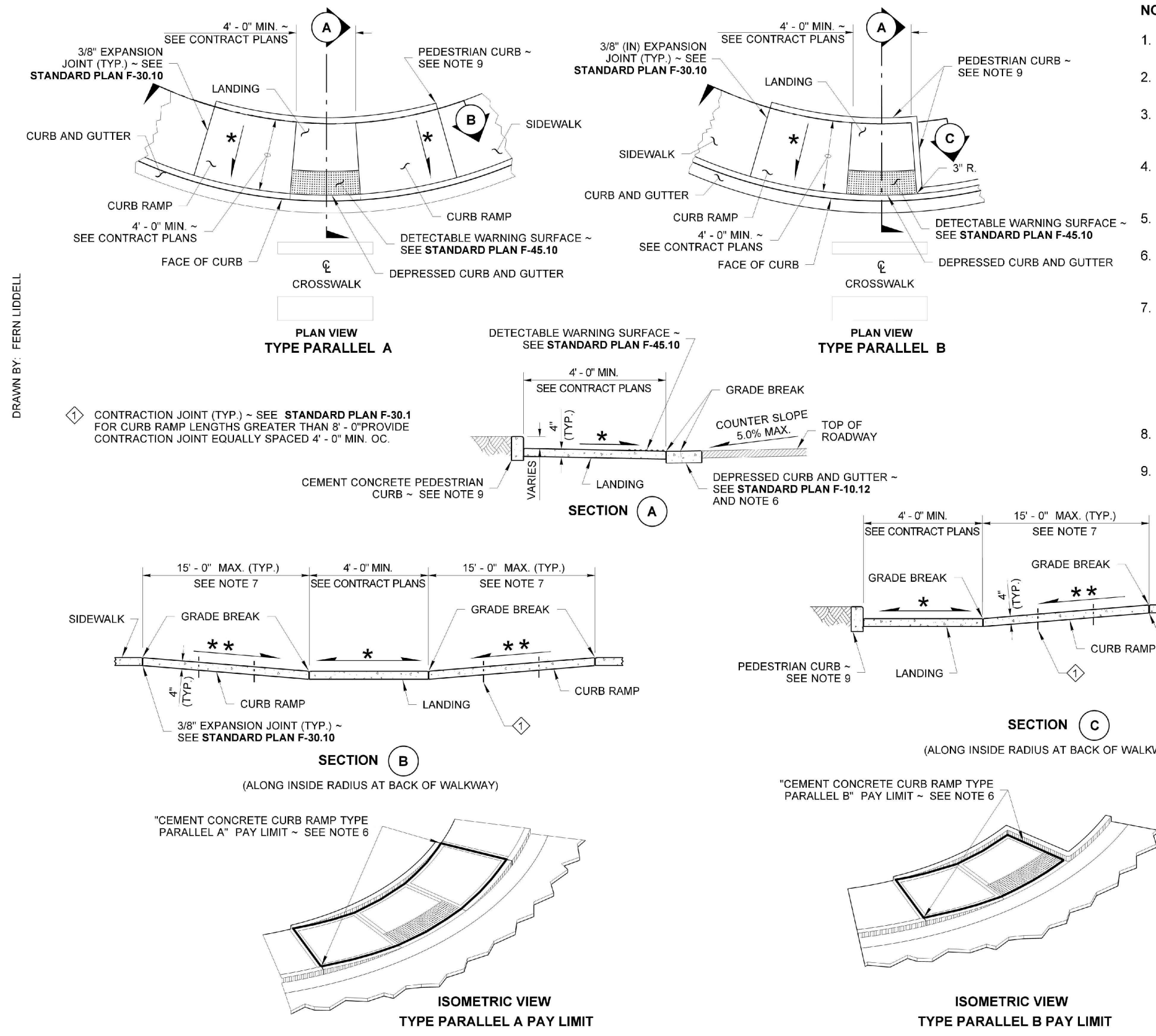
Diagram illustrating a 4' wide yellow paint strip (typ.) for wheelchair access. The diagram shows a cross-section of a curb cut with dimensions: 8' for the first segment, 9' for the second, 5' for the third, and 9' for the fourth. A 19' vertical dimension is shown for the second segment. A 45-degree angle is indicated for the first segment. A 2' dimension is shown for the second segment. A 4' wide yellow paint strip (typ.) is shown for the third segment. A wheelchair icon is shown for each segment.

APPROVED
04/24/2024
BY: *[Signature]*
CITY OF FERDALE
PUBLIC WORKS DEPARTMENT

ADA PARKING STALL LAYOUT



JOB #: 18054	DATE: 4-23-2024
SHEET: 68	



NOTES

- At marked crosswalks, the connection between the landing and the roadway must be contained within the width of the crosswalk markings.
- Where "GRADE BREAK" is called out, the entire length of the grade break between the two adjacent surface planes shall be flush.
- Do not place Gratings, Junction Boxes, Access Covers, or other appurtenances on any part of the Curb Ramp or Landing, or in the Depressed Curb and Gutter where the Landing connects to the roadway.
- See Contract Plans for the curb design specified. See **Standard Plan F-10.12** for Curb, Curb and Gutter, Depressed Curb and Gutter, and Pedestrian Curb details.
- See **Standard Plan F-30.10** for Cement Concrete Sidewalk Details. See Contract Plans for width and placement of sidewalk.
- The Bid Item "Cement Concrete Curb Ramp Type ..." does not include the adjacent Curb, Curb and Gutter, Depressed Curb and Gutter, Pedestrian Curb, or Sidewalks.
- The Curb Ramp length is not required to exceed 15 feet (unless otherwise shown in the Contract Plans). When applying the 15-foot max. length, the running slope of the curb ramp is allowed to exceed 8.3%. Use a single constant slope from bottom of ramp to top of ramp to match into the sidewalk over a horizontal distance of 15 feet. Do not include abutting landing(s) in the 15-foot max. length measurement. When a ramp is constructed on a radius, the 15-foot max. length is measured on the inside radius along the back of the roadway.
- Curb Ramps and Landings shall receive a broom finish. See **Standard Specifications 8-14**.
- Pedestrian Curb may be omitted if the ground surface at the back of the Curb Ramp or Landing will be at the same elevation as the Curb Ramp or Landing and there will be no material to retain.

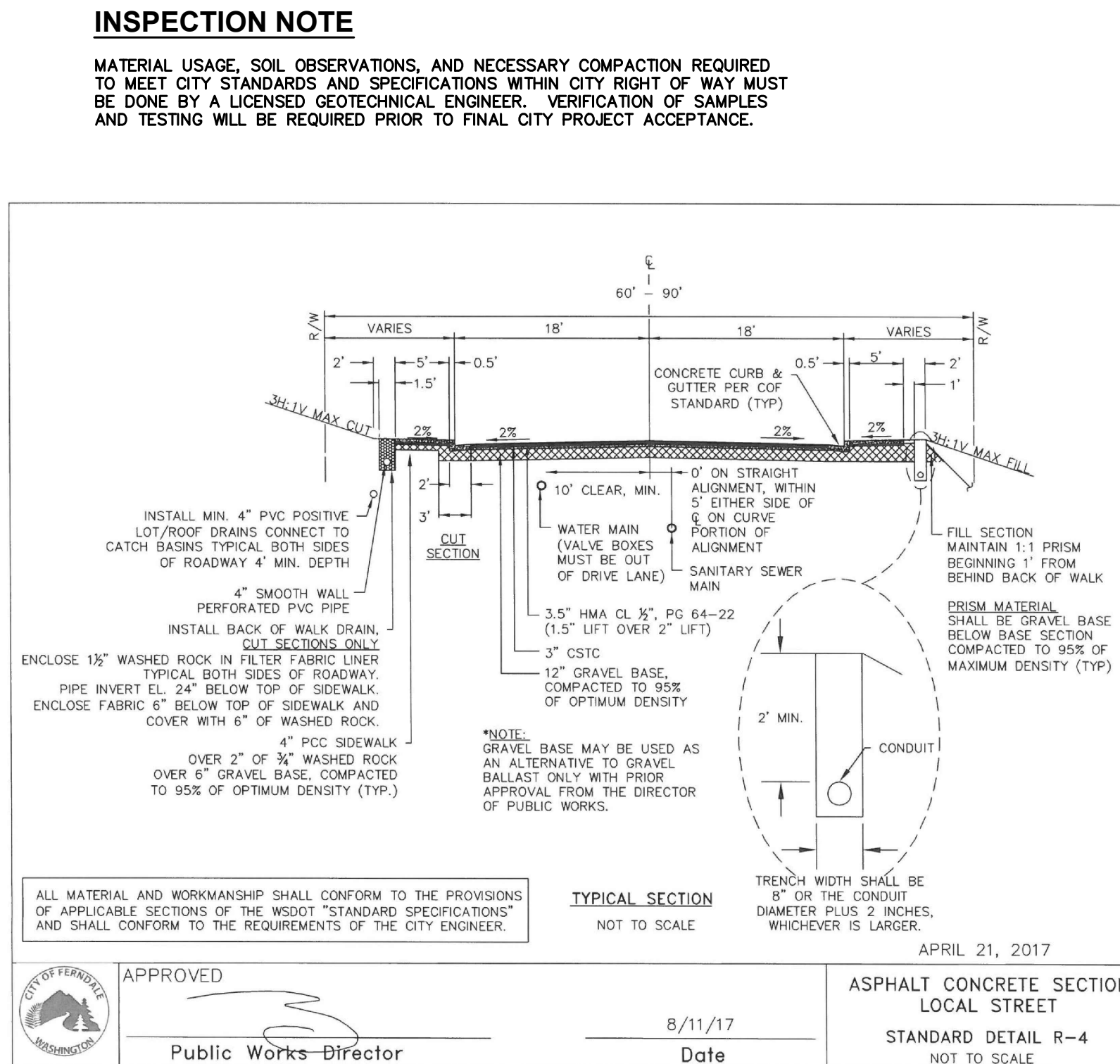
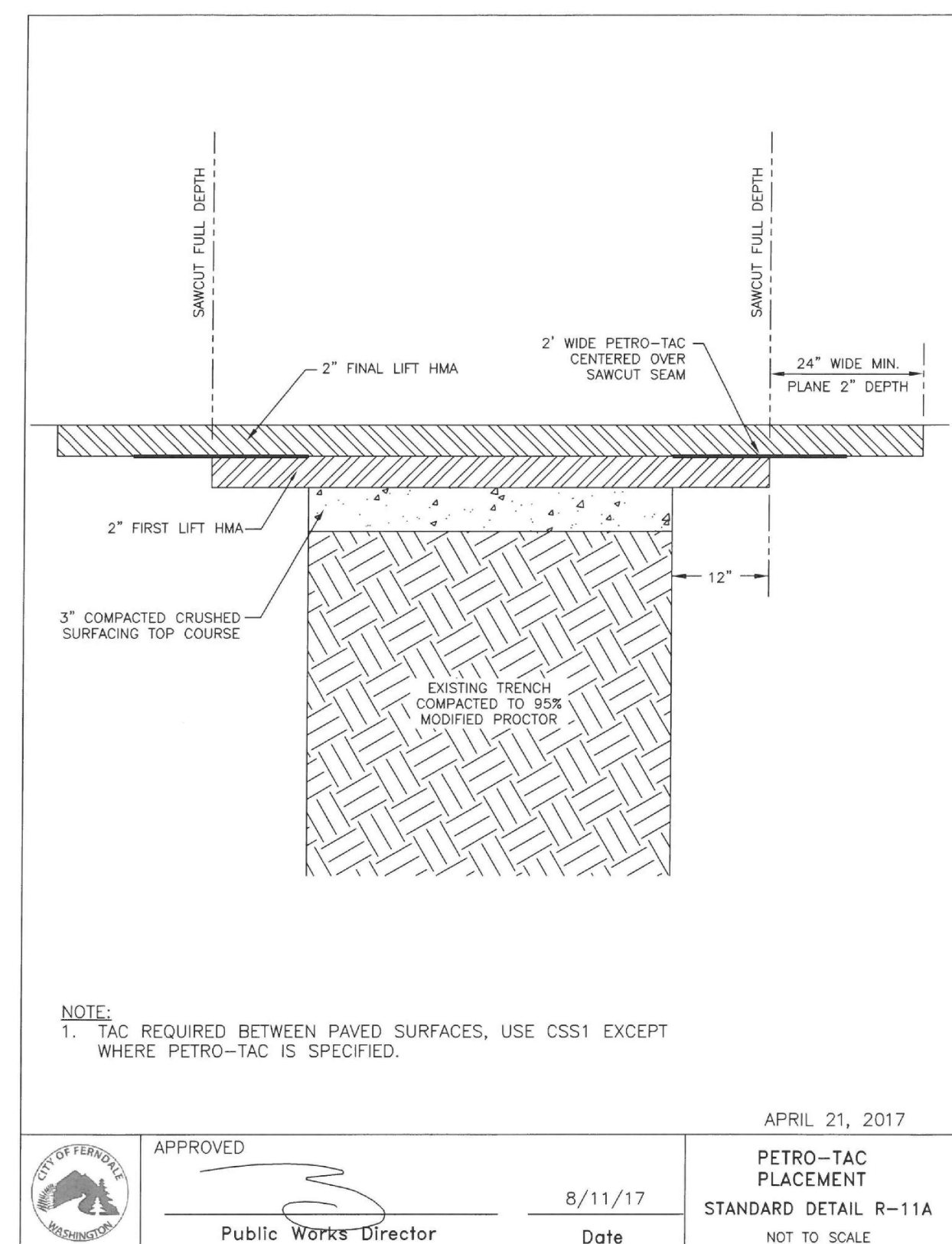
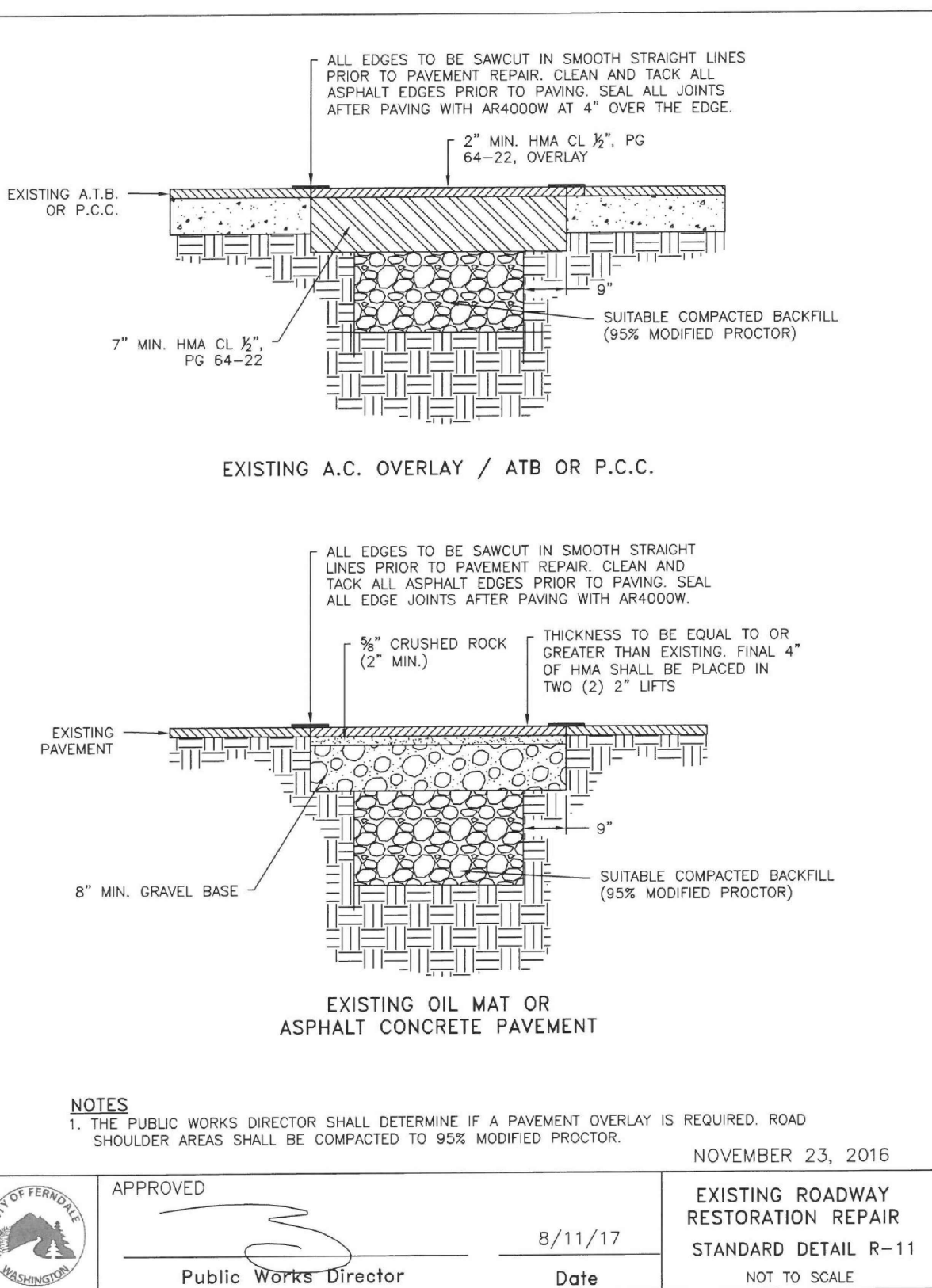
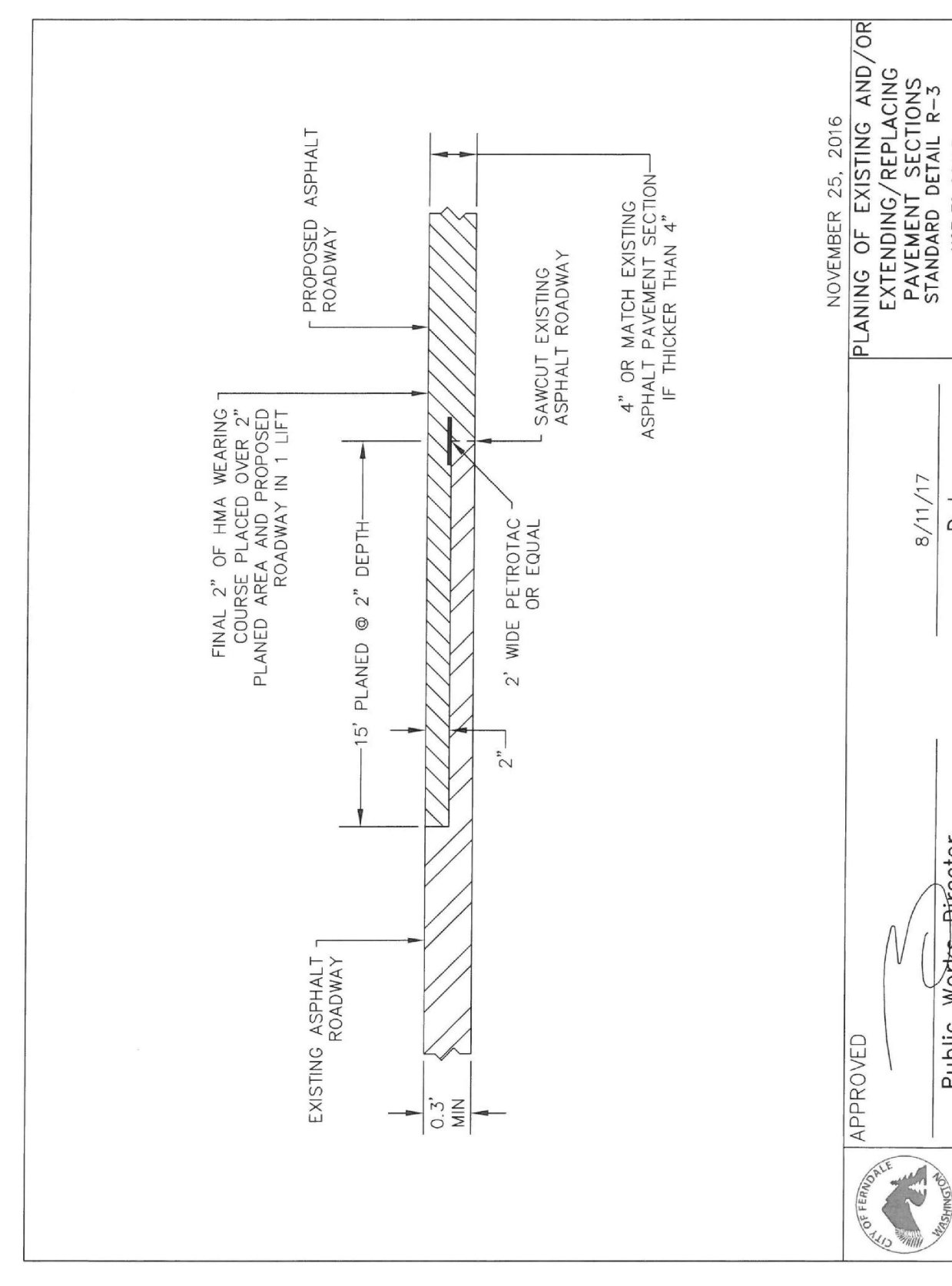
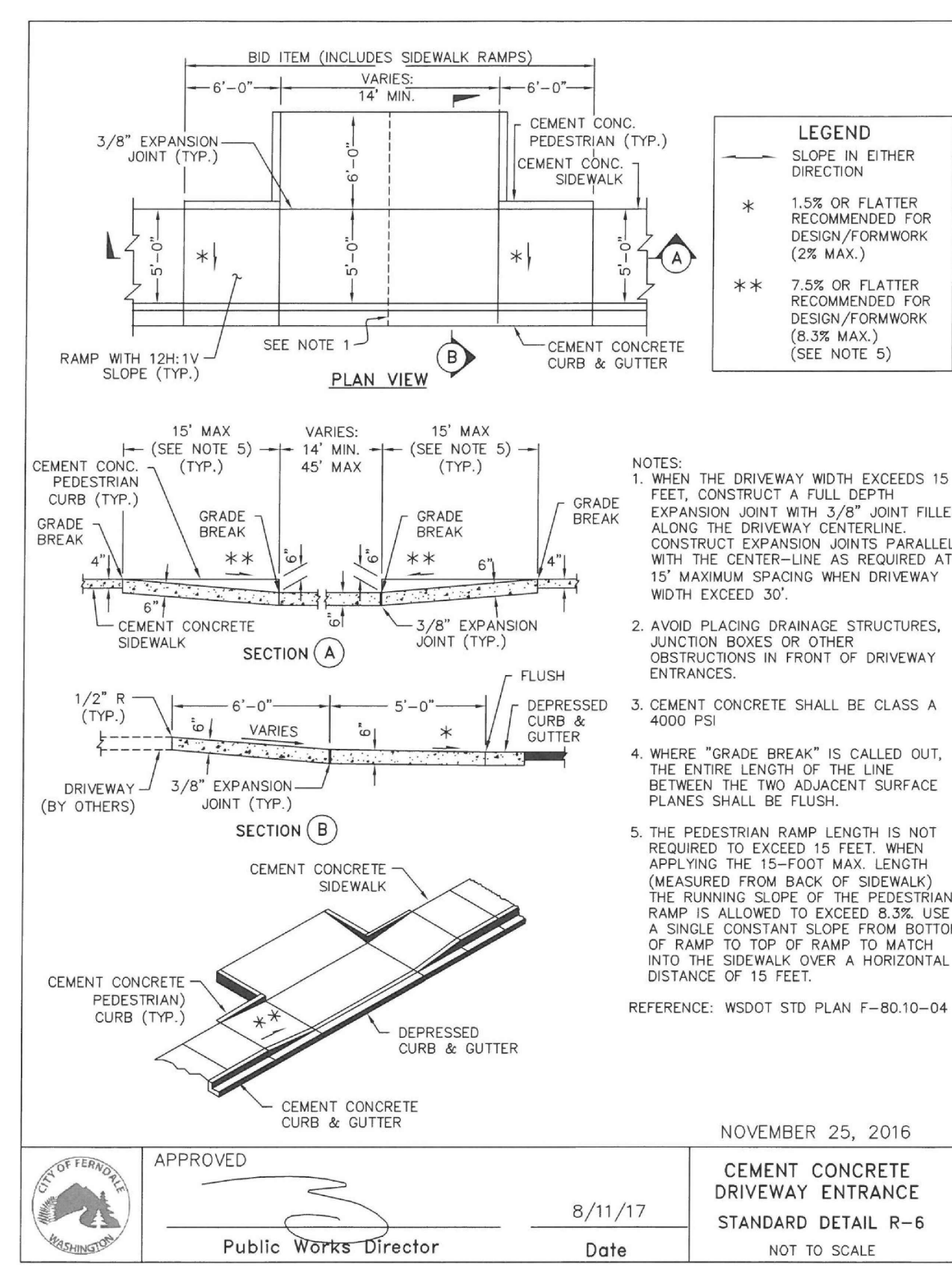
LEGEND

SLOPE IN EITHER DIRECTION

* 1.5% OR FLATTER RECOMMENDED FOR DESIGN/FORMWORK (2% MAX.)

** 7.5% OR FLATTER RECOMMENDED FOR DESIGN/FORMWORK (8.3% MAX.) - SEE NOTE 7

PARALLEL CURB RAMP
STANDARD PLAN F-40.12-03
SHEET 1 OF 1 SHEET
APPROVED FOR PUBLICATION
11/27/2016 2:27 PM
CITY OF FERDALE
Washington State Department of Transportation



APPROVED
04/24/2024
BY: *[Signature]*
CITY OF FERDALE
PUBLIC WORKS DEPARTMENT

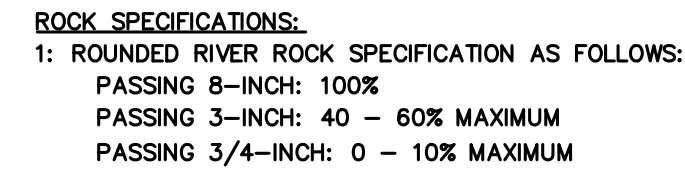
AS-BUILT DRAWING
AS-BUILT NOTE:
ONLY INFORMATION NOTED AS AS-BUILT "(AB)"
HAS BEEN PROVIDED BY CONTRACTOR

 220 West Champion Street, Suite 200 • 360.650.1408 Bellingham, WA 98225 • 360.650.1401 FREELAND & ASSOCIATES	
CLIENT: MICHAEL WATTERS 1016 CORDATA AVENUE BELLINGHAM, WASHINGTON CALL BEFORE YOU DIG FOR BURIED UTILITY LOCATIONS 1-800-424-5655	PROJECT LOCATION: 1655 MAIN STREET 1655 MAIN STREET FERDALE, WASHINGTON DRAWING #: 18054AB3.DWG DESIGNED BY: JPS DRAWN BY: DJP CHECKED BY: JPS
SHEET CONTENTS: SITE DETAILS	
JOB #: 18054 SHEET: C9	DATE: 4-23-2024

1. ALL STORM DRAIN CLEANOUT LIDS SHALL BE MARKED "STORM".
2. ALL SANITARY SEWER CLEANOUT LIDS SHALL BE MARKED "SEWER".



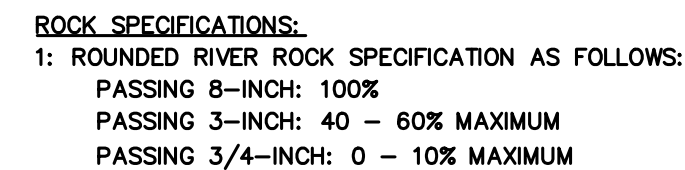
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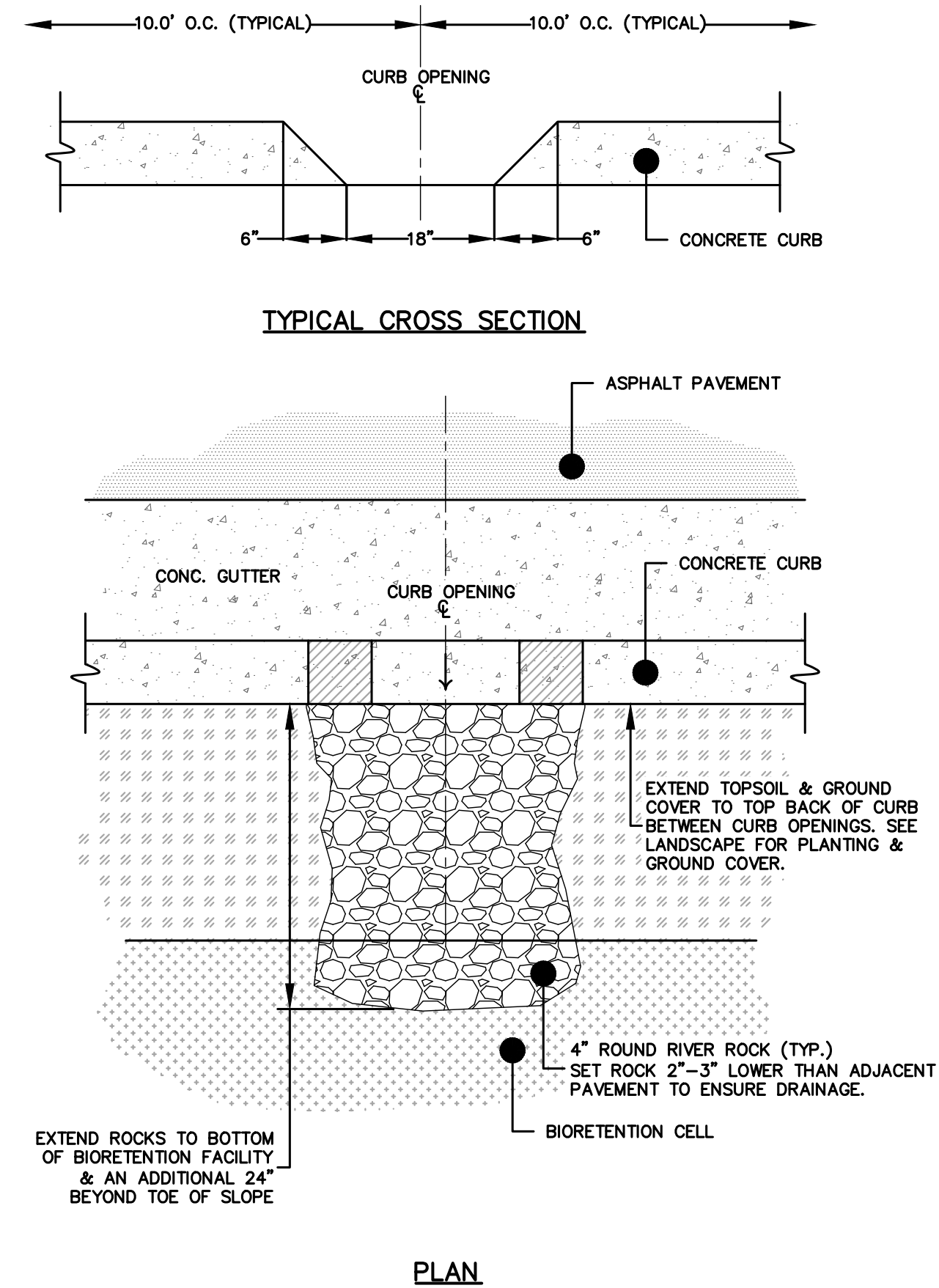
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AS-BUILT DRAWING



nts



A CURB OPENING AT BIORETENTION CELLS
nts

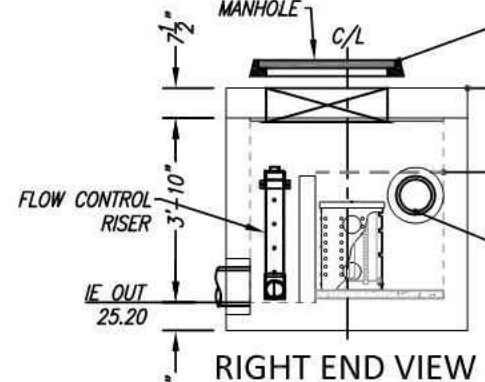
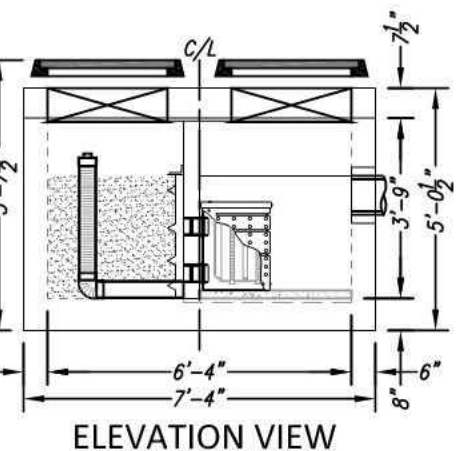
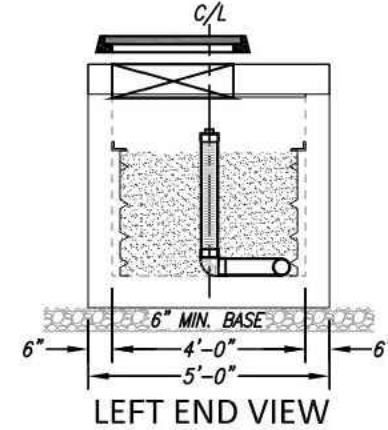
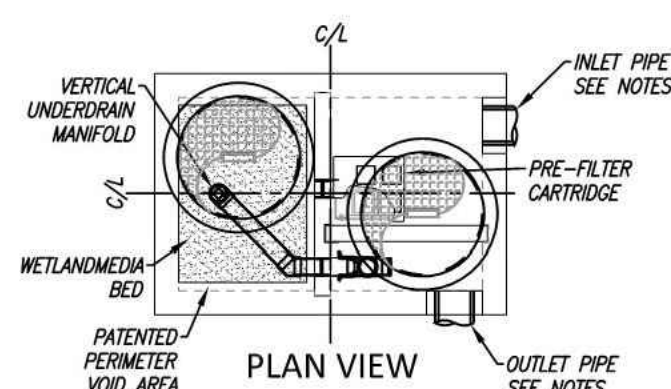
SITE SPECIFIC DATA			
PROJECT NUMBER	14350		
PROJECT NAME	1635 MAIN STREET		
PROJECT LOCATION	FERDALE, WA		
TREATMENT REQUIRED		FLOW RATE (CFS)	
VOLUME BASED (CF)		0.0319	
PEAK BYPASS REQUIRED (CFS) - IF APPLICABLE 0.0096			
PIPE DATA	I.E.	MATERIAL	DIAMETER
INLET PIPE	27.10	PVC	8"
OUTLET PIPE	25.20	PVC	8"
PRETREATMENT		BIOFILTRATION	DISCHARGE
RIM ELEVATION	30.25 (AB)	30.25 (AB)	30.25 (AB)
SURFACE LOAD	LOAD LEVEL 5 (ASTM C1802)		
FRAME & COVER	#30"	#30"	N/A
WETLAND/MEDIA VOLUME (CY)	0.93		
ORIFICE SIZE (DIA. INCHES)	5 EA #0.63"		
NOTES:			

INSTALLATION NOTES

- CONTRACTOR TO PROVIDE ALL LABOR, EQUIPMENT, MATERIALS AND INCIDENTALS REQUIRED TO OFFLOAD AND INSTALL THE SYSTEM AND APPURTENANCES IN ACCORDANCE WITH THIS DRAWING AND THE MANUFACTURERS SPECIFICATIONS, UNLESS OTHERWISE STATED IN MANUFACTURERS CONTRACT.
- UNIT MUST BE INSTALLED ON LEVEL BASE. MANUFACTURER RECOMMENDS A MINIMUM 6" LEVEL ROCK BED UNLESS SPECIFIED BY THE PROJECT ENGINEER. CONTRACTOR IS RESPONSIBLE TO VERIFY PROJECT ENGINEERS RECOMMENDED BASE SPECIFICATIONS.
- ALL PIPES MUST BE FLUSH WITH INSIDE SURFACE OF CONCRETE. PIPES CANNOT INTRUDE BEYOND FLUSH. INVERT OF OUTFLOW PIPE MUST BE FLUSH WITH DISCHARGE CHAMBER FLOOR. ALL GAPS AROUND PIPES SHALL BE SEALED WATER TIGHT WITH A NON-SHRINK GROUT PER MANUFACTURERS STANDARD CONNECTION DETAIL AND SHALL MEET OR EXCEED REGIONAL PIPE CONNECTION STANDARDS.
- CONTRACTOR TO SUPPLY AND INSTALL ALL EXTERNAL CONNECTING PIPES.
- CONTRACTOR RESPONSIBLE FOR INSTALLATION OF ALL RISERS, MANHOLES, AND HATCHES. CONTRACTOR TO GROUT ALL MANHOLES AND HATCHES TO MATCH FINISHED SURFACE UNLESS SPECIFIED OTHERWISE.
- DRIP OR SPRAY IRRIGATION REQUIRED ON ALL UNITS WITH VEGETATION.

GENERAL NOTES

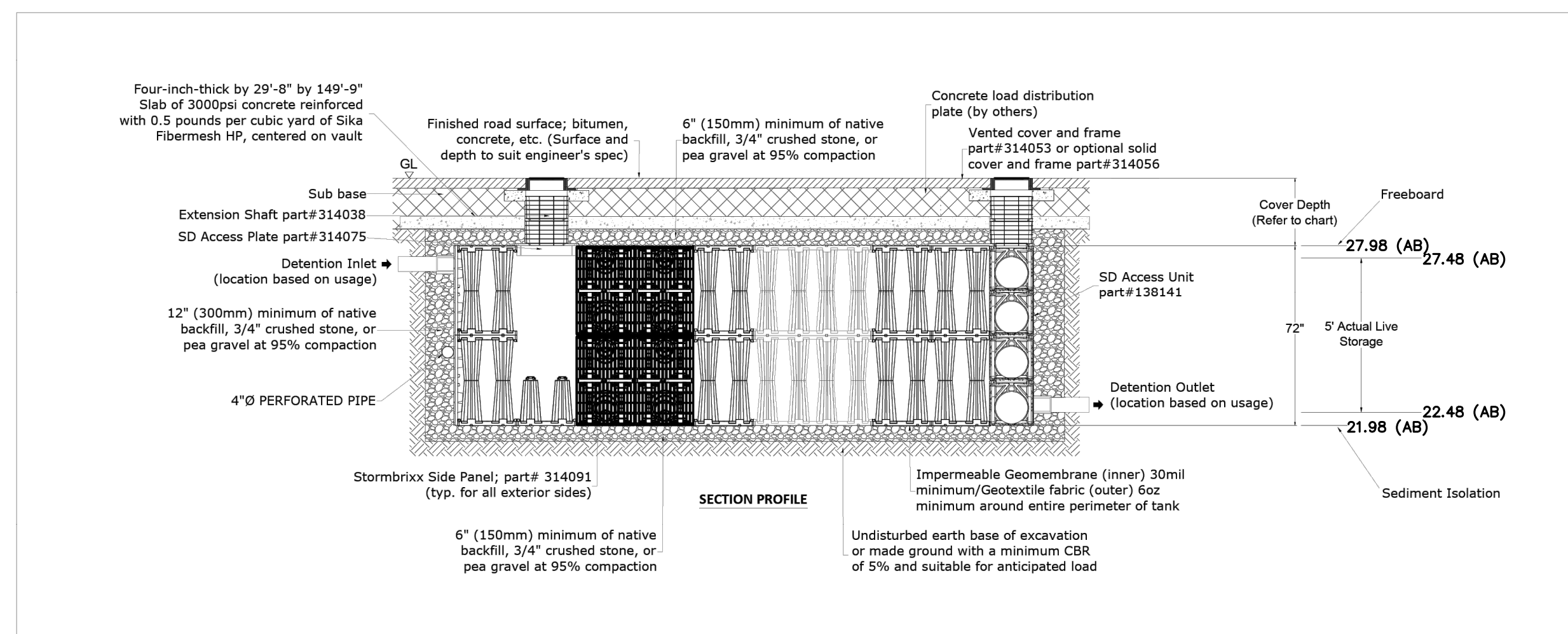
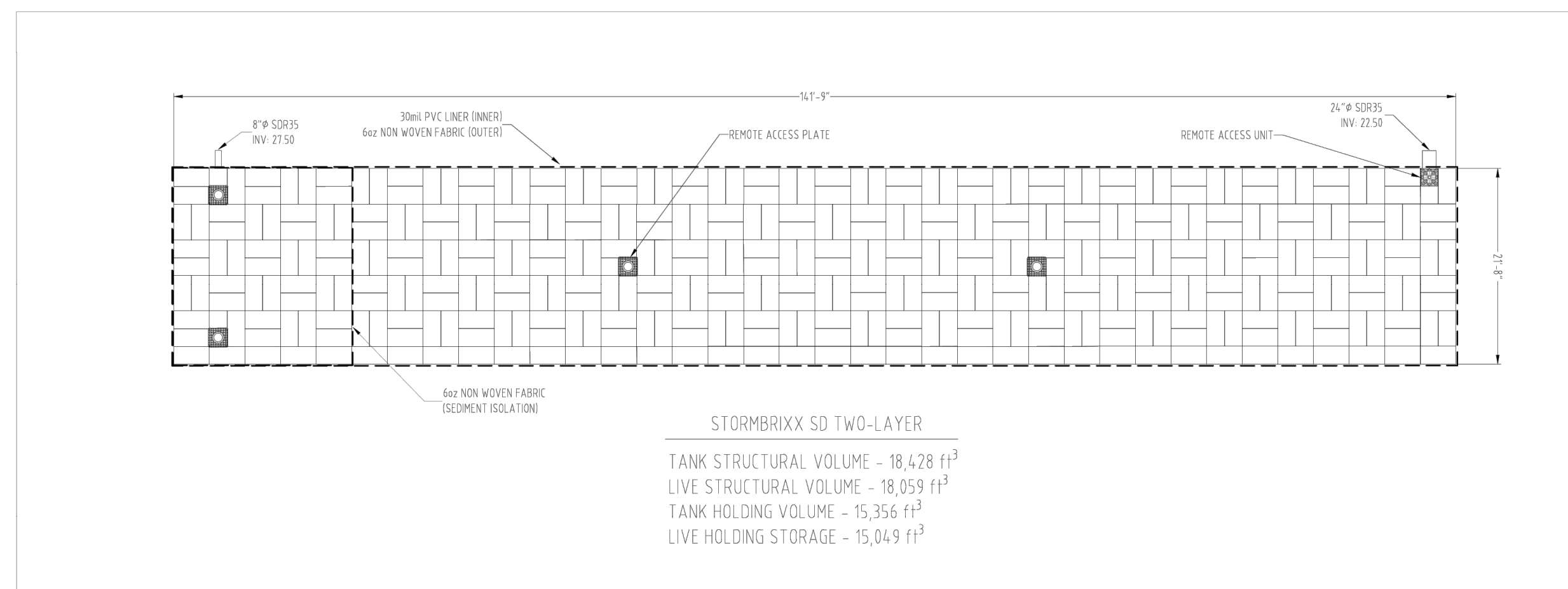
- MANUFACTURER TO PROVIDE ALL MATERIALS UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS, ELEVATIONS, SPECIFICATIONS AND CAPACITIES ARE SUBJECT TO CHANGE. FOR PROJECT SPECIFIC DRAWINGS DETAILING EXACT DIMENSIONS, WEIGHTS AND ACCESSORIES PLEASE CONTACT MANUFACTURER.



INTERNAL BYPASS DISCLOSURE:

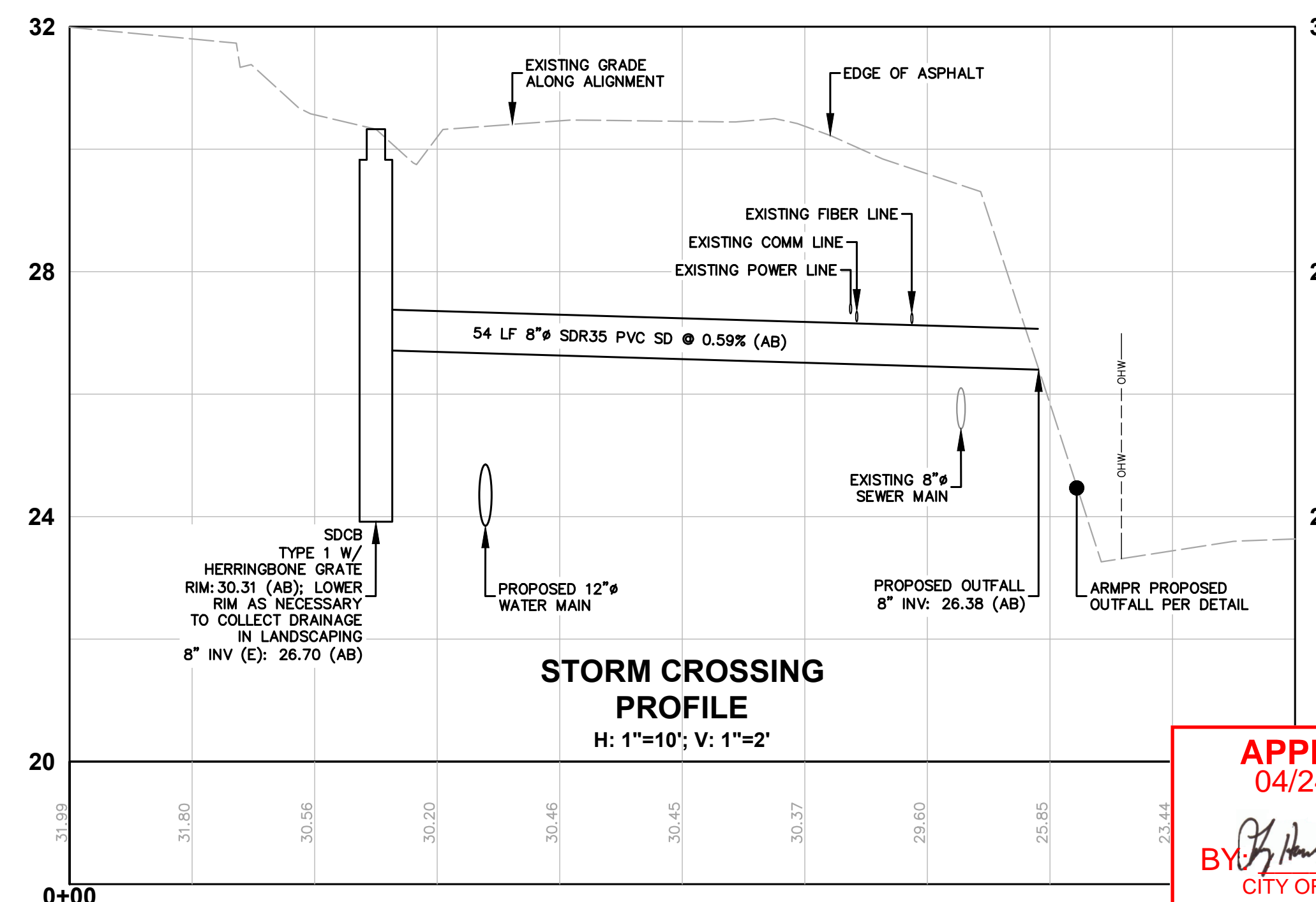
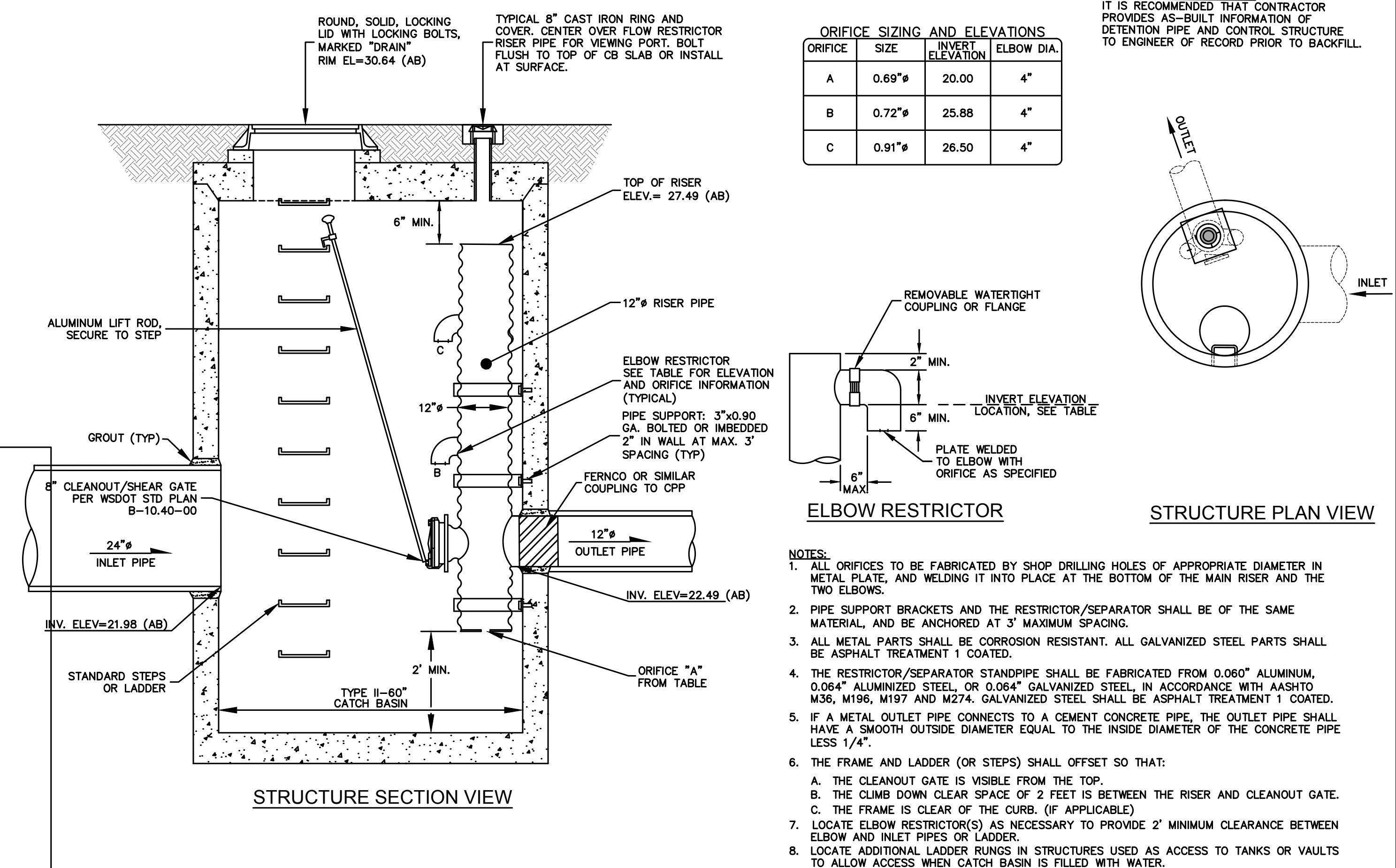
THE DESIGN AND CAPACITY OF THE PEAK CONVEYANCE METHOD TO BE REVIEWED AND APPROVED BY THE ENGINEER OF RECORD. HIGHS AT PEAK FLOW SHALL BE ASSESSED TO ENSURE NO UPSTREAM FLOODING. PEAK HGL AND BYPASS CAPACITY SHOWN ON DRAWING ARE USED FOR GUIDANCE ONLY.

THE PROJECT DESCRIBED MAY BE PROTECTED BY ONE OR MORE OF THE FOLLOWING US PATENTS: 7,425,362; 7,425,363; 7,425,376; 7,425,377; 7,425,378; 7,425,379; 7,425,380; 7,425,381; 7,425,382; 7,425,383; 7,425,384; 7,425,385; 7,425,386; 7,425,387; 7,425,388; 7,425,389; 7,425,390; 7,425,391; 7,425,392; 7,425,393; 7,425,394; 7,425,395; 7,425,396; 7,425,397; 7,425,398; 7,425,399; 7,425,400; 7,425,401; 7,425,402; 7,425,403; 7,425,404; 7,425,405; 7,425,406; 7,425,407; 7,425,408; 7,425,409; 7,425,410; 7,425,411; 7,425,412; 7,425,413; 7,425,414; 7,425,415; 7,425,416; 7,425,417; 7,425,418; 7,425,419; 7,425,420; 7,425,421; 7,425,422; 7,425,423; 7,425,424; 7,425,425; 7,425,426; 7,425,427; 7,425,428; 7,425,429; 7,425,430; 7,425,431; 7,425,432; 7,425,433; 7,425,434; 7,425,435; 7,425,436; 7,425,437; 7,425,438; 7,425,439; 7,425,440; 7,425,441; 7,425,442; 7,425,443; 7,425,444; 7,425,445; 7,425,446; 7,425,447; 7,425,448; 7,425,449; 7,425,450; 7,425,451; 7,425,452; 7,425,453; 7,425,454; 7,425,455; 7,425,456; 7,425,457; 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- ## NOTES

1. DETAILS AND STRUCTURAL CALCULATIONS WITHIN UPDATED STORMWATER SYSTEM LETTER ARE DIRECTLY FROM AOC INC.
2. CONTRACTOR TO COORDINATE WITH AOC INC. TO DESIGN THE PERFORATED FOOTING DRAIN TO COUNTERACT BUOYANCY OF SYSTEM
3. AOC INC. IS RESPONSIBLE FOR STRUCTURAL DESIGN OF SYSTEM WITH PROPOSED COVER AND HS-20 LOADING.
4. STRUCTURAL COMPONENTS OF STORMBRIXX SD SYSTEM TO BE REVIEWED AND APPROVED WITH A BUILDING PERMIT.

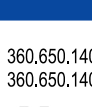


APPROVED
04/24/2024

BY: John Hanger For ICC in
CITY OF FERNDALE
PUBLIC WORKS DEPARTMENT

AS-BUILT DRAWING

AS-BUILT NOTE:
ONLY INFORMATION NOTED AS AS-BUILT "(AB)"
HAS BEEN PROVIDED BY CONTRACTOR



10 West Champion Street, Suite 200 t: 360.650.1408
 Ellensburg, WA 99225 f: 360.650.1401

FREELAND
 ASSOCIATES

[illegible]

MICHAEL WATTERS
1016 CORDATA AVENUE
BELLINGHAM, WASHINGTON

**CALL BEFORE YOU DIG
FOR BURIED UTILITY LOCATION**
1-800-424-5555

LOCATION: 1655 MAIN STREET
1655 MAIN STREET
FERNDALE, WASHINGTON

DRAWING #:	DRAWN BY:
1805-44B3.DWG	DJP
DESIGNED BY:	CHECKED BY:
JPS	JPS

STORM DETAILS

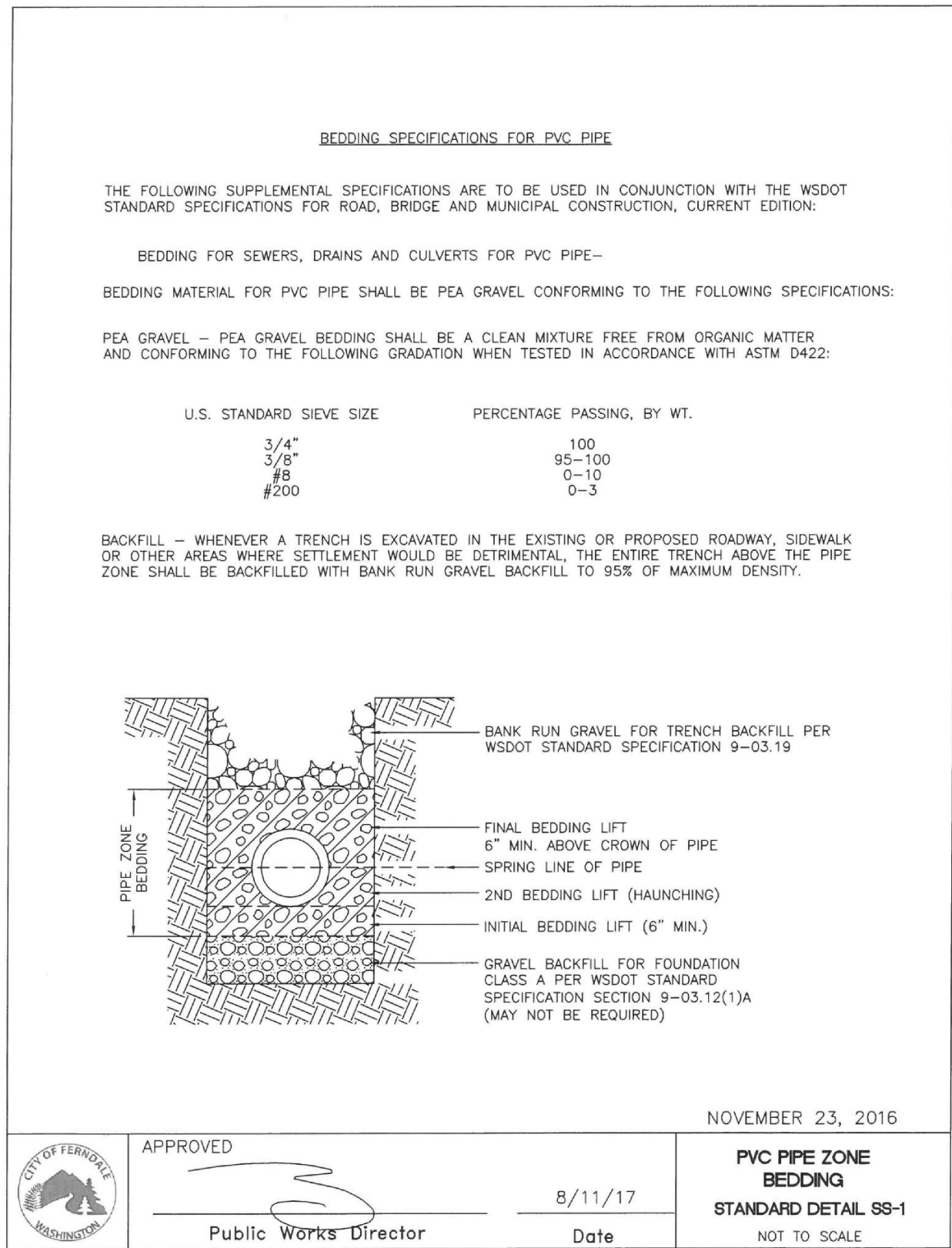
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18054	4-23-2024

SHEET: _____

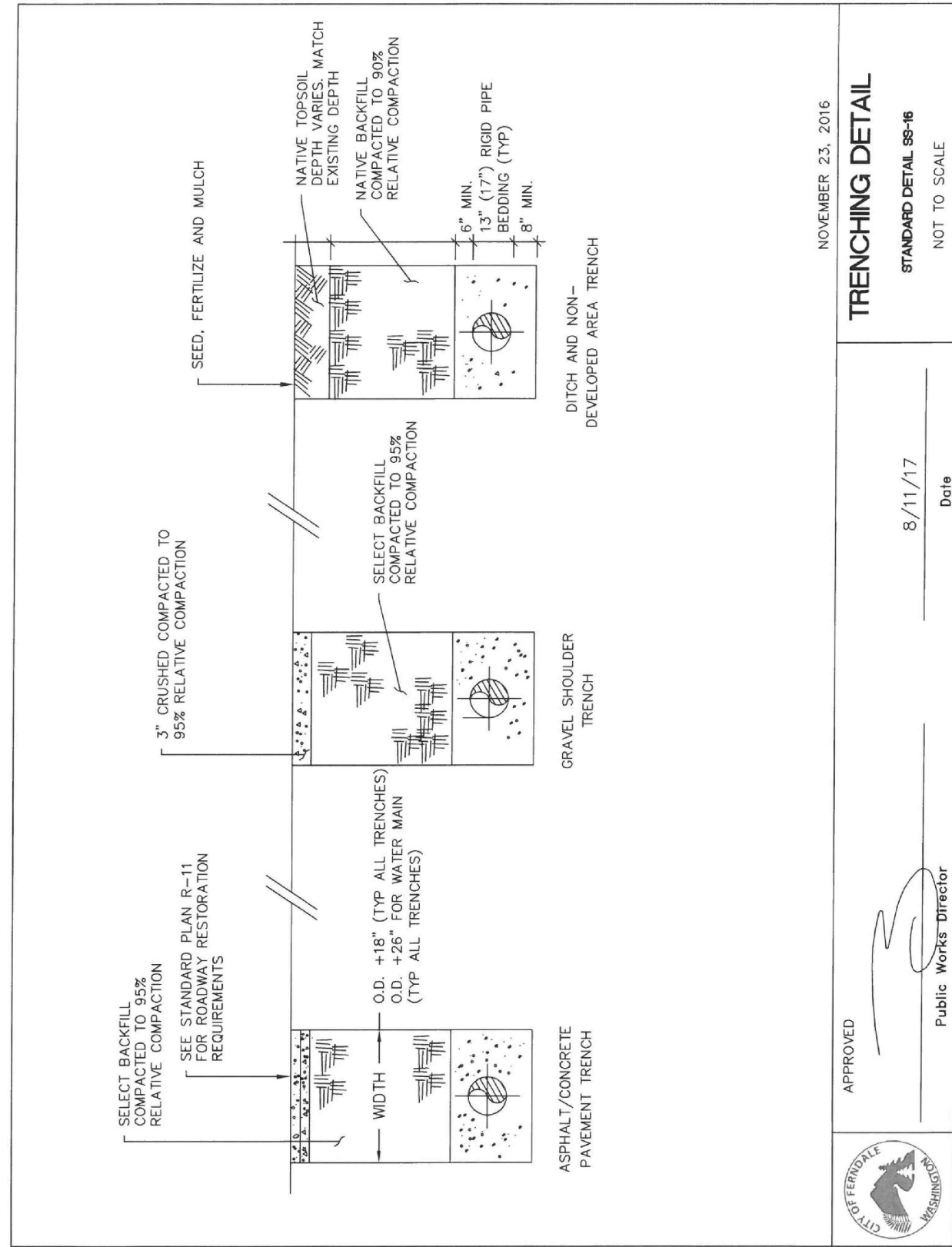
C12

C12

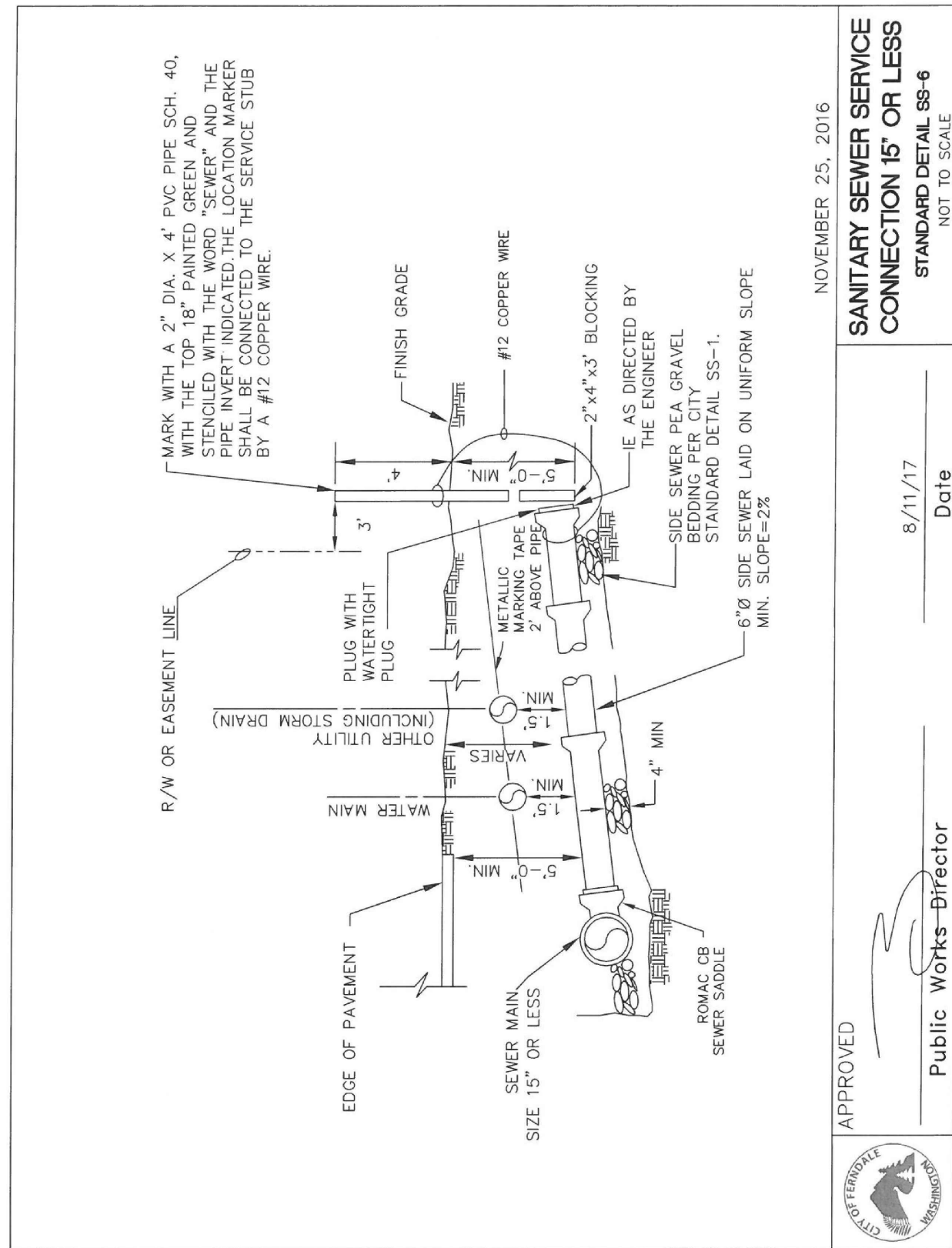
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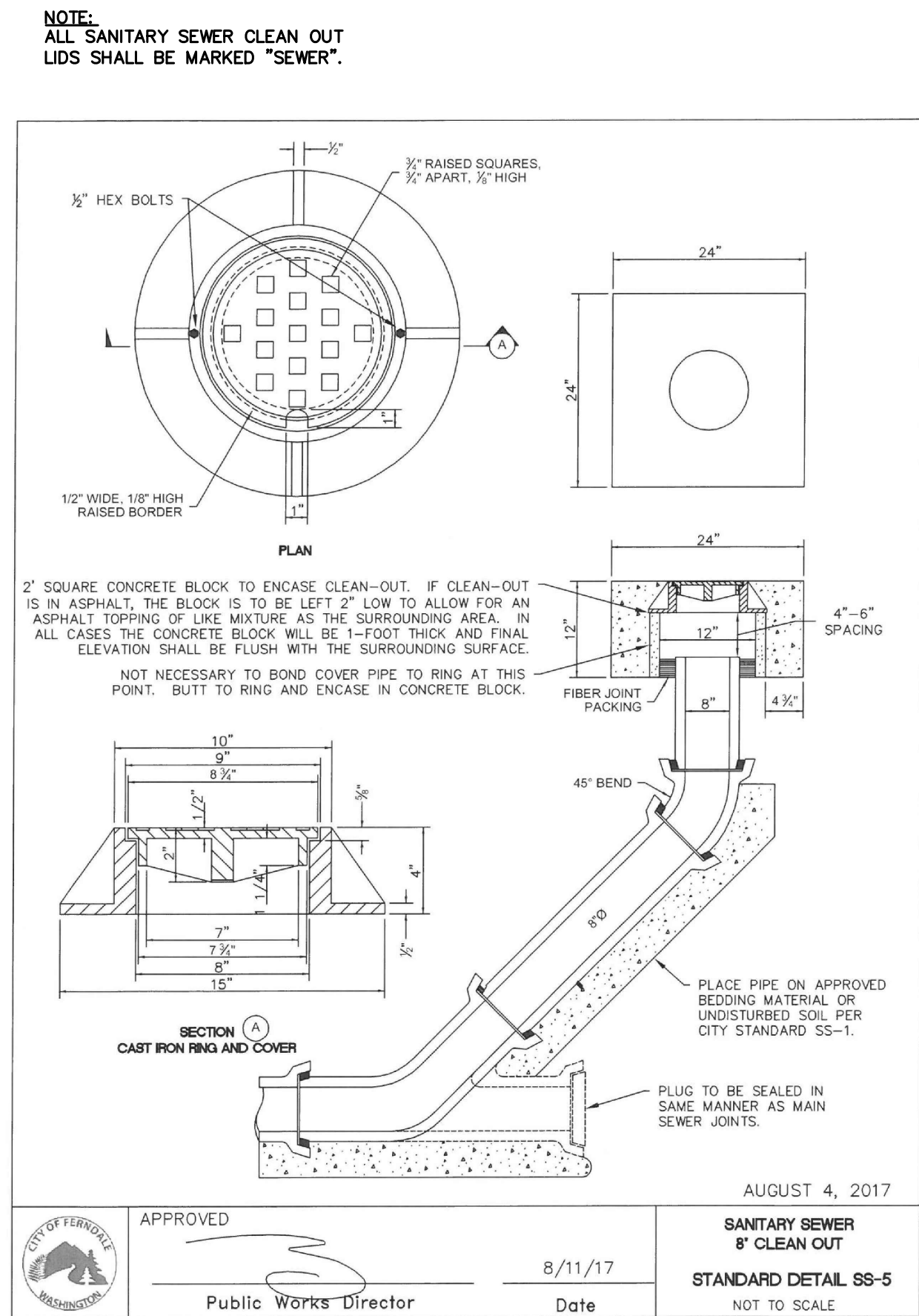
A PIPE ZONE BEDDING
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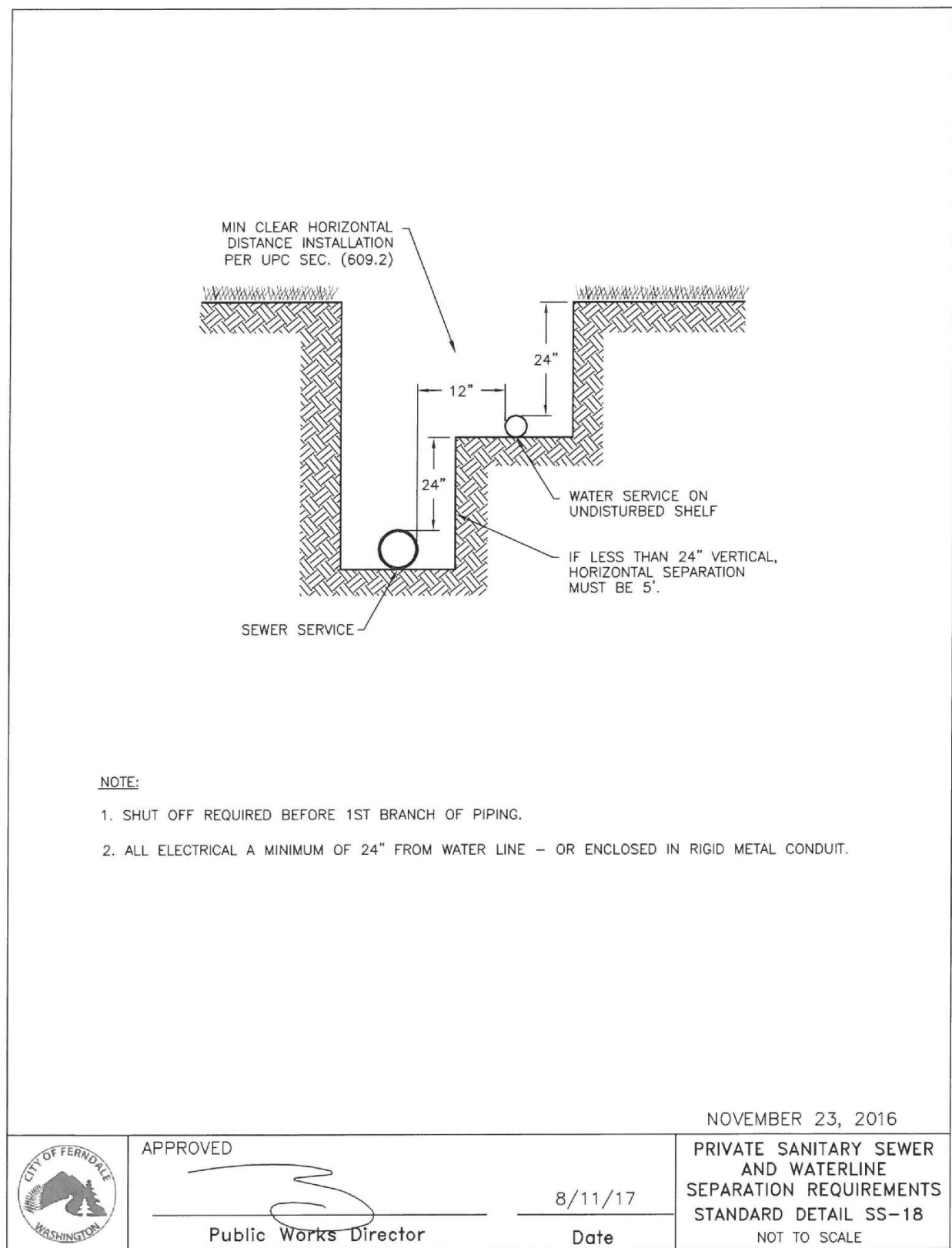
B SEWER TRENCHING
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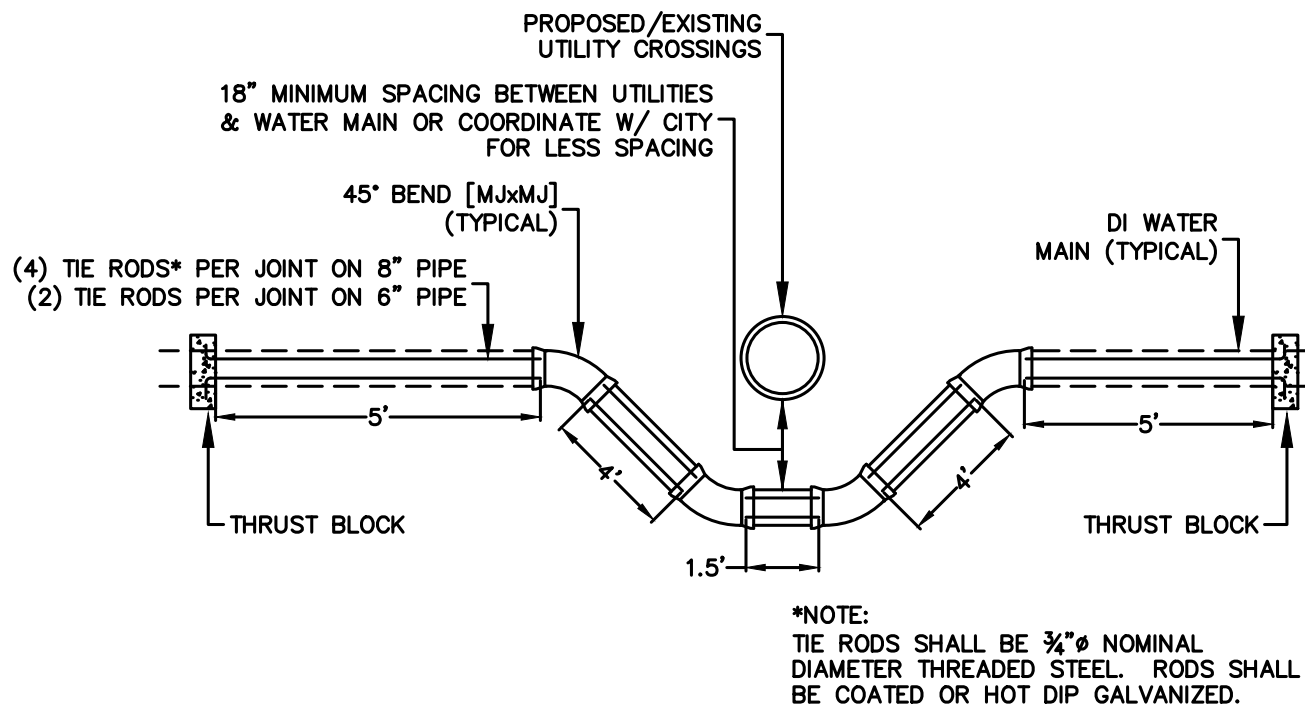
C SEWER SERVICE CONNECTION
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D SEWER CLEANOUT
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E PRIVATE SEWER & WATER SERVICE SEPARATION
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F STOVE PIPE
nts

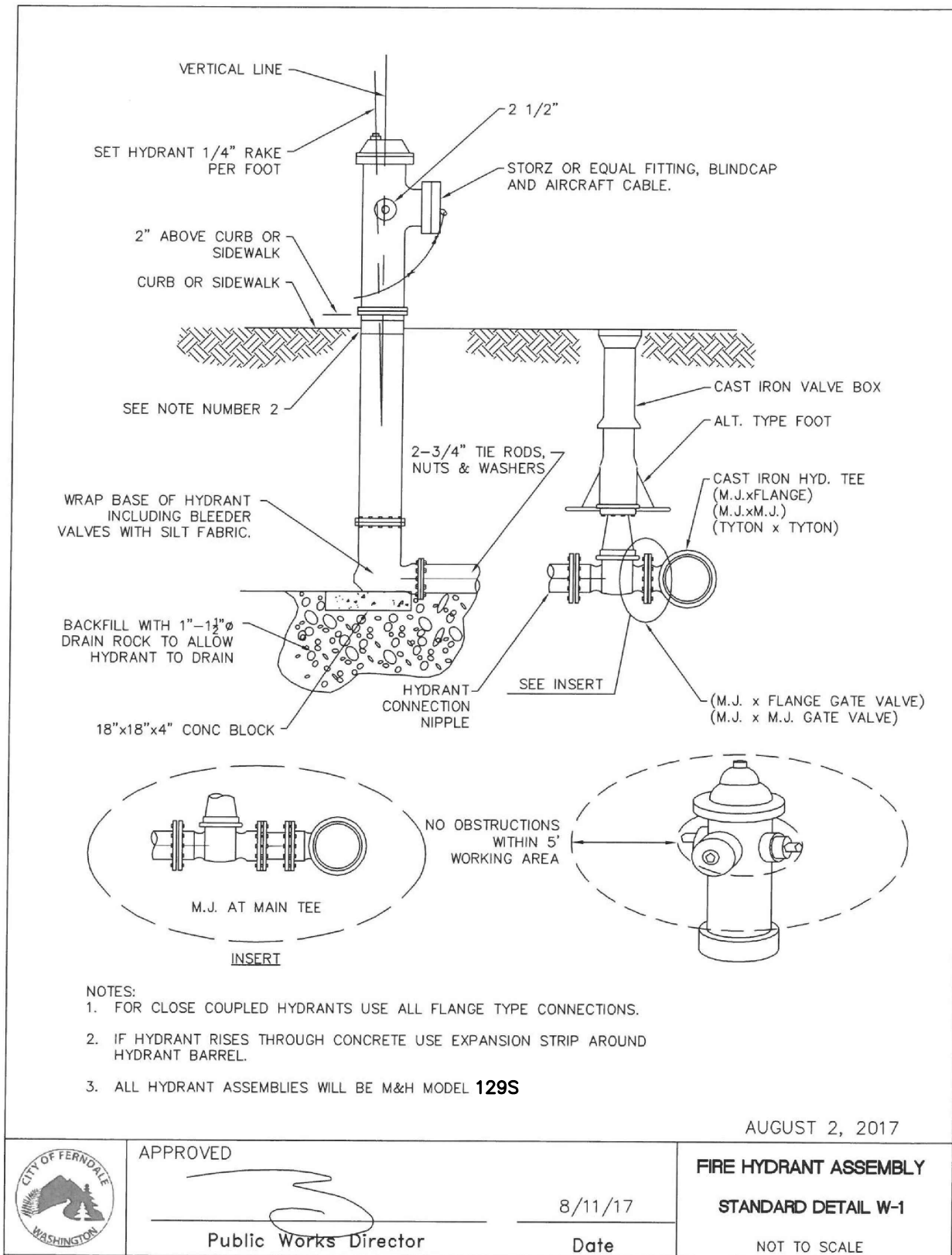


BY:	
DESCRIPTION:	
DATE:	
REV:	

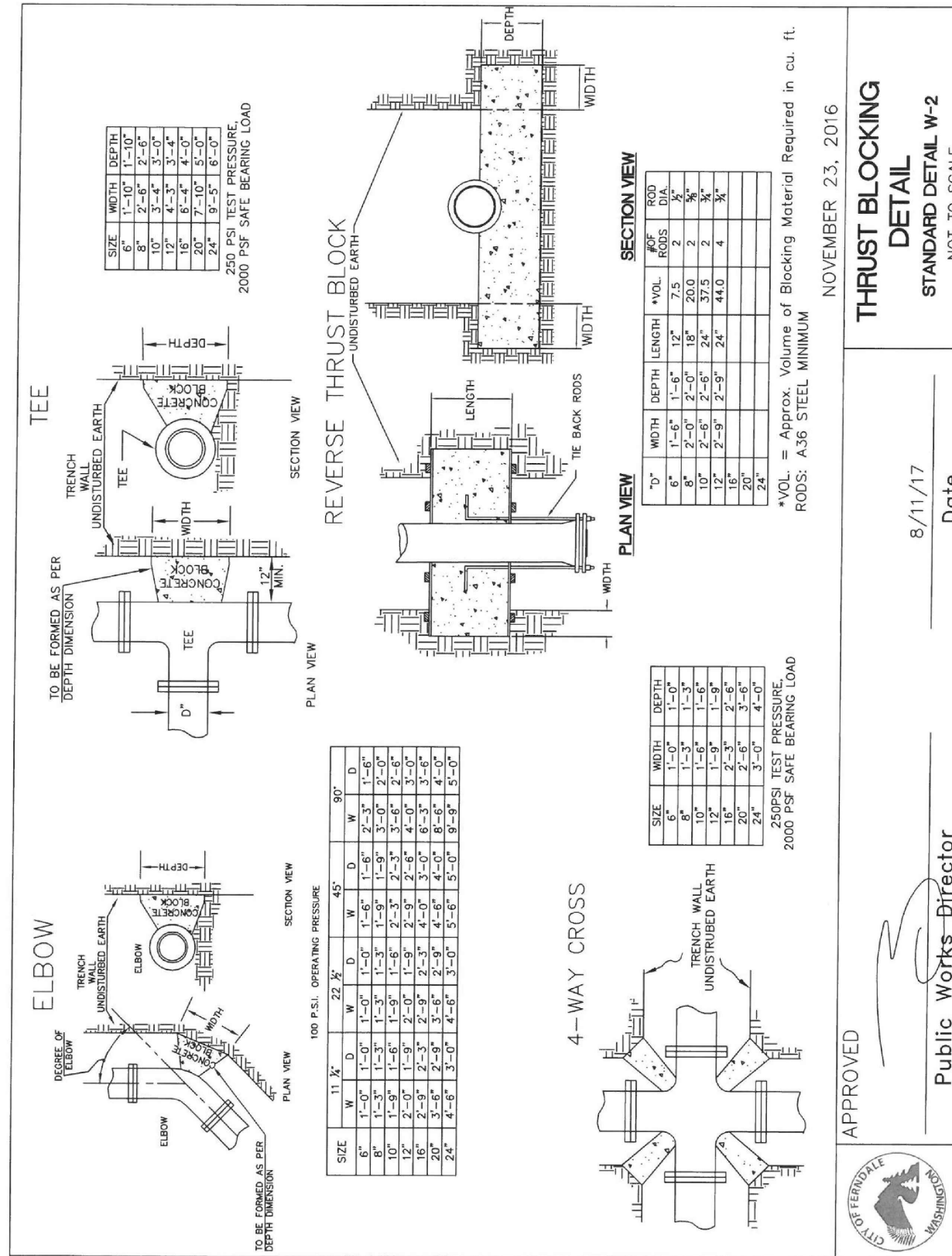
CLIENT:	MICHAEL WATERS 1016 CORDATA AVENUE BELLINGHAM, WASHINGTON
CALL BEFORE YOU DIG FOR BURIED UTILITY LOCATIONS 1-800-424-5655	

PROJECT LOCATION:	1655 MAIN STREET 1655 MAIN STREET FERNDAL, WASHINGTON
DRAWING #:	DJP
DESIGNED BY:	JPS

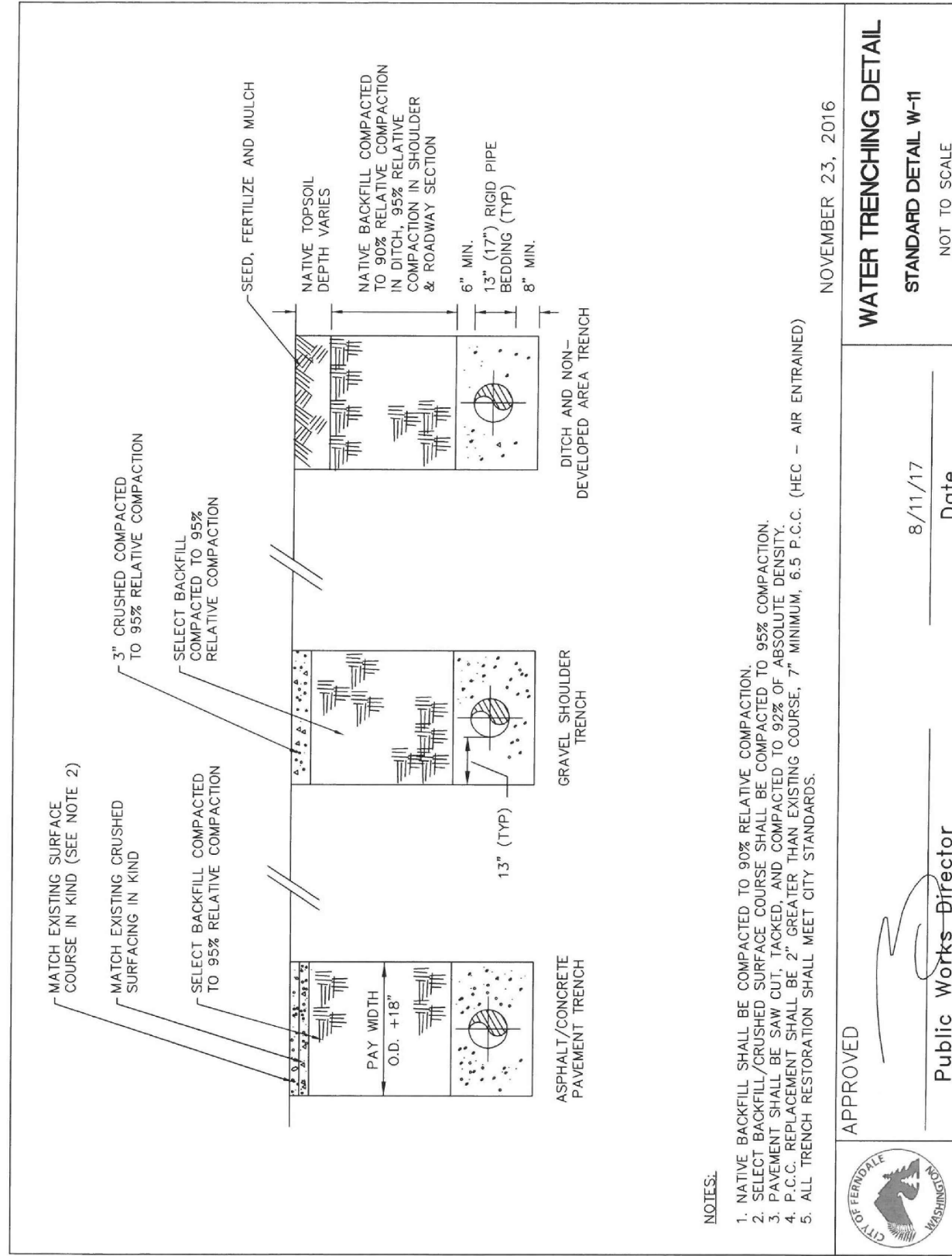
SHEET CONTENTS:	SEWER DETAILS
AS-BUILT DRAWING	
JOB #:	18054
DATE:	4-23-2024
SHEET:	C13



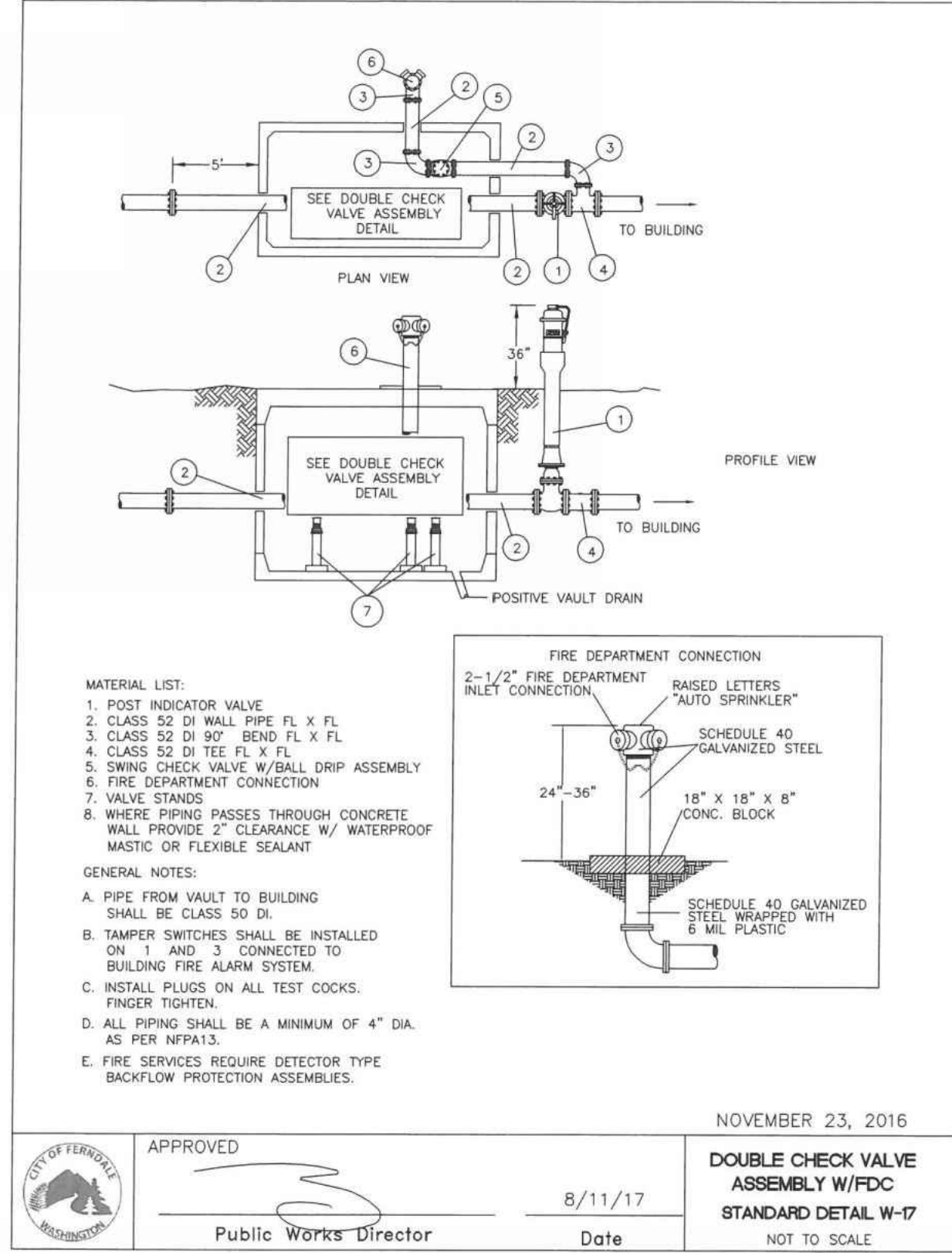
A FIRE HYDRANT ASSEMBLY



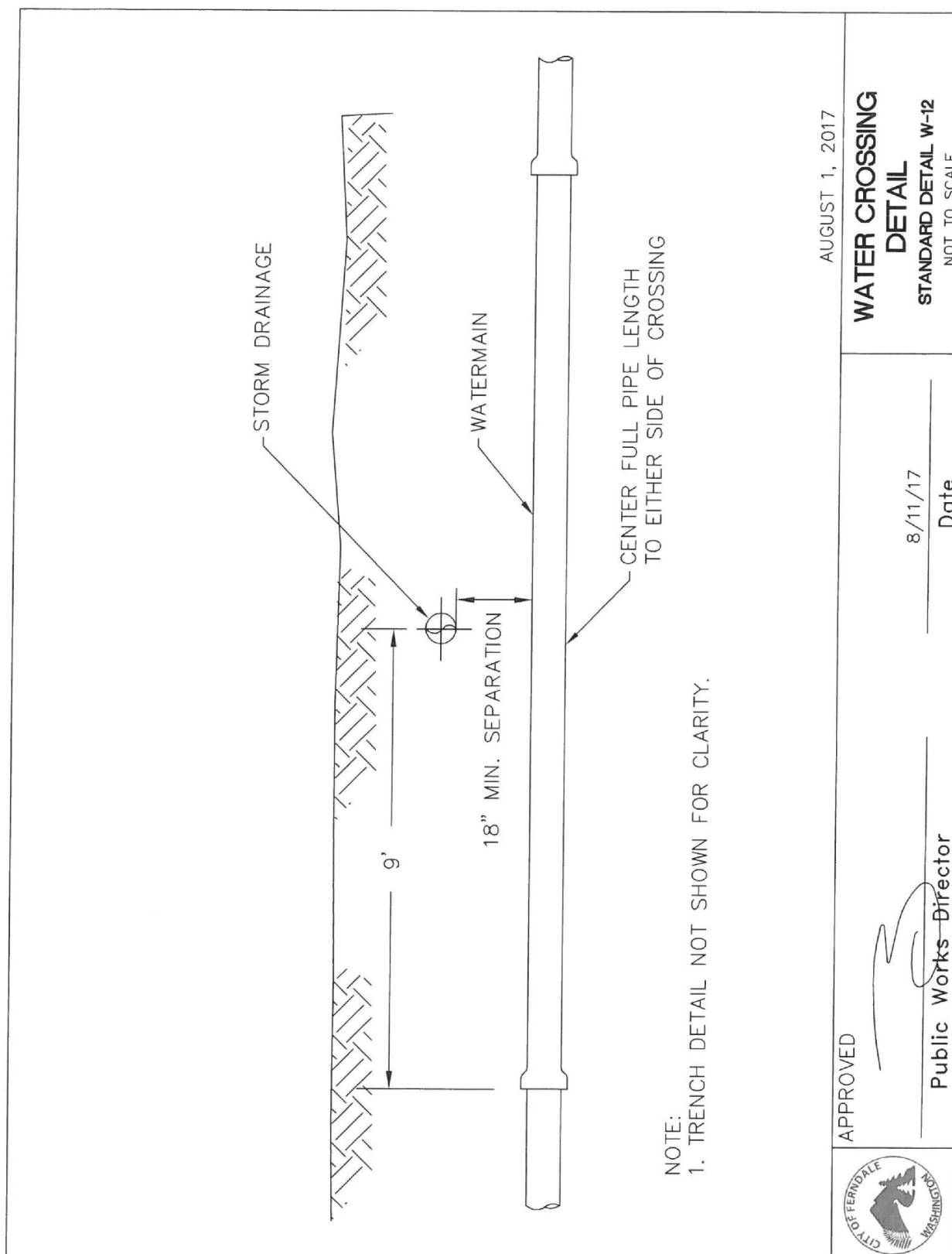
B THRUST BLOCKING



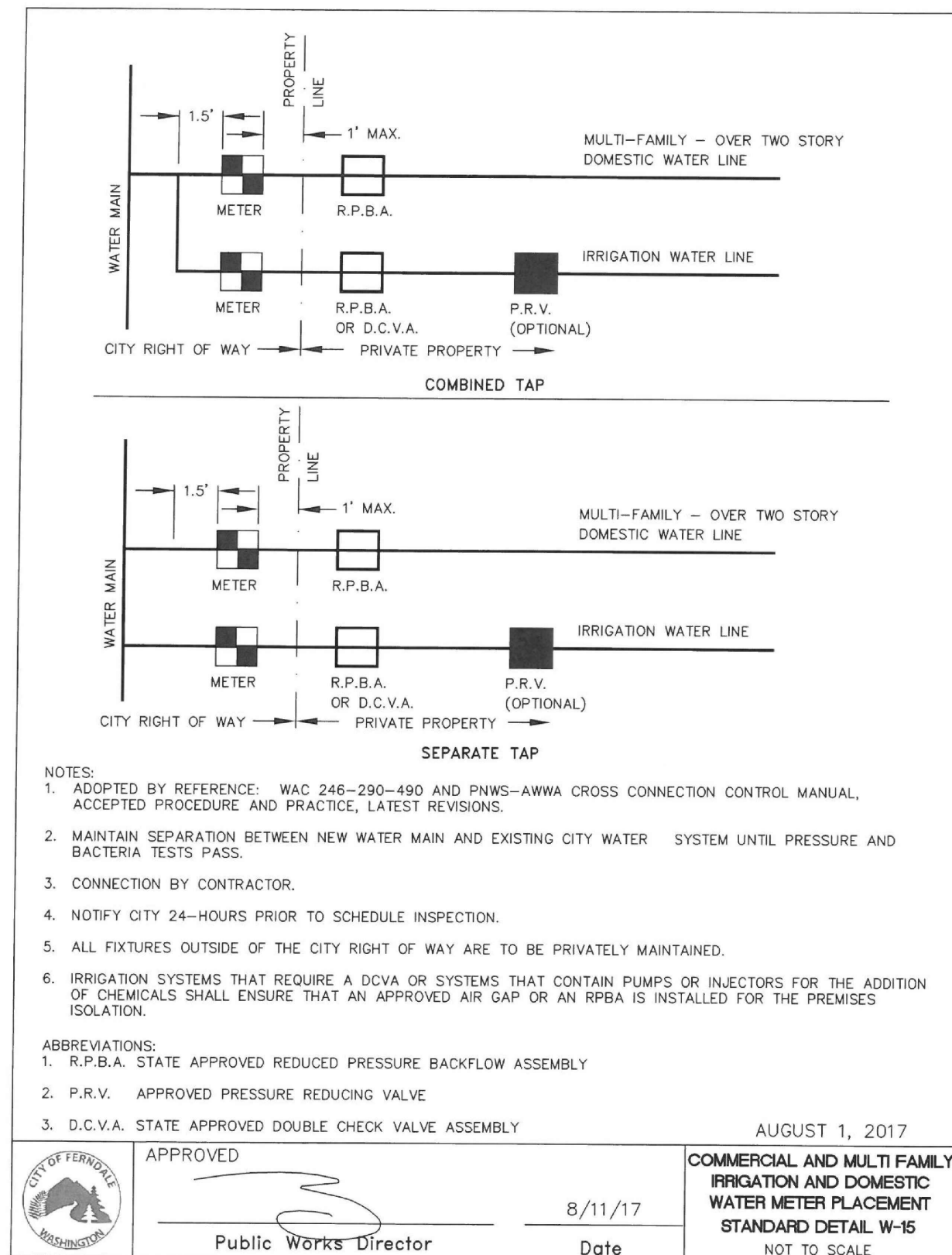
C WATER TRENCHING



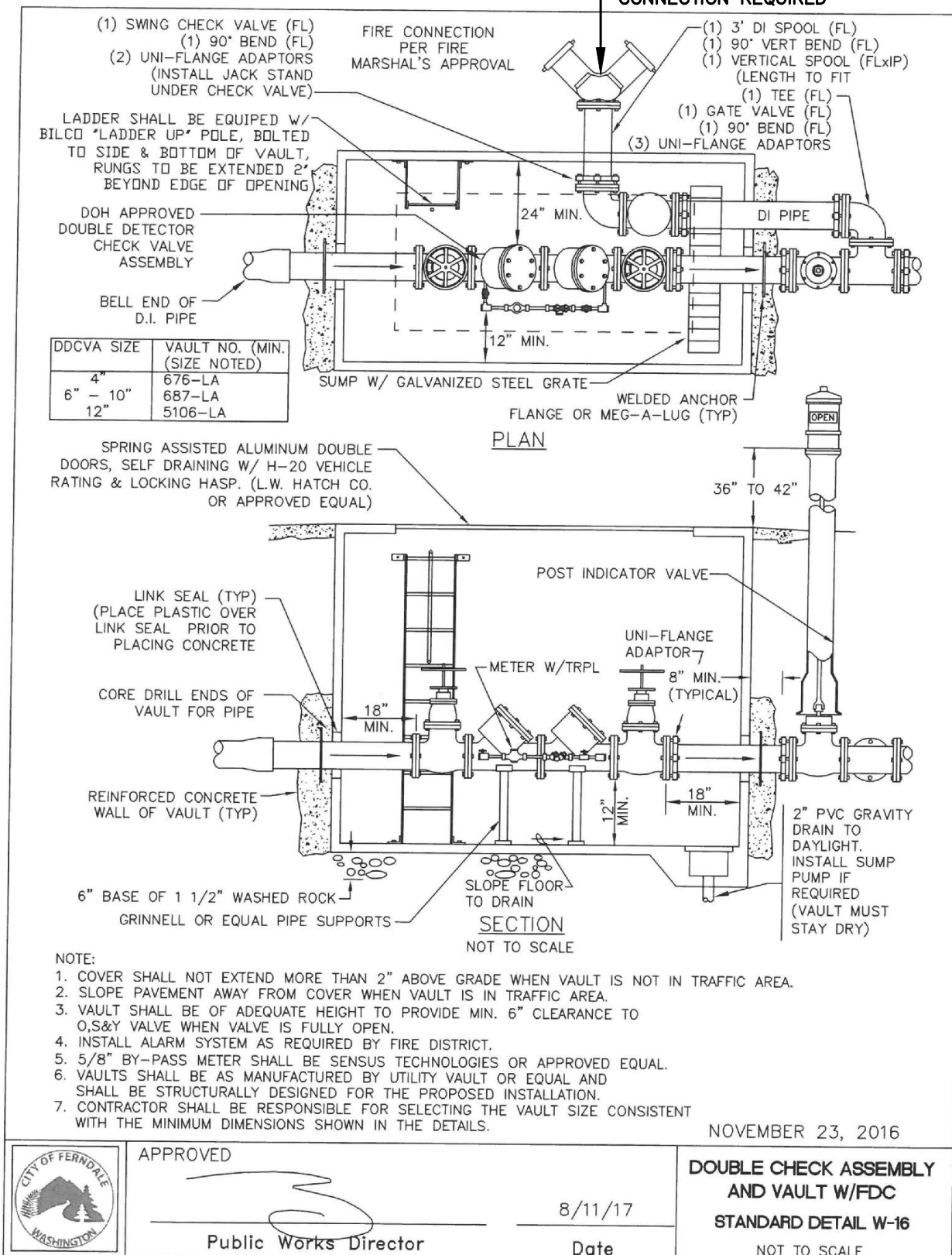
D FIRE DEPARTMENT CONNECTION



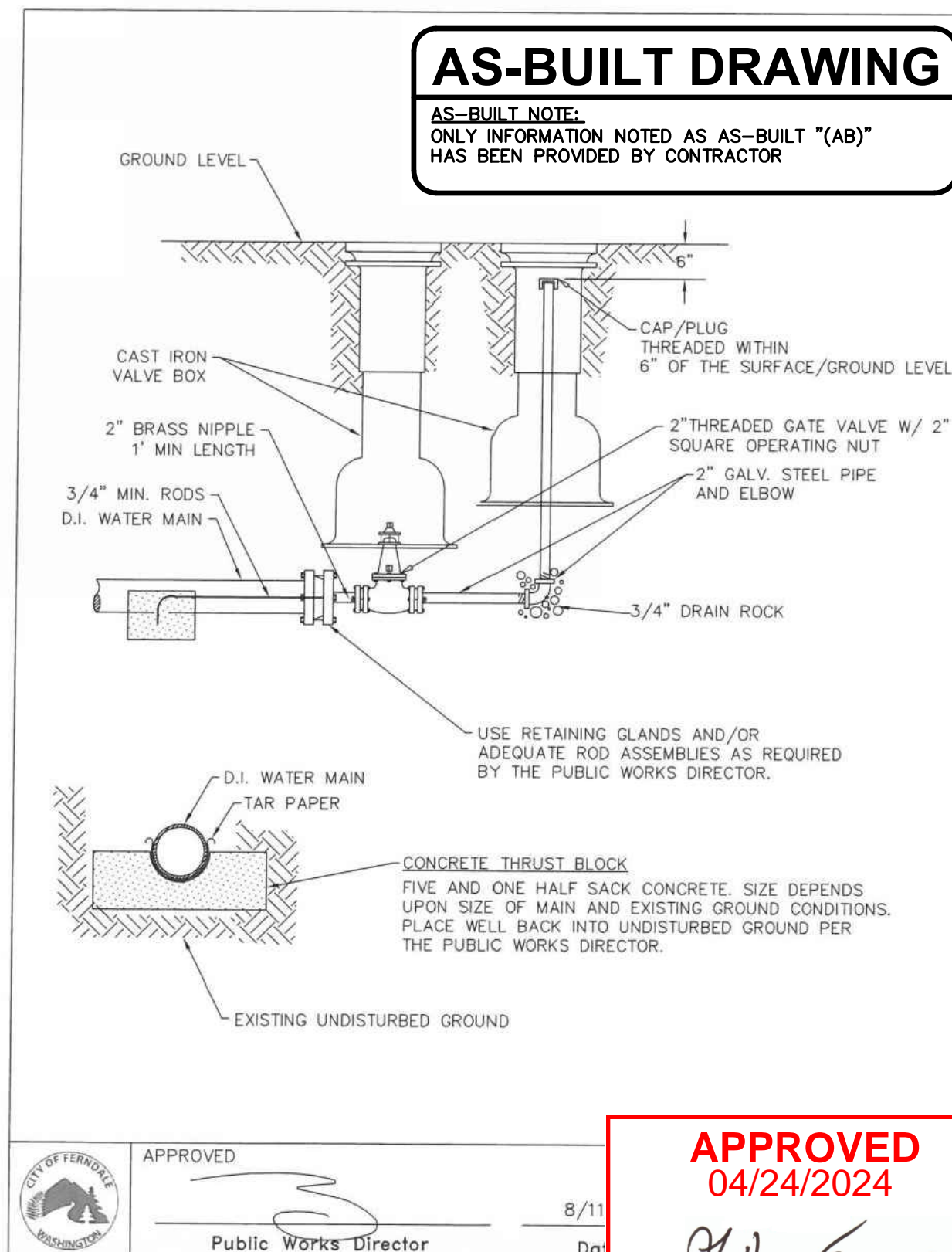
E UTILITY CROSSINGS AT WATER MAIN



F WATER METER PLACEMENT



G DOUBLE CHECK ASSEMBLY



H WATER MAIN BLOW-OFF



CLIENT:

MICHAEL WATERS

1016 CORONA AVENUE

BELLINGHAM, WASHINGTON

CALL BEFORE YOU DIG

FOR BURIED UTILITY LOCATIONS

1-800-424-5655

BY:

DATE:

DESCRIPTION:

REV:

DATE:

PROJECT LOCATION:

1655 MAIN STREET

1655 MAIN STREET

FERDALE, WASHINGTON

DRAWING #:

18054AB3.DWG

DRAWN BY:

JPS

CHECKED BY:

JPS

SHEET CONTENTS:

WATER DETAILS



JOB #:

18054

DATE:

4-23-2024

SHEET:

C14

