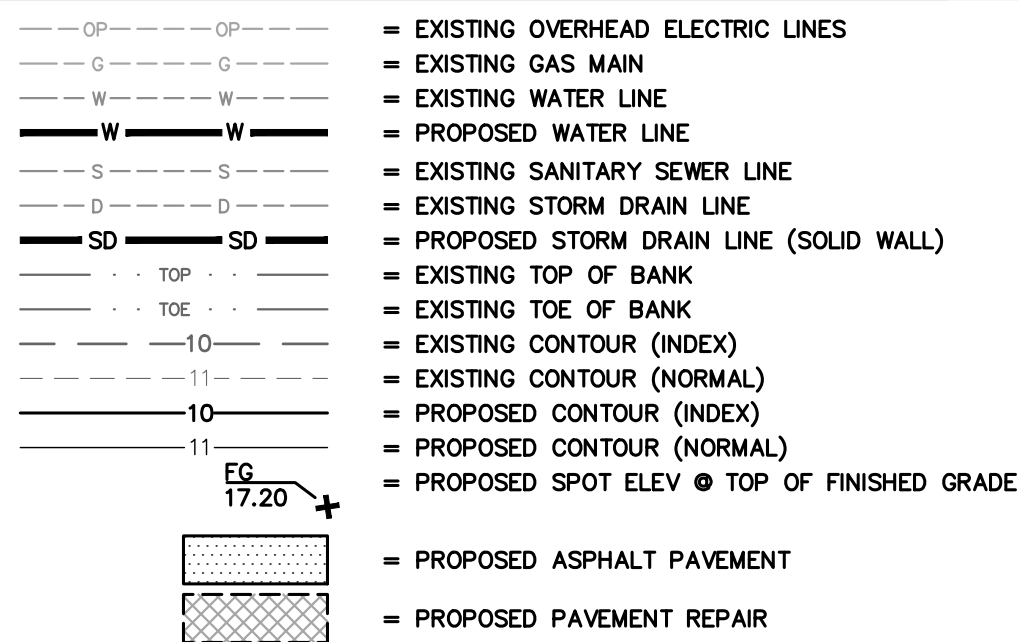


TRACT IN SW 1/4, NE 1/4, SECTION 33, TOWNSHIP 39 NORTH, RANGE 2 EAST OF W.M., WITHIN THE CITY OF FERNDALE, WHATCOM COUNTY, WASHINGTON

- = FOUND BRASS MON
- = FOUND CITY OF FERNDALE MONUMENT
- = SET 1/2" REBAR W/ PLASTIC CAP
- = FOUND REBAR AND CAP
- = EXISTING STORM DRAIN CATCH BASIN (TYPE 1)
- = PROPOSED STORM DRAIN CLEANOUT
- = PROPOSED STORM DRAIN CATCH BASIN
- = PROPOSED STORM DRAIN MANHOLE (TYPE 2)
- = PROPOSED 54" STORM DRAIN STRUCTURE
- = EXISTING SANITARY SEWER MANHOLE
- ⊕ = EXISTING WATER METER BOX
- ⊕ = EXISTING WATER VALVE
- ⊕ = EXISTING FIRE HYDRANT
- ⊕ = PROPOSED WATER VALVE
- ⊕ = PROPOSED WATER BLOW-OFF
- ⊕ = PROPOSED FIRE HYDRANT
- ⊕ = PROPOSED WATER BEND
- ⊕ = PROPOSED TEE OR CROSS
- ⊕ = EXISTING POWER/AND OR UTILITY POLE
- ⊕ = EXISTING MAIL BOX
- ⊕ = EXISTING TELEPHONE PEDESTAL
- ⊕ = EXISTING TREES
- = PROPOSED FLOW DIRECTION ARROW
- (X) = DETAIL CALLOUT



C1	COVER SHEET
C2	EXISTING CONDITIONS
C3	OVERALL PHASING PLAN
C4	TEMPORARY EROSION & SEDIMENT CONTROL PLAN (EAST)
C5	TEMPORARY EROSION & SEDIMENT CONTROL PLAN (WEST)
C6	TEMPORARY EROSION & SEDIMENT CONTROL DETAILS & SWPPP
C7	GRADING & DRAINAGE (EAST)
C8	GRADING & DRAINAGE (WEST)
C9	UTILITY PLAN (EAST)
C10	UTILITY PLAN (WEST)
C11	SITE DETAILS
C12	WATER DETAILS
C13	WATER CROSSING DETAIL
C14	PHASED PAVING PLAN

OWNER'S REPRESENTATIVE	SURVEYOR
BOO MARIS (360) 220-6545 boomarris@comcast.net	NORTHWEST SURVEYING & GPS, INC. JEROMY DEMEYER, PLS 407 5TH STREET LYNDEN, WA. 98264 (360) 354-1950 OFFICE jeromy@nwsurvey.com
CIVIL ENGINEER	PERMITTING COORDINATOR
FREELAND & ASSOCIATES, INC. J.P. SLAGLE, PE 220 W. CHAMPION ST., SUITE 200 BELLINGHAM, WA 98225 (360) 650-1408 jpslagle@freelandengineering.com	AVT CONSULTING, LLC ALI TAYSI FRANCINE ST LAURENT 1708 F STREET BELLINGHAM, WA 98225 ali@avtplaning.com (360) 527-9445
TAX PARCEL NO.	
390233 276/419 0000 390233 293/360 0000	

GENERAL REQUIREMENTS

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION, CURRENT EDITION AND THE CITY OF FERNDALE. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENT SHALL APPLY.
2. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THAT ALL REQUIRED PERMITS HAVE BEEN OBTAINED. CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWS ALL PLANS AND OTHER CONSTRUCTION DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES. THROUGHOUT THE PERIOD OF CONSTRUCTION, CONTRACTOR SHALL COMPLY WITH THE TERMS OF ALL PERMITS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING SUB-SURFACE CONDITIONS AND SOLTS TYPE.
4. THE SURVEYOR SHALL LAY OUT AND SET ANY CONSTRUCTION STAKES AND MARKS NEEDED TO ESTABLISH THE LINES, GRADES, SLOPES OR CROSS-SECTIONS AS SHOWN ON THE PLANS OR AS STAKED BY THE ENGINEER. ALL STRUCTURES AND GRADES WILL BE CLEARLY STAKED AND MARKED PRIOR TO CITY INSPECTION.
5. THE CONTRACTOR SHALL PROTECT ALL PRIVATE AND PUBLIC UTILITIES FROM DAMAGE RESULTING FROM THE WORK. THE CONTRACTOR SHALL RESTORE ALL PRIVATE AND PUBLIC PROPERTY DISRUPTED BY THE PROJECT IMMEDIATELY AFTER CONSTRUCTION.
6. WHEN THE CONTRACTOR CONSIDERS THE WORK PHYSICALLY COMPLETE AND READY FOR FINAL INSPECTION, THE CONTRACTOR SHALL REQUEST THAT CITY INSPECTOR SCHEDULE A FINAL INSPECTION. THE INSPECTOR WILL MAKE A FINAL INSPECTION AND NOTIFY THE CONTRACTOR IN WRITING OF ALL PARTICULARS IN WHICH THE FINAL INSPECTION REVEALS THE WORK INCOMPLETE OR UNACCEPTABLE. THE CONTRACTOR SHALL IMMEDIATELY TAKE SUCH CORRECTIVE MEASURES AS ARE NECESSARY TO REMEDY THE LISTED DEFICIENCIES.
7. BEFORE ANY CONSTRUCTION OR DEVELOPMENT ACTIVITY A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE CONTRACTOR, OWNER, CITY ENGINEER AND PROJECT ENGINEER. (MINIMUM 3 DAYS PRIOR TO STARTING WORK)
8. A COPY OF THESE APPROVED PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, TRAFFIC CONTROL EQUIPMENT, FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH AND SAFETY OF THE PUBLIC, AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK COVERED BY THE CONTRACTOR. ANY WORK WITHIN THE TRAVELED RIGHT-OF-WAY THAT MAY INTERRUPT NORMAL TRAFFIC FLOW SHALL REQUIRE AT LEAST ONE FLAGGER FOR EACH LANE OF TRAFFIC AFFECTED. ALL SECTIONS OF THE WSDOT STANDARD SPECIFICATIONS 1-07.23 FOR PUBLIC CONVENIENCE AND SAFETY, SHALL APPLY.
10. PROOF OF LIABILITY INSURANCE SHALL BE SUBMITTED TO THE CITY PRIOR TO THE PRE-CONSTRUCTION MEETING.
11. NO WORK SHALL OCCUR BETWEEN 7:00 PM & 7:00 AM.
12. ALL HARD SURFACED PAVEMENTS MUST BE REPAIRED AT THE CLOSE OF EACH WORK DAY. THE REPAIRS CAN BE TEMPORARY WITH ASPHALT COLD MIX OR PERMANENT WITH HOT MIX ASPHALT OR CONCRETE. ALL REPAIRS SHALL BE ACCORDING TO CITY OF FERNDALE DRAWING R-11.
13. ALL WORK MUST BE INSPECTED BY A REPRESENTATIVE OF THE CITY OF FERNDALE ENGINEERING DIVISION, AND 24 HOURS NOTICE MUST BE GIVEN PRIOR TO STARTING WORK OR TO SCHEDULE INSPECTIONS IN ACCORDANCE WITH SECTION 302 OF THE DEVELOPMENT STANDARDS.
14. THE CONTRACTOR SHALL INFORM THE ENGINEER AND OBTAIN APPROVAL FROM THE CITY OF FERNDALE PUBLIC WORKS DIRECTOR OF ANY PROPOSED DEVIATION FROM THE APPROVED PLANS PRIOR TO CONSTRUCTION OF THE REVISED IMPROVEMENTS. THE CONTRACTOR SHALL KEEP RECORDS OF ALL DEVIATIONS AND SHALL FORWARD THEM TO THE ENGINEER AND TO THE CITY OF FERNDALE PUBLIC WORKS DEPARTMENT.
15. AS-BUILT DATA SHALL BE PROVIDED TO THE CITY OF FERNDALE UPON COMPLETION OF CONSTRUCTION AND PROVIDED IN CITY OF FERNDALE DATUM-VERTICAL (NGVD 29) AND HORIZONTAL (NAD 83/91). CONTACT THE CITY FOR MORE INFORMATION ON SUBMITTAL REQUIREMENTS.
16. METHOD OF SURVEY, SURVEY DATA, AND SURVEY EQUIPMENT UTILIZED TO CREATE THE BASE MAP/EXISTING CONDITIONS ARE NOTED ON SHEET C2 OF THIS PLAN SET.

GENERAL REQUIREMENTS CONTINUED

17. THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE. CALL 1-800-424-5555 FOR UTILITY LOCATES 48 HOURS PRIOR TO WORK. CONTRACT TO HOLD. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DAMAGE TO ANY UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF ALL ADJACENT UTILITIES WHICH INCLUDE BUT ARE NOT LIMITED TO: WATER, SEWER, STORM SEWER, POWER, TELEPHONE, CABLE TV, IRRIGATION, AND STREET LIGHTING. CONTRACTOR SHALL RESTORE ALL PRIVATE AND PUBLIC PROPERTY DISTURBED BY THE PROJECT UPON COMPLETION OF THE PROJECT.
 18. A REVOCABLE ENCROACHMENT PERMIT SHALL BE OBTAINED PRIOR TO COMMENCING WORK IN THE PUBLIC RIGHT-OF-WAY.
 19. POT HOLDING ALL EXISTING UTILITIES IS REQUIRED PRIOR TO CONSTRUCTION TO VERIFY DESIGN FEASIBILITY. THE CITY DOES NOT GUARANTEE AS BUILT INFORMATION IN THE CITY DATA BASE IS ACCURATE AND WILL NOT BE HELD RESPONSIBLE IF FIELD MODIFICATIONS AND/OR ADDITIONAL COSTS ARE REQUIRED BECAUSE POTHOLES WAS NOT DONE PRIOR TO DESIGN.
 20. THE PROPOSED STORM POND & STORM WATER IMPROVEMENTS HAVE BEEN DESIGNED TO MEET OR EXCEED DOW STORM WATER REQUIREMENTS FOR THE ENTIRE CURRENT AND FUTURE DEVELOPMENT OF THE LABOURY SELF-STORAGE (HOME STORAGE) SITE INCLUDING POSSIBLE FUTURE LABOURY FRONTAGE IMPROVEMENTS. ANY FUTURE DEVELOPMENT PROPOSALS FOR THIS SITE WILL TRIGGER LABOURY FRONTAGE IMPROVEMENTS OR OTHER AS DETERMINED BY THE PUBLIC WORKS DIRECTOR.
- BASES**
5. GRAVEL BASE AND GRAVEL BALLAST USED FOR TRENCH BACKFILL AND ROAD CONSTRUCTION MUST MEET CURRENT WSDOT REGULATIONS AND SPECIFICATIONS.
 6. BALLAST, GRAVEL BASE AND CRUSHED SURFACING SHALL BE COMPACTED TO AT LEAST 95% OF ITS MAXIMUM DRY DENSITY.
 7. THE CONTRACTOR OR PROPONENT SHALL BE RESPONSIBLE FOR ALL COMPACTION TESTING. PRIOR TO IMPORTING OF MATERIAL FOR BASE AND C&G THE CONTRACTOR SHALL PROVIDE EVIDENCE OF SATISFACTORY PASSING GRADING AND DEGRADATION TEST RESULTS TO THE ENGINEER.

PAVEMENTS

1. WHERE SHOWN ON THE PLANS, PAVEMENT MARKINGS SHALL BE OBLITERATED UNTIL BLEMISHES CAUSED BY THE PAVEMENT MARKING REMOVAL CONFORM TO THE COLORATION OF THE ADJACENT PAVEMENT.
2. SOIL RESIDUAL HERBICIDE SHALL BE PLACED WITHIN 24 HOURS OF PAVING.
3. A TACK COAT OF ASPHALT SHALL BE APPLIED BETWEEN ALL COURSES OF ASPHALT.
4. ALL PAVEMENT REPAIR SHALL BE SAW-CUT BEFORE REMOVAL. AR-4000W SHALL BE APPLIED TO ALL EDGES OF EXISTING PAVEMENT.
5. ASPHALT CONCRETE PAVEMENT SHALL NOT BE PLACED NOR COMPACTED DURING HOURS OF DARKNESS.
6. SUBGRADE SHALL BE CERTIFIED IN WRITING BY THE ENGINEER PRIOR TO PAVING.

WATER MAINS

1. TEST PRESSURE FOR WATERMAIN ACCEPTANCE SHALL BE 225 p.s.i. AT THE HIGHEST POINT ON THE WATER LINE AND SHALL BE DONE ACCORDING TO CITY OF FERNDALE REQUIREMENTS. ALL PURIFICATION ACCEPTANCE TESTING SHALL ACCORDING TO CITY OF FERNDALE REQUIREMENTS. THE PIPE WILL NOT BE PASSED UNTIL A SPECTRUM ANALYSIS IS OBTAINED FOR TWO CONSECUTIVE TESTS 24 HOURS APART.
2. ALL WORK AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF FERNDALE DEVELOPMENT STANDARDS SECTIONS 702 AND 705 AND THE MOST RECENT VERSION OF WSDOT STANDARD SPECIFICATIONS.
3. ALL BACKFILL SHALL BE IMPORTED GRAVEL AND SHALL CONFORM TO SECTION 2-09 OF THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION.
4. ALL PIPES SHALL HAVE A MINIMUM COVER OF 3.0 FEET AND A MAXIMUM OF 3.5 FEET UNLESS OTHERWISE APPROVED.

EARTHWORK

1. THE CONTRACTOR SHALL CLEAR, GRUB AND CLEAN UP THOSE AREAS SHOWN ON THE PLANS.
2. THE CONTRACTOR SHALL EXCAVATE AND GRADE TO THE ALIGNMENT, GRADE AND CROSS-SECTIONS SHOWN ON PLANS OR ESTABLISHED BY THE ENGINEER, IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL ENGINEERING STUDY.
3. MAXIMUM DENSITY AND OPTIMUM MOISTURE FOR GRANULAR MATERIALS WILL BE DETERMINED USING ASTM D-1557 TEST METHOD.
4. THE UNSUITABLE MATERIAL NOT FIT FOR A SUB-GRADE SHALL BE EXCAVATED TO THE BOUNDARIES SET BY THE ENGINEER AND REPLACED WITH A SUITABLE BACKFILL MATERIAL.

STORM DRAINAGE

1. ALL PIPE AND APPURTENANCES SHALL BE LAID ON A PROPERLY PREPARED FOUNDATION IN ACCORDANCE WITH WSDOT 7-08. THIS SHALL INCLUDE LEVELING AND COMPACTING THE TRENCH BOTTOM, THE TOP OF THE FOUNDATION MATERIAL AND ANY REQUIRED PIPE BEDDING, TO A UNIFORM GRADE SO THAT THE ENTIRE PIPE IS SUPPORTED BY A UNIFORMLY DENSE UNDESLING BASE.
2. ALL DRAINAGE STRUCTURES, SUCH AS CATCH BASINS AND MANHOLES, NOT LOCATED WITHIN A TRAVELED ROADWAY OR SIDEWALK, SHALL HAVE SOLID LOCKING LIDS. ALL DRAINAGE STRUCTURES ASSOCIATED WITH A PERMANENT RETENTION/DETENTION FACILITY SHALL HAVE SOLID LOCKING LIDS.
3. ALL CATCH BASIN GRATES SHALL INCLUDE THE STAMPING "OUTFALL TO STREAM, DUMP NO POLLUTANTS"
4. ALL DRIVEWAY CULVERTS LOCATED WITHIN THE RIGHT-OF-WAY SHALL BE OF SUFFICIENT LENGTH TO PROVIDE A MINIMUM 3:1 SLOPE FROM THE EDGE OF THE DRIVEWAY TO THE BOTTOM OF THE DITCH. CULVERTS SHALL HAVE BEVELED END SECTIONS PER WSDOT
5. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE LOCATIONS OF ALL STUB-OUT CONVEYANCE LINES WITH RESPECT TO THE UTILITIES (E.G. POWER, GAS, TELEPHONE, TELEVISION).

CITY OF FERNDALE NOTES

1. NO ADDITIONAL FROMAGE IMPROVEMENTS OR LIEU FEES WILL BE REQUIRED FOR PHASE 2 CONSTRUCTION, HOWEVER, ENGINEERS ESTIMATE AND IN LIEU FEES WILL BE REQUIRED FOR AND PRIOR TO FINAL CITY ACCEPTANCE/APPROVAL FOR PHASE 3 CONSTRUCTION.
2. ALL CIVIL IMPROVEMENTS ASSOCIATED WITH THE PHASE 1 AND PHASE 2 APPROVED HOME STORAGE CIVIL PLANS TO MEET FERNDALE MUNICIPAL CODE 15.05.
3. APPLICANT/OWNER WILL PROVIDE ANYTIME ACCESS TO BOTH THE CITY AND FIRE DISTRICT AS NEEDED TO BE REQUIRED PRIOR TO THE SATISFACTION OF BOTH CITY AND FIRE DISTRICT TO PROVIDE SAID ACCESS TO BE REQUIRED PRIOR TO GIVING ACCEPTANCE OF THE PROJECT.

ENGINEER'S CERTIFICATION:
I HEREBY CERTIFY THAT THE IMPROVEMENTS OF LABOUNITY SELF STORAGE HAVE BEEN INSPECTED BY FREELAND & ASSOCIATES, INC. AND CONSTRUCTED IN GENERAL CONFORMANCE WITH THE PLANS APPROVED BY PUBLIC WORKS DIRECTOR FOR SAID DEVELOPMENT AND THE GENERAL SPECIFICATIONS ADOPTED BY THE CITY OF FERNDALE DEPARTMENT OF PUBLIC WORKS."

BY: [Signature] DATE: 12/5/2024

1' / 1"	ONE FOOT/ONE INCH	K	LENGTH OF VERTICAL CURVE PER
AC	ACRE		PERCENT GRADE DIFFERENCE
AD	ABSOLUTE VALUE OF THE ALGEBRAIC	PV/POT	POINT OF TANGENCY
	GRADE DIFFERENCE	PVC	POLYVINYL CHLORIDE
AF#	AUDIT FILE NUMBER	PW	POINT OF VERTICAL INFLECTION
APPROX	APPROXIMATE	PWR	POWER
ASB/AB	AS-BUILT	R	RADIUS
ASPH	ASPHALT	R/C	REBAR WITH CAP
BLDG	BUILDING	RCP	REINFORCED CONCRETE PIPE
BMP	BEST MANAGEMENT PRACTICE	RET	RETAINING
BNDRYS	BOUNDARY	RIM	RIM
CVCS	BEGINNING OF VERTICAL CURVE	R/OW	RIGHT-OF-WAY
	STATION	RPP	REDUCED PRESSURE PRINCIPAL
BVCE	BEGINNING OF VERTICAL CURVE	RR	RAILROAD
	ELEVATION	S	SOUTH
C	COMPACT PARKING STALL	SAN	SANITARY
CC	CURT CUT	SD	SCHEDULE
CL	CATCH BASIN	SD	STORM DRAIN
CLC	CENTERLINE	SDCB	STORM DRAIN CATCH BASIN
CMP	CORRUGATED METAL PIPE	SDCO	STORM DRAIN CLEANOUT
CNTRL	CONTROL	SDMH	STORM DRAIN MAN HOLE
	CLEANOUT	SERV	SERVICE
COR	CORNER	STD/STD	STANDARD
COR	CORRUGATED POLYETHYLENE PIPE	SS	SANITARY SEWER
CONC	CONCRETE	SSCO	SANITARY SEWER CLEANOUT
CSTC	CRUSHED SURFACING TOP COURSE	SASH	SANITARY SEWER MANHOLE
CULV	CULVERT	ST	STREET
Ø	DIAMETER	TM	TEMPORARY BENCH MARK
DEMOL	DEMOLITION	TP	TOP OF CURB
DWGS	DRAWINGS	TEL/TELE	TELEPHONE
E	EAST	TESC	TEMPORARY EROSION & SEDIMENTATION CONTROL
E	EACH	TP	TOP OF PAVEMENT
EL/ELEV	ELEVATION	TP	TOP OF SIDEWALK
ENC	REVOCABLE ENCROACHMENT PERMIT	TS	TOP OF WALL
EP/LOP	EDGE OF PAVEMENT	TY	TYPE
ESMT	EASEMENT	UG	UNDERGROUND
EVCS	END OF VERTICAL CURVE STATION	VC	VERTICAL CURVE
EVCE	END OF VERTICAL CURVE ELEVATION	VEG	VEGETATION
EX/EXIST	EXISTING	W	WATER
FDC	FIRE DEPARTMENT CONNECTION	WA	WATER
FF/FFF	FINISH FLOOR ELEVATION	W/N	WITHIN
FG	FINISH GRADE	WSDOT	WASHINGTON STATE DEPARTMENT OF TRANSPORTATION
FH	FIRE HYDRANT		

APPROVED
12/10/2024

CITY OF FERNDALE
PUBLIC WORKS DEPARTMENT

AS-BUILT NOTE:
ONLY INFORMATION NOTED AS AS-BUILT "(AB)"
HAS BEEN PROVIDED BY CONTRACTOR



220 West Champion Street, Suite 200 t: 360.650.140
Bellingham, WA 98225 f: 360.650.140

F R E E L A N D
& A S S O C I A T E S[illegible]

NT:

HOME STORAGE, LLP
2252 ODELL ROAD
BLAINE, WASHINGTON

**CALL BEFORE YOU DIG
OR BURIED UTILITY LOCATIONS**
1-800-424-5555

PROJECT LOCATION:	LABOURY SELF STORAGE PHASE 2 5270 LABOURY DRIVE FERNDALL, WASHINGTON	
DRAWING #:	DRAWN BY:	
19143AB3.DWG	DJP	
DESIGNED BY:	CHECKED BY:	
JPS	MDR	

COVER SHEET

SHEET
CONTENTS:



JOB #: 19143	DATE: 12-5-2024
SCALE: HORIZ: N/A VERT: N/A	SHEET: C1

LAND DESCRIPTION

PARCEL A:
THAT PORTION OF LOT 5, PLAT OF DOWNIES ADDITION TO NORTH BELLINGHAM, WASHINGTON, WHATCOM COUNTY, WASHINGTON, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 3 OF PLATS, PAGE 29, RECORDS OF WHATCOM COUNTY, WASHINGTON, AND A PORTION OF VACATED ALDER STREET ATTACHING THERETO BY OPERATION OF LAW, LYING SOUTHWESTERLY OF THE PRIMARY STATE HIGHWAY No. 1 (PACIFIC HIGHWAY); EXCEPT RIGHT-OF-WAY FOR LABOUNTY ROAD LYING ALONG THE WESTERLY LINE THEREOF AND EXCEPT COUNTY ROAD LYING ALONG THE NORTHERLY LINE THEREOF; AND ALSO EXCEPT THAT PORTION AS SET FORTH IN JUDGMENT AND DECREE OF APPROPRIATION ENTERED JULY 6, 1972 IN WHATCOM COUNTY SUPERIOR COURT CASE No. 45992, AS ITEM No. 1.

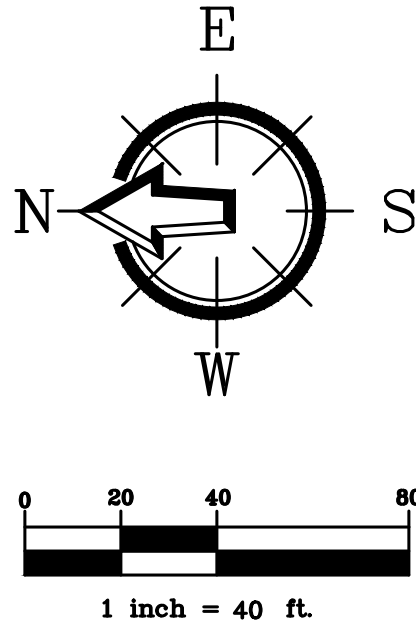
PARCEL B:
LOT 12, PLAT OF DOWNIE'S ADDITION TO NORTH BELLINGHAM, WASHINGTON, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 3 OF PLATS, PAGE 29, RECORDS OF WHATCOM COUNTY, WASHINGTON; EXCEPT THOSE PORTIONS DEEDED TO THE STATE OF WASHINGTON OCTOBER 20, 1954 AND NOVEMBER 15, 1971 UNDER WHATCOM COUNTY AUDITOR'S FILE Nos. 783059 AND 1104866, RESPECTIVELY.
SITUATE IN WHATCOM COUNTY, WASHINGTON.

SURVEYORS NOTES

1. THIS SURVEY WAS PERFORMED BY STANDARD FIELD TRAVERSE USING A LEICA TS12 TOTAL STATION AND CARLSON BRX5 GNSS RECEIVER BOTH WITH A CARLSON SURVEYOR PLUS COLLECTOR/FIELD COMPUTER IN JUNE OF 2019.
2. THIS SURVEY TIED INTO CONTROL POINTS FROM OUR PREVIOUS WORK WITHIN THE AREA AND LOT CORNERS AS SHOWN.
3. THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND DOES NOT PURPORT TO SHOW ANY OR ALL EASEMENTS THAT A CURRENT TITLE REPORT MIGHT REVEAL. SEE UTILITY EASEMENT TO THE CITY OF FERNDALE PER AF No. 2080103464 AS CONSTRUCTED, NO LOCATION DESCRIBED.
4. VERTICAL DATUM = W.S.D.O.T. MONUMENT ID: 1420 (GP37005-31) EL = 77.26' (NAVD 88).
5. CONTOUR INTERVALS ARE 1 FOOT. CONTOURS ARE COMPUTER GENERATED FROM GROUND FIELD TOPOGRAPHY GATHERED FOR THIS SURVEY.
6. NORTHWEST SURVEYING & GPS INC. ASSUMES NO LIABILITY FOR ANY SUBSURFACE CONDITIONS OR UTILITIES NOT SHOWN HEREON. UNDERGROUND UTILITIES ARE KNOWN TO EXIST WITHIN THE AREA OF CONSTRUCTION. THE LOCATION OF EXISTING UTILITIES SHOWN ARE BASED UPON FIELD SURVEY AND VISUAL IDENTIFICATION. ALL EXISTING UTILITIES MAY NOT BE INDICATED WITHIN THE CONSTRUCTION DOCUMENTS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY ANY AND ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND TO ALERT THE ENGINEER AND OWNER PROMPTLY IN CASE OF CONFLICT.

AS-BUILT DRAWING

AS-BUILT NOTE:
ONLY INFORMATION NOTED AS AS-BUILT "(AB)"
HAS BEEN PROVIDED BY CONTRACTOR



220 West Champion Street, Suite 200 t: 360.650.1408
Bellingham, WA 98225 f: 360.650.1401

FREELAND
& ASSOCIATES

REV.	DATE	DESCRIPTION

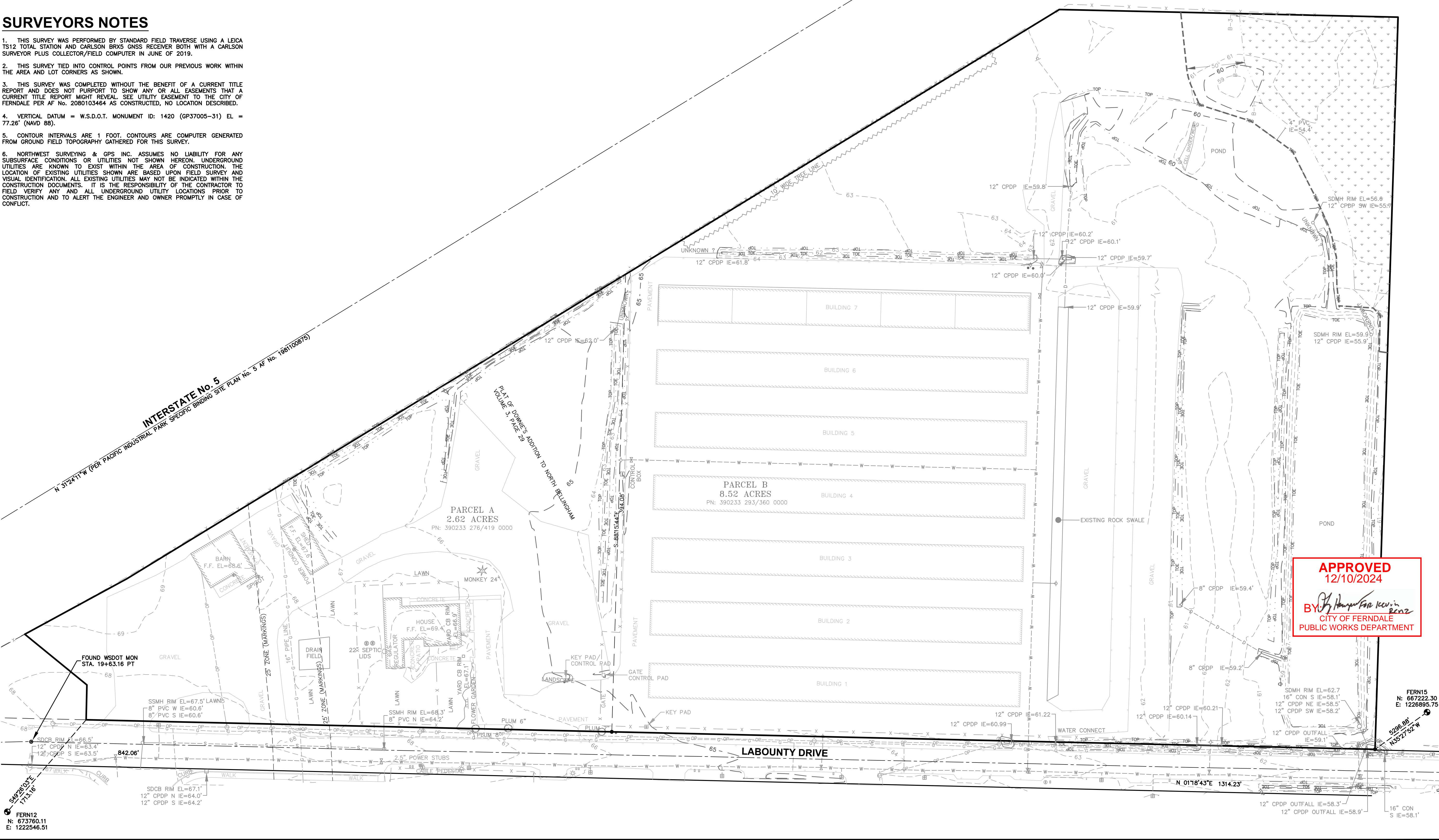
CLIENT:	HOME STORAGE, LLP 2252 ODELL ROAD BLAINE, WASHINGTON CALL BEFORE YOU DIG FOR BURIED UTILITY LOCATIONS 1-800-424-5655
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PROJECT LOCATION:	LABOUNTY SELF STORAGE PHASE 2 5270 LABOUNTY DRIVE FERNDALE, WASHINGTON
DRAWING #:	19143AB3.DWG
DESIGNED BY:	JPS
DRAWN BY:	DJP
CHECKED BY:	MOB

SHEET CONTENTS:	EXISTING CONDITIONS
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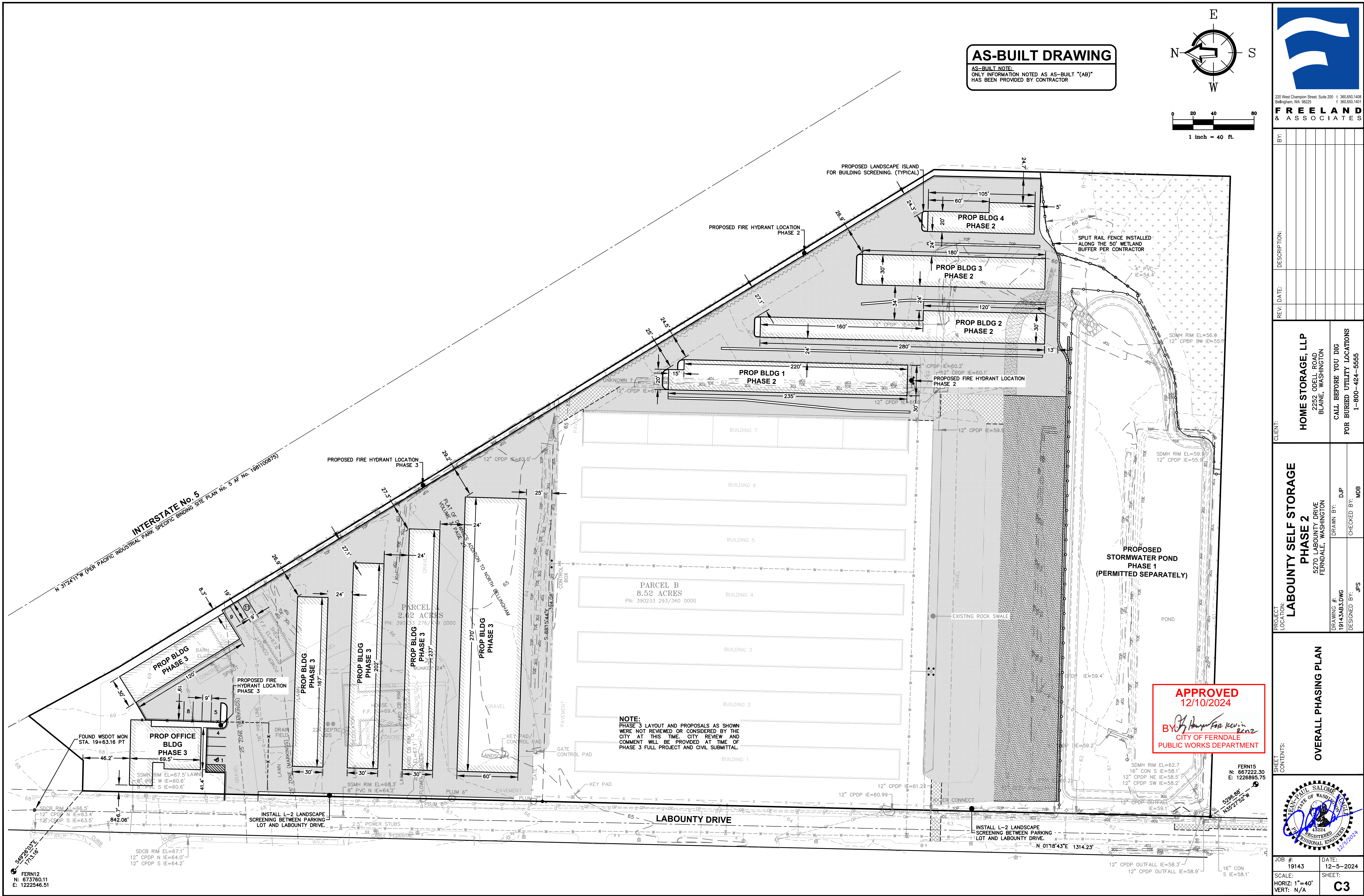



JOB #:	19143	DATE:	12-5-2024
SCALE:	HORIZ: 1"=40'	SHEET:	C2
VERT:	N/A		



FERN12
N: 673760.11
E: 1222546.51

FERN15
N: 667222.30
E: 1226885.75






220 West Champion Street, Suite 200
Bellingham, WA 98225
t: 360.650.1408
f: 360.650.1401

FREELAND & ASSOCIATES

BY:		DESCRIPTION:	
REV:		DATE:	
CLIENT:	HOME STORAGE, LLP 2252 ODELL ROAD BLAINE, WASHINGTON CALL BEFORE YOU DIG FOR BURIED UTILITY LOCATIONS 1-800-424-5655		
PROJECT LOCATION:	LABOUNTY SELF STORAGE PHASE 2 5270 LABOUNTY DRIVE FERNDAL, WASHINGTON		
DRAWING #:	19143AB3.DWG	DRAWN BY:	DJP
DESIGNED BY:	JPS	CHECKED BY:	MDR
SHEET CONTENTS:	OVERALL PHASING PLAN		
JOB #:	19143	DATE:	12-5-2024
SCALE:	HORIZ: 1"=40'		
VERT:	N/A		
C3			



CONSTRUCTION SCHEDULING NOTE

CONTRACTOR SHALL MONITOR WEATHER CONDITIONS AND FORECASTS DURING CONSTRUCTION. THE AMOUNT OF SOIL THAT MAY BE EXPOSED AT ANY TIME DEPENDS ON THE CONTRACTOR'S AVAILABLE CREW, MATERIALS, AND EQUIPMENT. CONTRACTOR SHALL SCHEDULE WORK SO THAT ALL EXPOSED SOIL (INCLUDING TRENCHES AND STOCKPILES) CAN BE COMPLETELY COVERED AND STABILIZED PRIOR TO ANY SIGNIFICANT RAINFALL EVENT ON SITE.

TESC CONTRACTOR RESPONSIBILITY

TEMPORARY EROSION CONTROL BMPs SHOWN IN THESE PLANS ARE THE MINIMUM NECESSARY FOR PERMIT APPROVALS. ADDITIONAL BMPs MAY BE REQUIRED DURING THE COURSE OF CONSTRUCTION. NO ADDITIONAL COMPENSATION WILL BE PROVIDED FOR ADDITIONAL BMPs OR BMP MAINTENANCE THAT MAY BE REQUIRED DURING CONSTRUCTION.

HAUL ROUTE

CONTRACTOR SHALL PROVIDE A HAUL ROUTE PLAN TO THE CITY OF FERDALE FOR APPROVAL AS NECESSARY.

NPDES NOTE

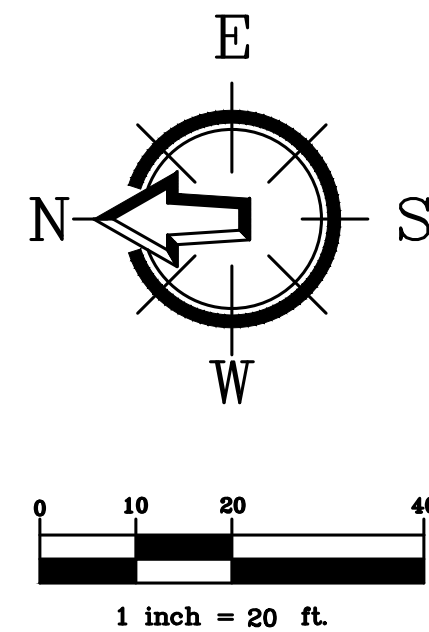
THIS PROJECT WILL DISTURB MORE THAN ONE ACRE OF SOIL AND WILL REQUIRE A NATIONAL DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT FROM WASHINGTON DOE. THE CONTRACTOR SHALL MEET THE REQUIREMENTS SET FORTH IN THE NPDES PERMIT.

TEMPORARY EROSION/SEDIMENTATION CONTROL

- A COPY OF THE APPROVED TESC PLAN MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
- APPROVAL OF THIS TEMPORARY EROSION & SEDIMENTATION CONTROL (TESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT STRUCTURES, DRIVEWAYS OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).
- THE IMPLEMENTATION OF THIS TESC PLAN AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT AND UPGRADING OF THESE TESC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS APPROVED.
- THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING CONSTRUCTION, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THE CONSTRUCTION.
- TESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, UNLESS REVISED BY A CERTIFIED EROSION AND SEDIMENT CONTROL LEAD. TESC FACILITIES SHALL BE INSTALLED IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT LADEN WATER DOES NOT ENTER DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER STANDARDS.
- THE TESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE TESC FACILITIES SHALL BE UPGRADED (E.G., ADDITIONAL SUMPS, RELOCATION OF DITCHES AND SILT FENCES, ETC.) AS NEEDED FOR UNEXPECTED STORM EVENTS.
- THE TESC FACILITIES SHALL BE INSPECTED DAILY BY THE CESCL AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTION.
- ANY AREA NEEDING TESC MEASURES, NOT REQUIRING IMMEDIATE ATTENTION, SHALL BE ADDRESSED WITHIN FIFTEEN (15) DAYS.
- THE TESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN 24 HOURS FOLLOWING A STORM EVENT THAT PRODUCES RUNOFF FROM THE SITE.
- WASH PADS MAY BE NECESSARY TO ENSURE PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
- MULCHING OF ANY TYPE SHALL BE INSTALLED PER THE RATES AND STANDARDS PRESENTED IN VOL. II, TABLE 4.1.8 OF THE STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON, 2014 EDITION BY DEPARTMENT OF ECOLOGY.
- ALL WORK AND MATERIAL SHALL BE IN ACCORDANCE WITH WASHINGTON STATE DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.
- EROSION & SEDIMENTATION CONTROL FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS ON THIS PLAN. LOCATIONS MAY BE MOVED TO SUIT FIELD CONDITIONS, SUBJECT TO APPROVAL BY THE CONTRACTORS CESCL OR ENGINEER OF RECORD.
- COVER ALL DIRT/TOPSOIL PILES WITH PLASTIC SHEETING (BMP C123) DURING CONSTRUCTION WHEN NOT IN USE.
- NETS AND/OR EROSION CONTROL BLANKETS (BMP C122) MAY BE USED IN LIEU OF TEMPORARY MULCHING. CONSTRUCTION SCHEDULE- PENDING APPROVAL OF PLANS FROM THE CITY OF FERDALE.
- ADDITIONAL BMPs MAY BE USED OR REQUIRED AS CONDITIONS WARRANT. BMPs SHALL BE INSTALLED PER RECOMMENDATIONS IN THE DOE STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON, CURRENT EDITION.

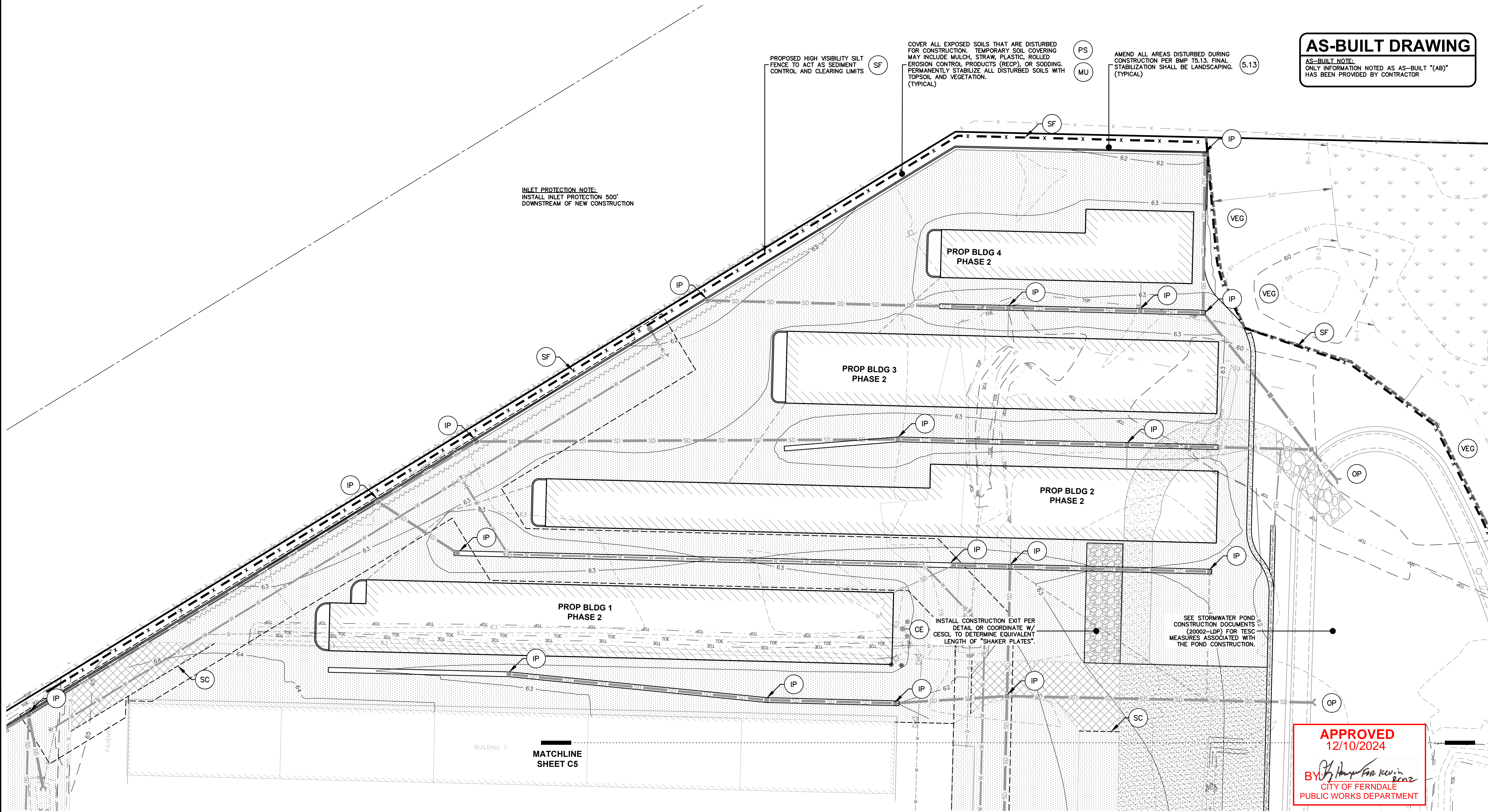
TESC LEGEND

VEG	WSDOE BMP C101 PRESERVING NATURAL VEGETATION	
CE	WSDOE BMP C105 STABILIZED CONSTRUCTION EXIT	A C6
SC	WSDOE BMP C152 SAWCUTTING	D C6
PS	WSDOE BMP C120 TEMPORARY AND PERMANENT SEEDING	
MU	WSDOE BMP C121 MULCHING	
5.13	WSDOE BMP T5.13 SOIL AMENDMENT	F C11
IP	WSDOE BMP C220 STORM DRAIN INLET PROTECTION	C C6
SF	WSDOE BMP C233 SILT FENCE	B C6



AS-BUILT DRAWING

AS-BUILT NOTE:
ONLY INFORMATION NOTED AS AS-BUILT "(AB)"
HAS BEEN PROVIDED BY CONTRACTOR



220 West Champion Street, Suite 200
Bellingham, WA 98225
t: 360.650.1408
f: 360.650.1401

REV.	DATE	DESCRIPTION

CLIENT:	HOME STORAGE, LLP 2252 ODELL ROAD BLAINE, WASHINGTON
CALL BEFORE YOU DIG FOR BURIED UTILITY LOCATIONS	1-800-424-5655

PROJECT LOCATION:	LABOURY SELF STORAGE PHASE 2 5270 LABOURY DRIVE FERDALE, WASHINGTON
DRAWING #:	19143AB3.DWG
DESIGNED BY:	JPS
DRAWN BY:	DJP
CHECKED BY:	MOB

SHEET CONTENTS:
TEMPORARY EROSION &
SEDIMENT CONTROL PLAN
(EAST)



JOB #:	19143	DATE:	12-5-2024
SCALE:		SHEET:	
HORIZ: 1"=20'			
VERT: N/A			
			C4

APPROVED
12/10/2024
BY: [Signature]
CITY OF FERDALE
PUBLIC WORKS DEPARTMENT

CONSTRUCTION SCHEDULING NOTE

CONTRACTOR SHALL MONITOR WEATHER CONDITIONS AND FORECASTS DURING CONSTRUCTION. THE AMOUNT OF SOIL THAT MAY BE EXPOSED AT ANY TIME DEPENDS ON THE CONTRACTOR'S AVAILABLE CREW, MATERIALS, AND EQUIPMENT. CONTRACTOR SHALL SCHEDULE WORK SO THAT ALL EXPOSED SOIL (INCLUDING TRENCHES AND STOCKPILES) CAN BE COMPLETELY COVERED AND STABILIZED PRIOR TO ANY SIGNIFICANT RAINFALL EVENT ON SITE.

TESC CONTRACTOR RESPONSIBILITY

TEMPORARY EROSION CONTROL BMPs SHOWN IN THESE PLANS ARE THE MINIMUM NECESSARY FOR PERMIT APPROVALS. ADDITIONAL BMPs MAY BE REQUIRED DURING THE COURSE OF CONSTRUCTION. NO ADDITIONAL COMPENSATION WILL BE PROVIDED FOR ADDITIONAL BMPs OR BMP MAINTENANCE THAT MAY BE REQUIRED DURING CONSTRUCTION.

HAUL ROUTE

CONTRACTOR SHALL PROVIDE A HAUL ROUTE PLAN TO THE CITY OF FERNDALE FOR APPROVAL AS NECESSARY.

NPDES NOTE

THIS PROJECT WILL DISTURB MORE THAN ONE ACRE OF SOIL AND WILL REQUIRE A NATIONAL DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT FROM WASHINGTON DOE. THE CONTRACTOR SHALL MEET THE REQUIREMENTS SET FORTH IN THE NPDES PERMIT.

TEMPORARY EROSION/SEDIMENTATION CONTROL

- A COPY OF THE APPROVED TESC PLAN MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
 - APPROVAL OF THIS TEMPORARY EROSION & SEDIMENTATION CONTROL (TESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT STRUCTURES, DRIVEWAYS OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).
 - THE IMPLEMENTATION OF THIS TESC PLAN AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT AND UPGRADING OF THESE TESC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS APPROVED.
 - THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING CONSTRUCTION, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THE CONSTRUCTION.
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TESC LEGEND

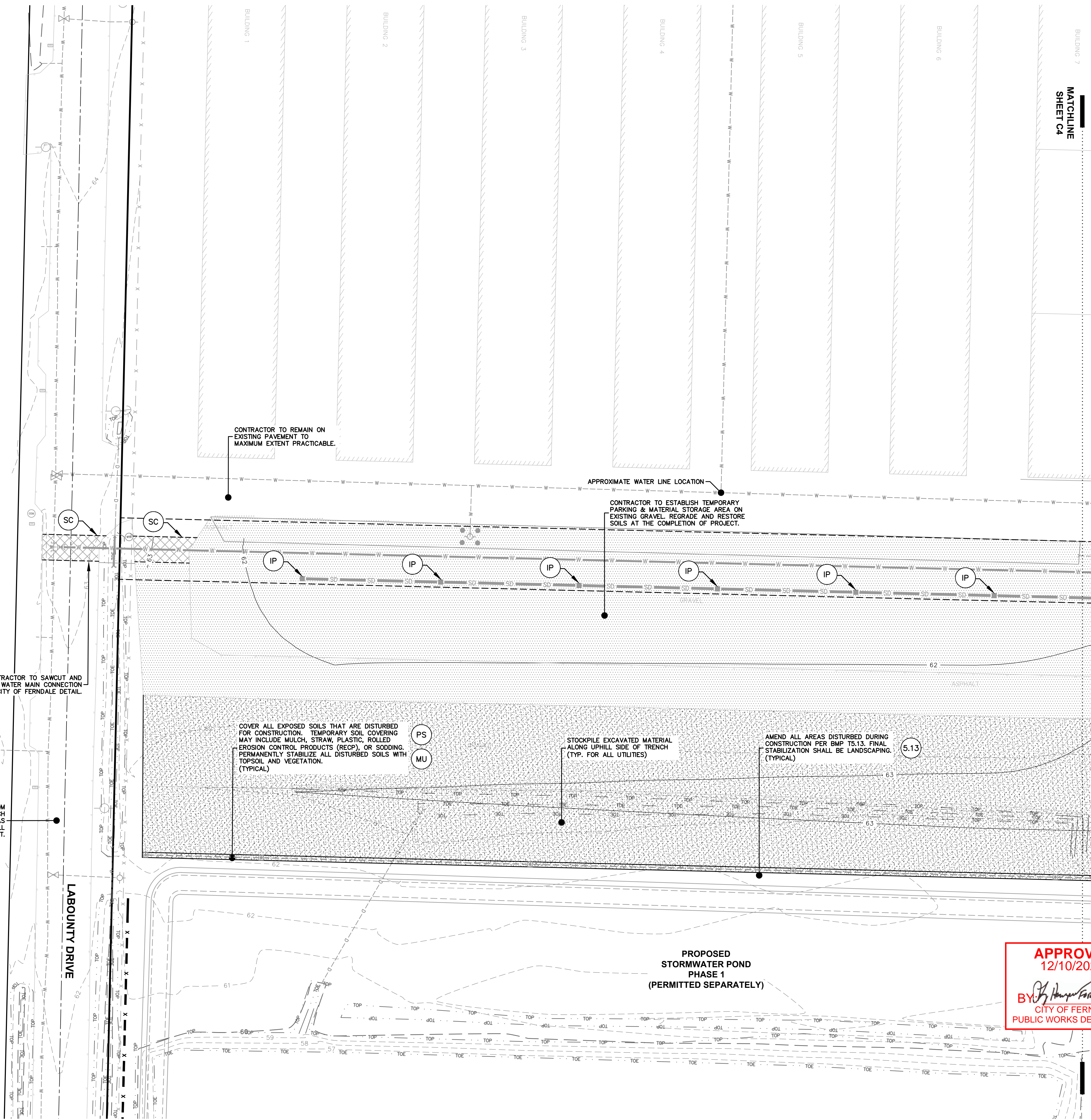
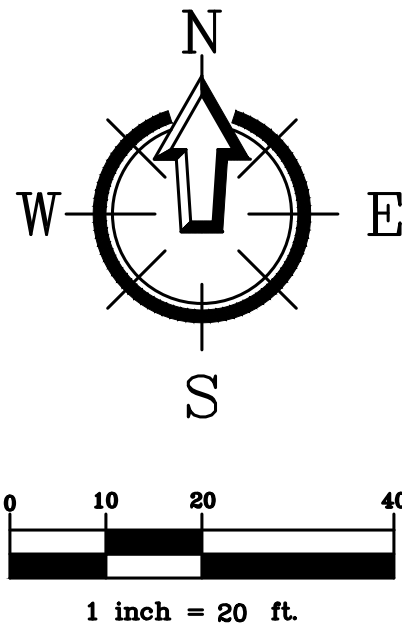
VEG	WSDOE BMP C101 PRESERVING NATURAL VEGETATION	A	C6
CE	WSDOE BMP C105 STABILIZED CONSTRUCTION EXIT	D	C6
SC	WSDOE BMP C152 SAWCUTTING	F	C11
PS	WSDOE BMP C120 TEMPORARY AND PERMANENT SEEDING	C	C6
MU	WSDOE BMP C121 MULCHING	B	C6
5.13	WSDOE BMP T5.13 SOIL AMENDMENT		
IP	WSDOE BMP C220 STORM DRAIN INLET PROTECTION		
SF	WSDOE BMP C233 SILT FENCE		

INLET PROTECTION NOTE:
INSTALL INLET PROTECTION 500'
DOWNSTREAM OF NEW CONSTRUCTION

THOROUGHLY CLEAN SEDIMENT FROM
EXISTING PAVEMENT AT THE END OF EACH
WORK DAY & THROUGHOUT THE DAY AS
NEEDED. CLEANING SHOULD REMOVE ALL
VISIBLE TRACKOUT.

AS-BUILT DRAWING

AS-BUILT NOTE:
ONLY INFORMATION NOTED AS AS-BUILT "(AB)"
HAS BEEN PROVIDED BY CONTRACTOR

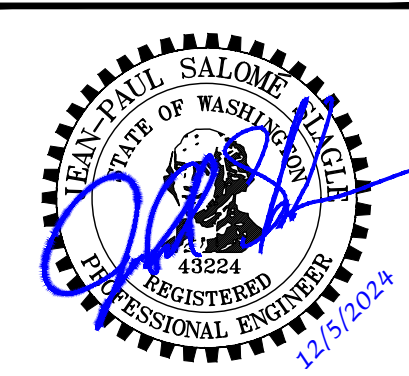


REV:	DATE:	DESCRIPTION:

CLIENT:	HOME STORAGE, LLP 2252 ODELL ROAD BLAINE, WASHINGTON
BY:	CALL BEFORE YOU DIG FOR BURIED UTILITY LOCATIONS 1-800-424-5655

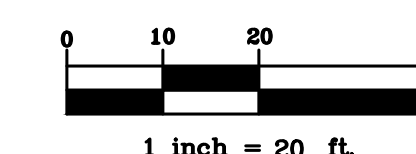
PROJECT LOCATION:	LABOURY SELF STORAGE PHASE 2 5270 LABOURY DRIVE FERNDAL, WASHINGTON
DRAWING #:	DUP
DESIGNED BY:	MOB
DRAWN BY:	JPS

SHEET CONTENTS:	TEMPORARY EROSION & SEDIMENT CONTROL PLAN (WEST)
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JOB #:	DATE:
19143	12-5-2024
SCALE:	SHEET:
HORIZ: 1"=20'	C5
VERT: N/A	





AS-BUILT NOTE:
ONLY INFORMATION NOTED AS AS-BUILT "(AB)"
HAS BEEN PROVIDED BY CONTRACTOR



220 West Champion Street, Suite 200 t: 360.650.1414
 Bellingham, WA 98225 f: 360.650.1414

**FREELANCE
 & ASSOCIATE**

[illegible]

HOME STORAGE, LLP

**CALL BEFORE YOU DIG
FOR BURIED UTILITY LOCATIONS**
1-800-424-5555

LABOUNTY SELF STORAGE

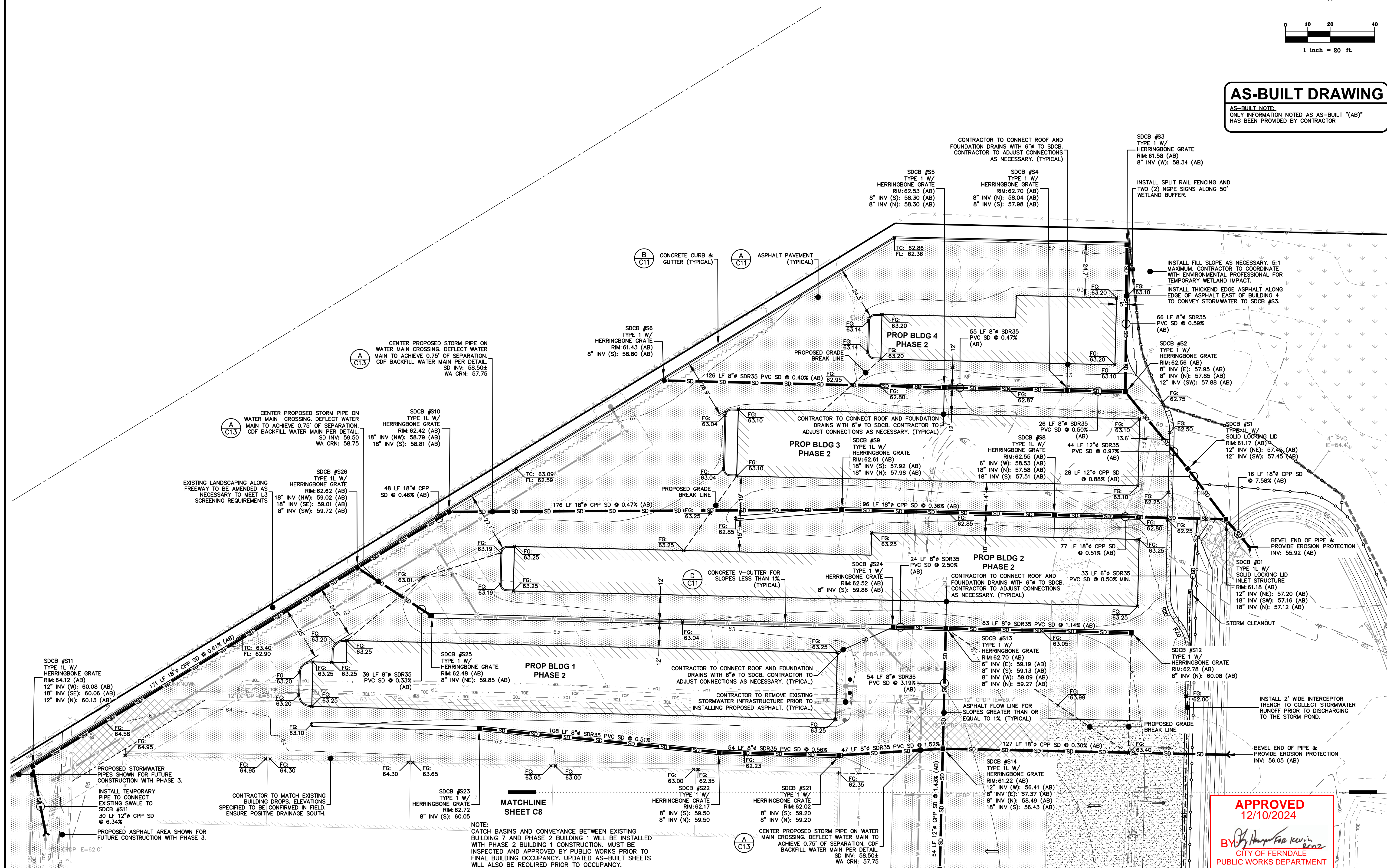
ING #:	DRAWN BY:
AB3.DWG	DJP
ENED BY:	CHECKED BY:

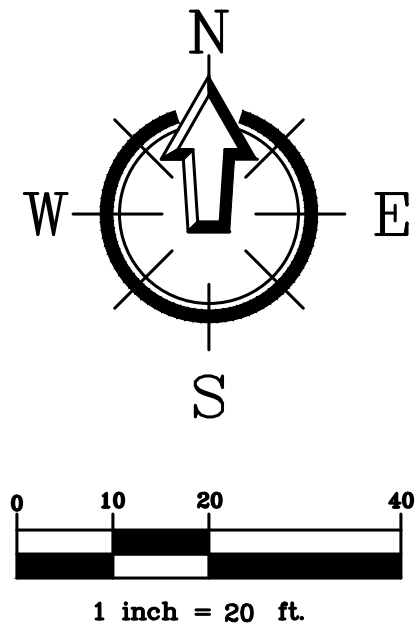
**GRADING & DRAINAGE
(EAST)**



JOB #: 19143	DATE: 12-5-2024
SCALE: HORIZ: 1"=20' VERT: N/A	SHEET: C7

00758 007 12/10/24 RH





CONTRACTOR TO EXTEND THE 12" ϕ CULVERT AND FILL DITCH TO ACHIEVE 3' OF COVER OVER PROPOSED WATER MAIN.

CONTRACTOR TO REMOVE LARGE ROCKS AND FILL SWALE WITH STRUCTURAL FILL FOR INSTALLATION OF PROPOSED ASPHALT PARKING AREA.

54 LF 12" ADS HP STORM SD ϕ 0.19% (AB)

54 LF 12" ADS HP STORM SD ϕ 0.50% (AB)

PROPOSED USE TO INCLUDE STORAGE OF RECREATION VEHICLES, BOATS, ETC.

CENTER PROPOSED STORM PIPE ON WATER MAIN CROSSING. DEFLECT WATER MAIN TO ACHIEVE 0.75' OF SEPARATION. CDF BACKFILL WATER MAIN PER DETAIL. SD INV: 58.50 WA CRN: 57.75

SDCB #S20
TYPE 1 W/
HERRINGBONE GRATE
RIM: 61.23 (AB)
12" INV (E): 58.34 (AB)

SDCB #S19
TYPE 1 W/
HERRINGBONE GRATE
RIM: 61.24 (AB)
12" INV (W): 58.24 (AB)
12" INV (E): 58.22 (AB)

SDCB #S18
TYPE 1 W/
HERRINGBONE GRATE
RIM: 61.21 (AB)
12" INV (W): 58.04 (AB)
12" INV (E): 58.04 (AB)

SDCB #S17
TYPE 1L W/
HERRINGBONE GRATE
RIM: 61.19 (AB)
12" INV (W): 57.77 (AB)
12" INV (E): 57.72 (AB)

SDCB #S16
TYPE 1L W/
HERRINGBONE GRATE
RIM: 61.21 (AB)
12" INV (W): 57.53 (AB)
12" INV (E): 57.54 (AB)

SDCB #S14
TYPE 1L W/
HERRINGBONE GRATE
RIM: 61.22 (AB)
12" INV (W): 56.41 (AB)
8" INV (E): 57.37 (AB)
8" INV (N): 56.49 (AB)
18" INV (S): 56.43 (AB)

SDCB #S15
TYPE 1L W/
HERRINGBONE GRATE
RIM: 61.24 (AB)
12" INV (W): 57.23 (AB)
12" INV (E): 57.18 (AB)

CONTRACTOR TO GRADE PROPOSED ASPHALT AREA AS NECESSARY TO DRAIN TO PROPOSED CATCH BASINS.

OVERLAY EXISTING ASPHALT AS REQUIRED. (TYPICAL)

PROPOSED ASPHALT PAVEMENT (TYPICAL)

PROPOSED GRAVEL (TYPICAL)

INSTALL 2' WIDE INTERCEPTOR TRENCH ALONG EDGE OF GRAVEL TO COLLECT STORMWATER RUNOFF.

INSTALL CLEANOUTS EVERY 100 LF. (TYPICAL)

PROPOSED SLOPE ARROWS. (TYPICAL)

INSTALL 2' WIDE INTERCEPTOR TRENCH ALONG EDGE OF GRAVEL TO COLLECT STORMWATER RUNOFF.

BEVEL END OF PIPE & PROVIDE EROSION PROTECTION INV: 56.05 (AB)

INSTALL 2' WIDE INTERCEPTOR TRENCH TO COLLECT STORMWATER RUNOFF PRIOR TO DISCHARGING TO THE STORM POND.

PROPOSED STORMWATER POND
PHASE 1
(PERMITTED SEPARATELY)

AS-BUILT DRAWING

AS-BUILT NOTE:
ONLY INFORMATION NOTED AS AS-BUILT "(AB)" HAS BEEN PROVIDED BY CONTRACTOR

APPROVED
12/10/2024
BY *[Signature]*
CITY OF FERDALE
PUBLIC WORKS DEPARTMENT



220 West Champion Street, Suite 200
Bellingham, WA 98225
t: 360.650.1408
f: 360.650.1401

REV.	DATE	DESCRIPTION

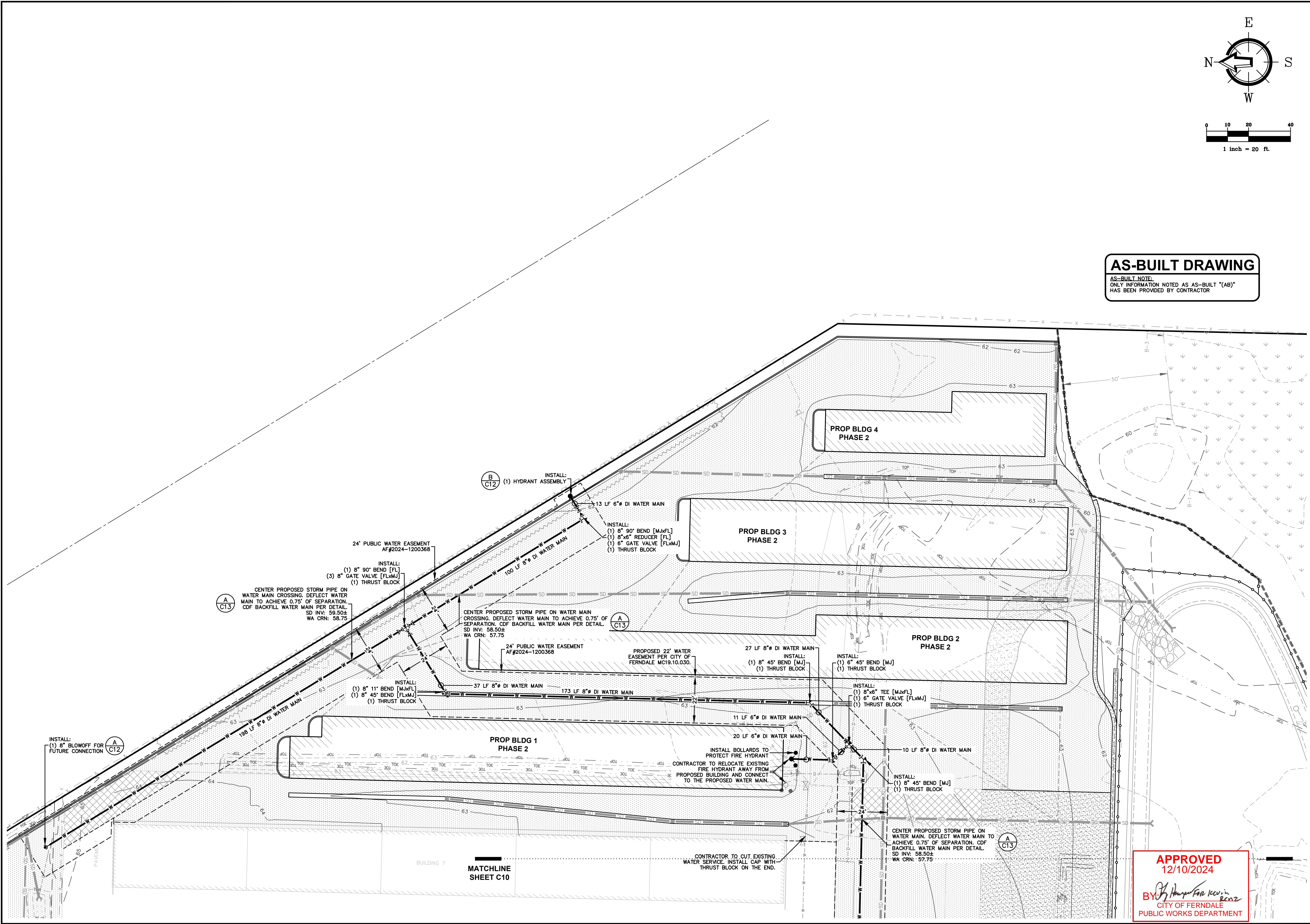
CLIENT:
HOME STORAGE, LLP
2252 ODELL ROAD
BLAINE, WASHINGTON
CALL BEFORE YOU DIG
FOR BURIED UTILITY LOCATIONS
1-800-424-5655

PROJECT LOCATION:
LABOURTY SELF STORAGE
PHASE 2
5270 LABOURTY DRIVE
FERDALE, WASHINGTON
DRAWING #: 19143AB3.DWG
DESIGNED BY: JPS
DRAWN BY: DJP
CHECKED BY: MDS

SHEET CONTENTS:
GRADING & DRAINAGE
(WEST)

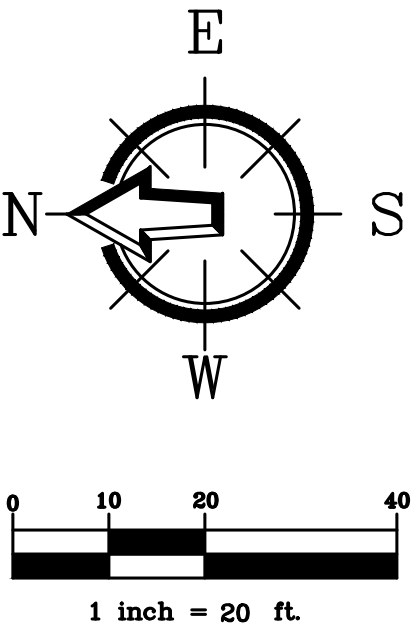


JOB #: 19143
DATE: 12-5-2024
SCALE:
HORIZ: 1"=20'
VERT: N/A
SHEET:
C8



AS-BUILT DRAWING

AS-BUILT NOTE:
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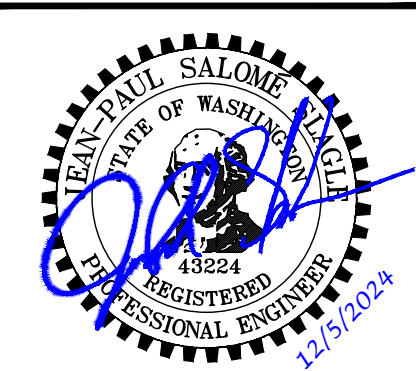


REV.	DATE	DESCRIPTION

CLIENT: **HOME STORAGE, LLP**
2252 ODELL ROAD
BLAINE, WASHINGTON
CALL BEFORE YOU DIG
FOR BURIED UTILITY LOCATIONS
1-800-424-5655

PROJECT LOCATION: **LABOURY SELF STORAGE PHASE 2**
5270 LABOURY DRIVE
FERNDAL, WASHINGTON
DRAWING #: 19143AB3.DWG
DESIGNED BY: JPS
DRAWN BY: DJP
CHECKED BY: MDS

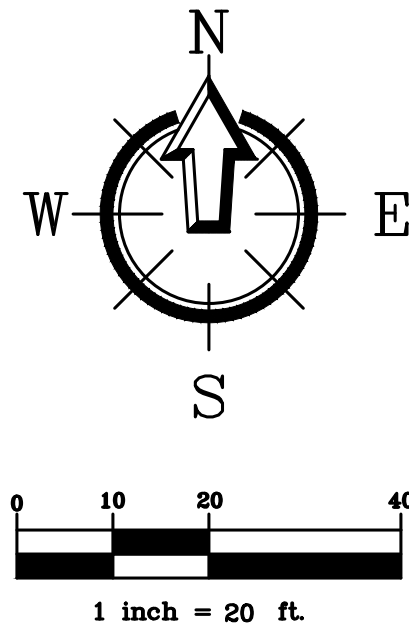
SHEET CONTENTS: **UTILITY PLAN (EAST)**



JOB #: 19143
DATE: 12-5-2024
SCALE: HORIZ: 1"=20'
VERT: N/A
SHEET: **C9**

APPROVED
12/10/2024
BY: *[Signature]*
CITY OF FERNDAL
PUBLIC WORKS DEPARTMENT

MATCHLINE
SHEET C10



CONTRACTOR TO VERIFY SIZE OF EXISTING WATER MAIN. CONNECT PROPOSED 8" WATER MAIN TO EXISTING WATER MAIN WITH TAPPING SLEEVE AND VALVE ASSEMBLY. PROVIDE ADEQUATE SEPARATION FOR REQUIRED PRESSURE AND BACTERIAL TESTING PRIOR TO CONNECTION.

CLEAN CUT ASPHALT EDGES PRIOR TO ASPHALT REMOVAL. BACKFILL AND ASPHALT REPLACEMENT WITHIN THE TRENCH WILL BE DONE AS SPECIFIED ON CITY STANDARD DETAIL R-11A FOUND ON SHEET C12.

CONTRACTOR TO EXTEND EXISTING CULVERT AND FILL IN DITCH TO ACHIEVE 3' OF COVER OVER PROPOSED WATER MAIN.

INSTALL BOLLARDS TO PROTECT FIRE HYDRANT

CONTRACTOR TO CUT EXISTING WATER SERVICE. INSTALL CAP WITH THRUST BLOCK ON THE END.

24" PUBLIC WATER EASEMENT
AF#2024-1200368

PROPOSED 24" WATER
EASEMENT PER CITY OF
FERNDAL PUBLIC WORKS.

A
C13

CENTER PROPOSED STORM PIPE ON
WATER MAIN CROSSING. DEFLECT WATER
MAIN TO ACHIEVE 0.75' OF SEPARATION.
CDF BACKFILL WATER MAIN PER DETAIL.
SD INV: 58.50
WA CRN: 57.75

PROPOSED
STORMWATER POND
PHASE 1
(PERMITTED SEPARATELY)

APPROVED
12/10/2024

BY *[Signature]*
CITY OF FERNDAL
PUBLIC WORKS DEPARTMENT

AS-BUILT DRAWING

AS-BUILT NOTE:
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HAS BEEN PROVIDED BY CONTRACTOR



220 West Champion Street, Suite 200
Bellingham, WA 98225

FREELAND
& ASSOCIATES

REV:	DATE:	DESCRIPTION:

CLIENT:
HOME STORAGE, LLP
2252 ODELL ROAD
BLAINE, WASHINGTON
CALL BEFORE YOU DIG
1-800-424-5655

PROJECT LOCATION:
**LABOURY SELF STORAGE
PHASE 2**
5270 LABOURY DRIVE
FERNDAL, WASHINGTON

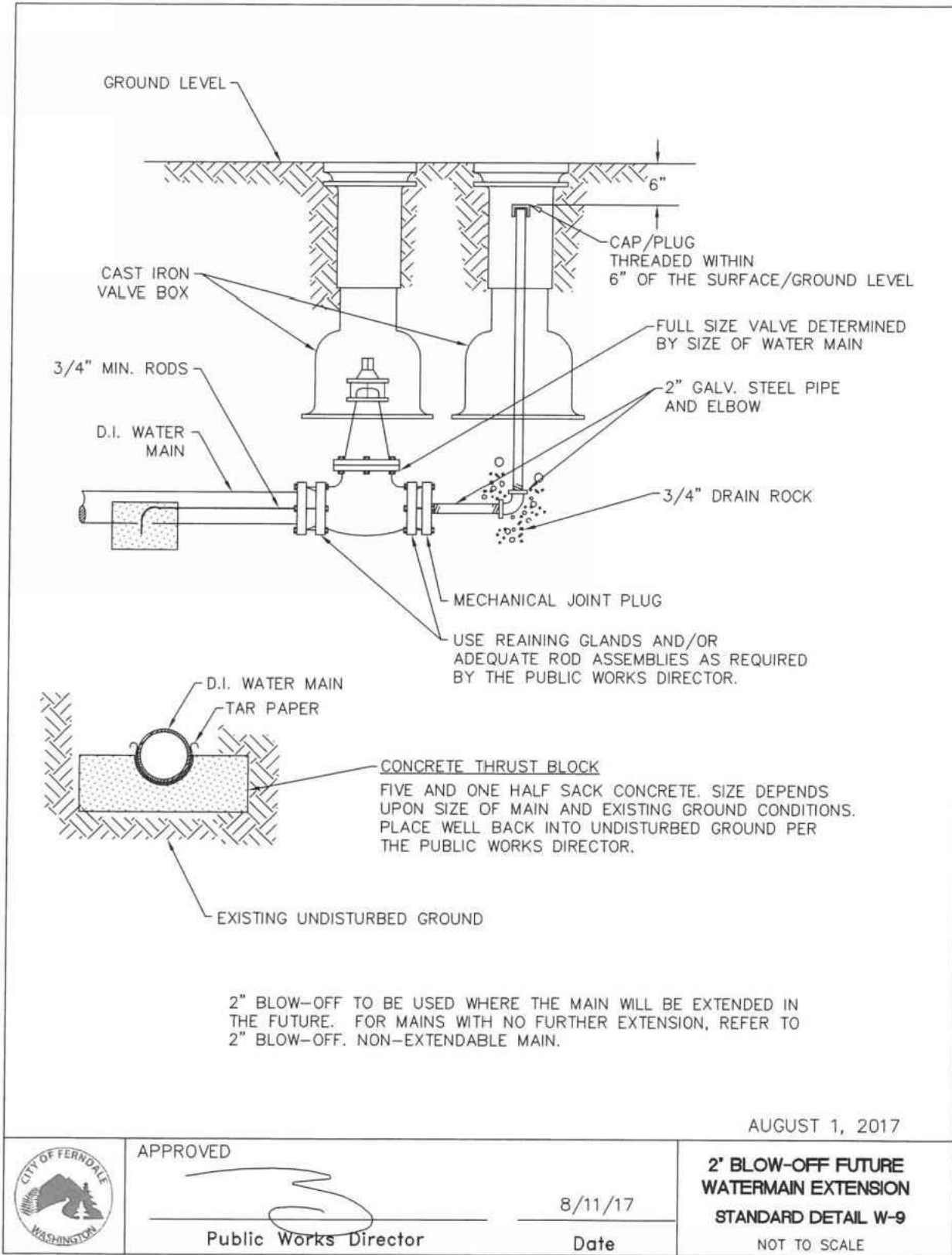
DRAWING #: 19143AB3.DWG
DESIGNED BY: JPS
DRAWN BY: DJP
CHECKED BY: MDS

SHEET CONTENTS:
**UTILITY PLAN
(WEST)**

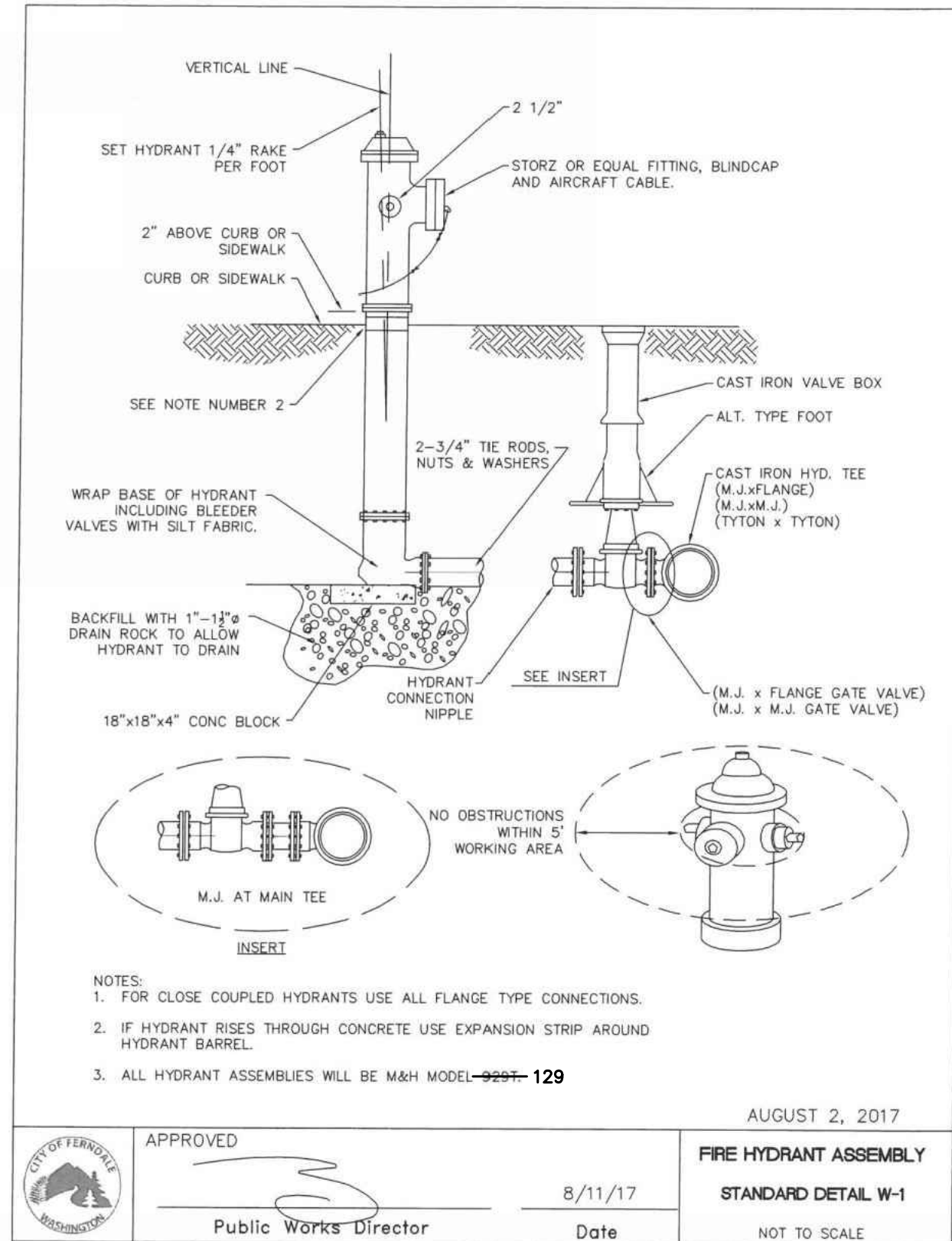


JOB #: 19143
DATE: 12-5-2024
SCALE:
HORIZ: 1"=20'
VERT: N/A

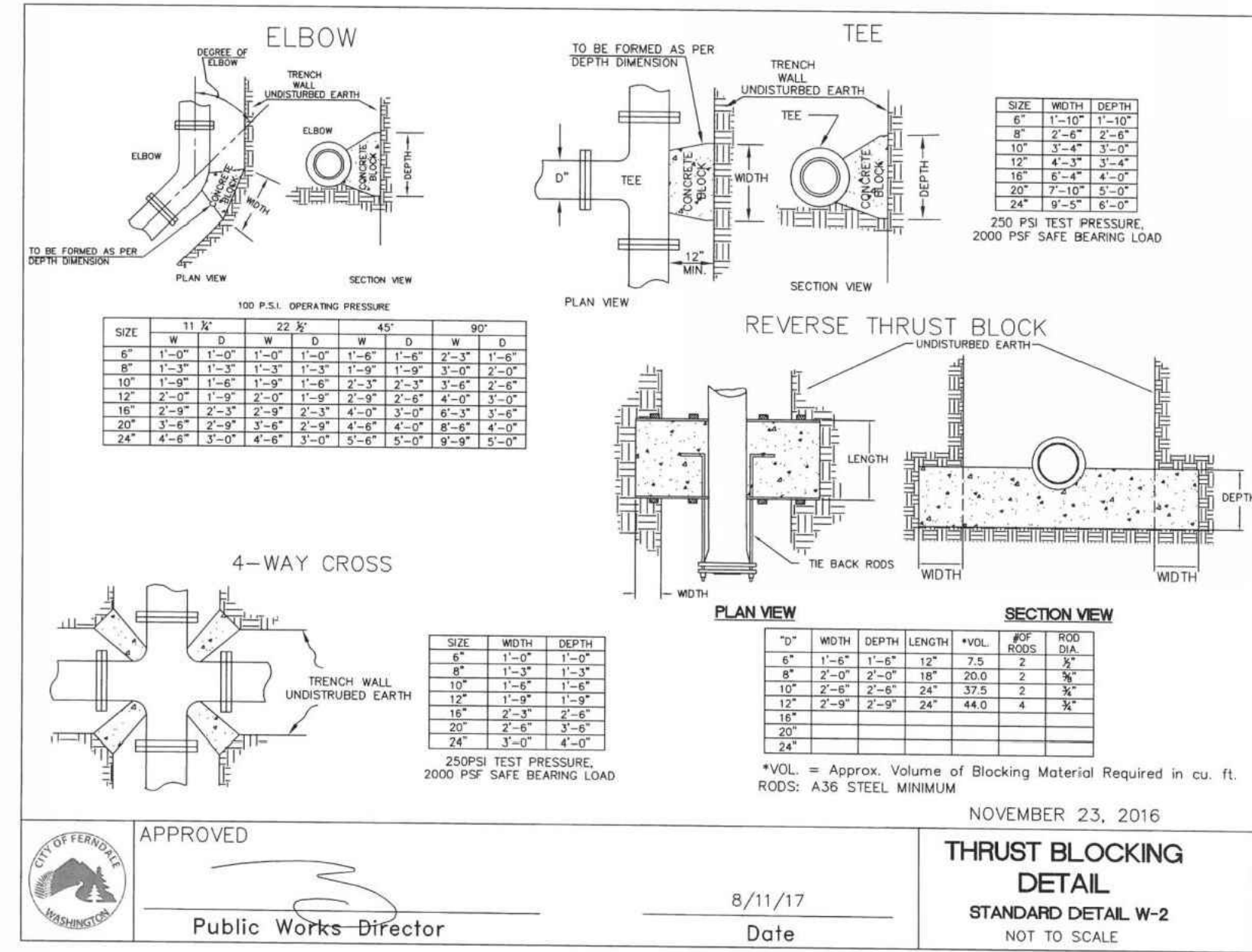
SHEET:
C10



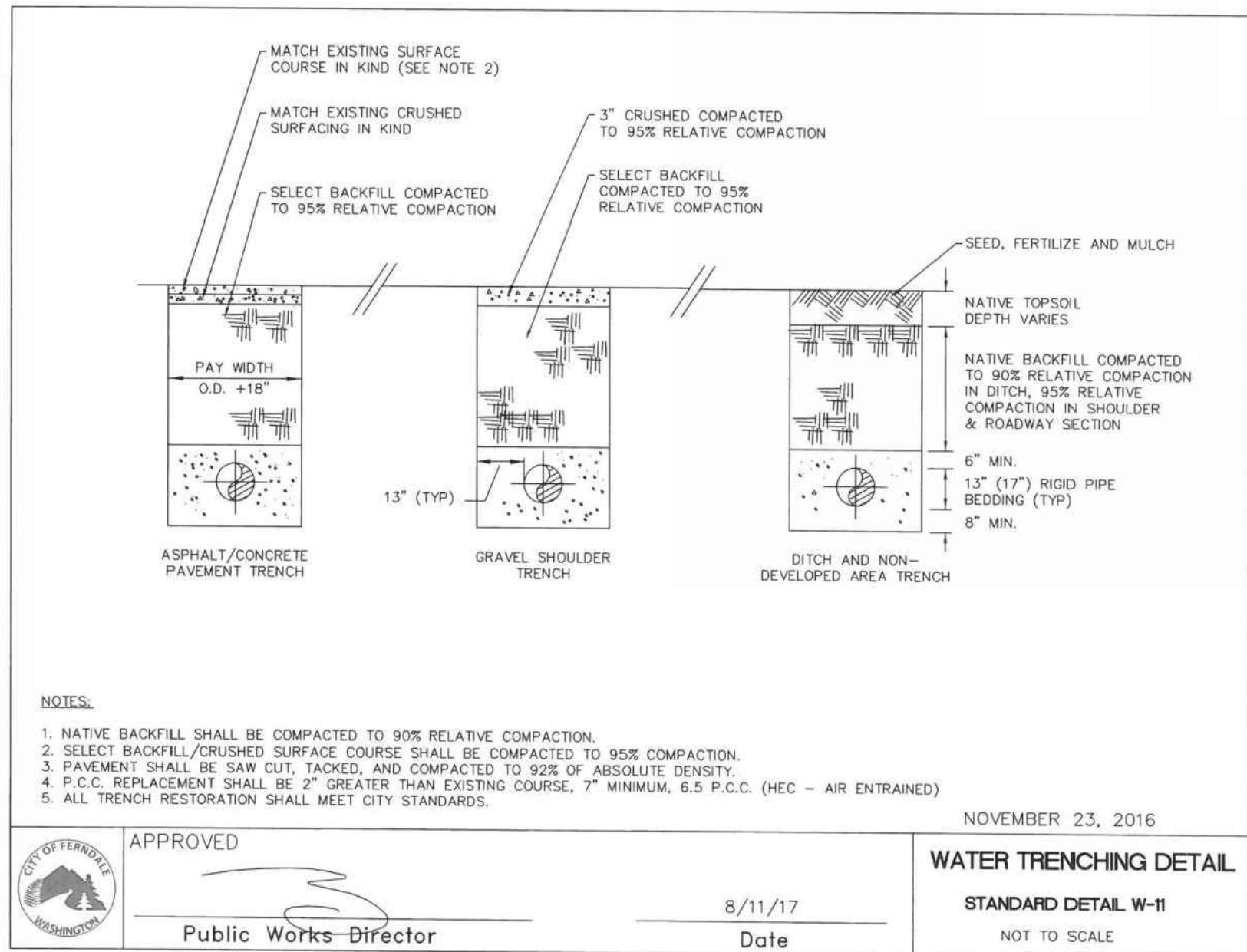
A 2" BLOW-OFF
nts



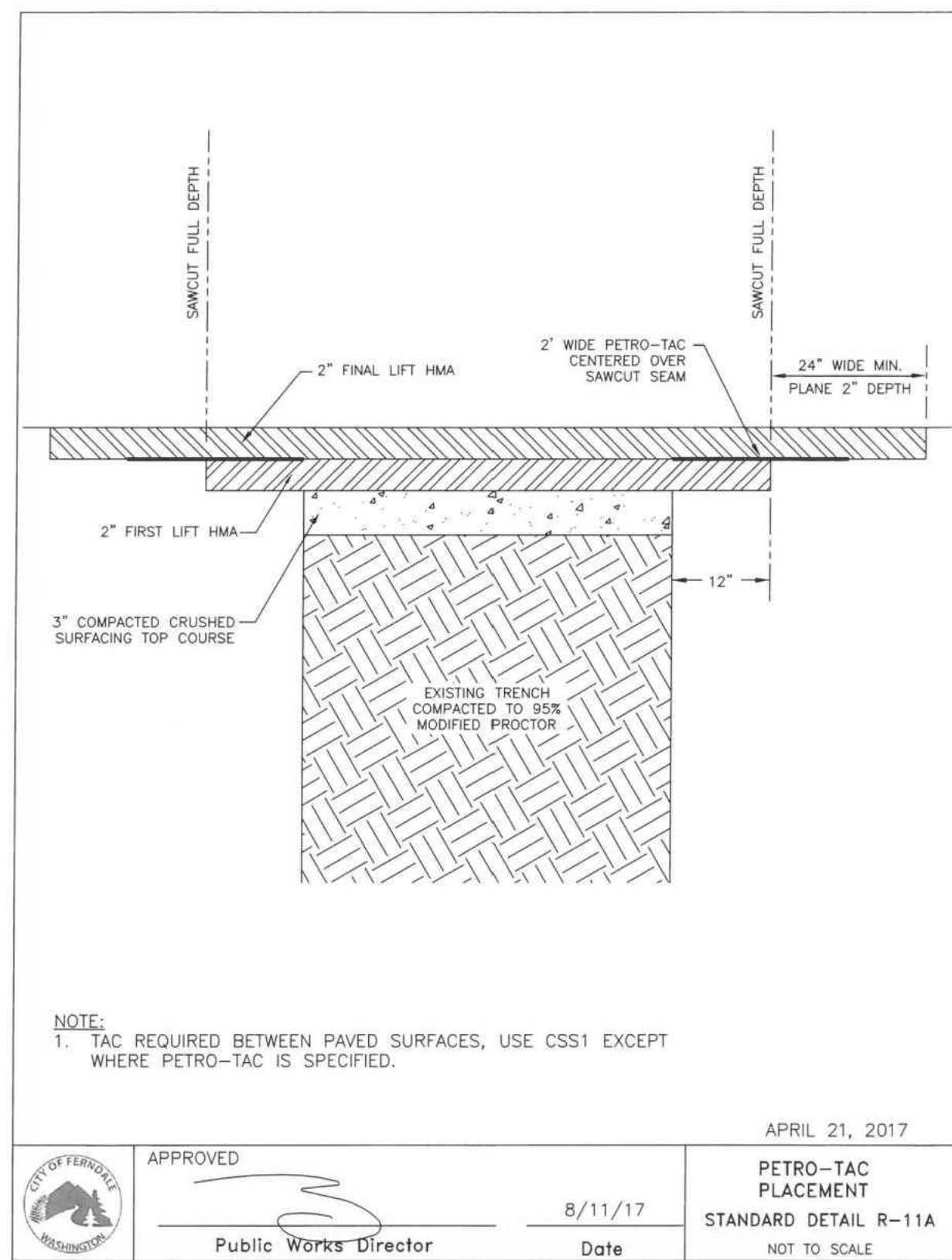
B FIRE HYDRANT ASSEMBLY
nts



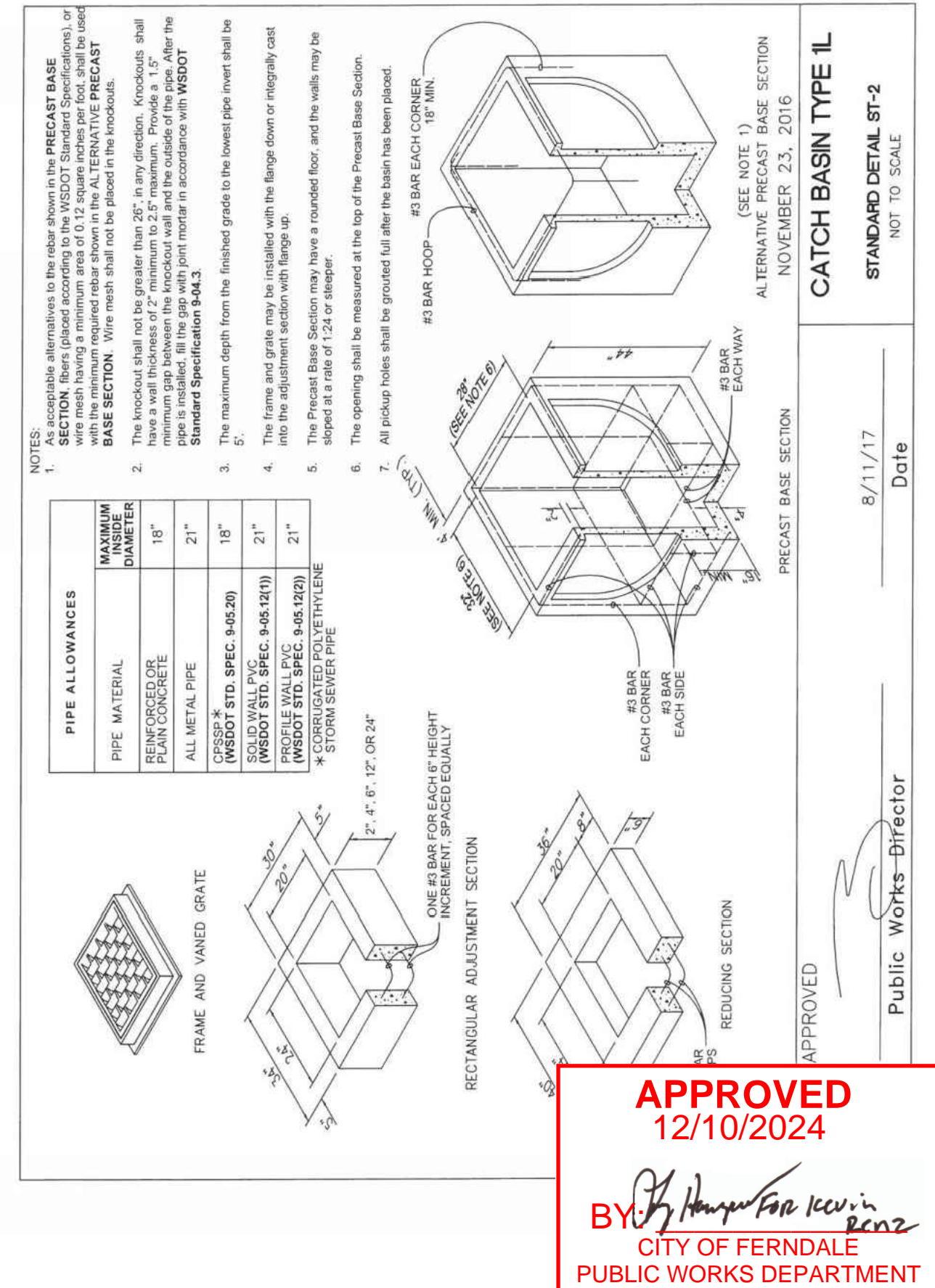
C THRUST BLOCKING DETAIL
nts



D WATER TRENCHING DETAIL
nts



E PETRO-TAC PLACEMENT
nts



F CATCH BASIN TYPE 1L
nts

AS-BUILT DRAWING
AS-BUILT NOTE:
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HAS BEEN PROVIDED BY CONTRACTOR



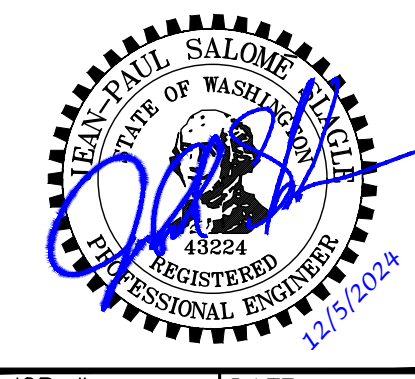
CLIENT: **HOME STORAGE, LLP**
2252 ODELL ROAD
BLAINE, WASHINGTON

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1-800-424-5655

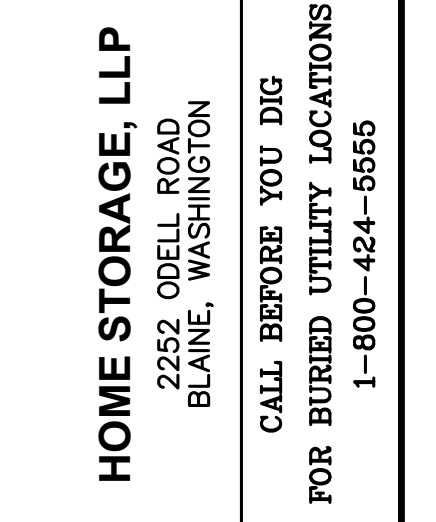
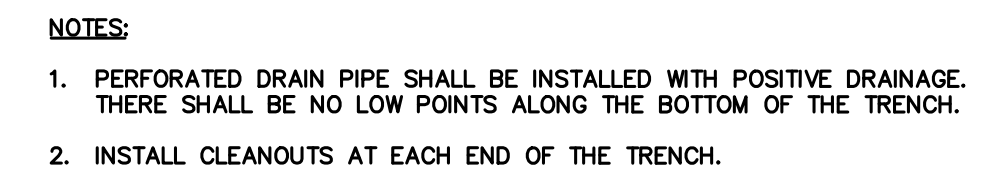
PROJECT LOCATION: **LABOURY SELF STORAGE PHASE 2**
5270 LABOURY DRIVE
FERNDAL, WASHINGTON

DRAWING #: 19143AB3.DWG
DESIGNED BY: JPS
DRAWN BY: DJP
CHECKED BY: MDS

WATER DETAILS



JOB #: 19143
DATE: 12-5-2024
SCALE: N/A
SHEET: C12

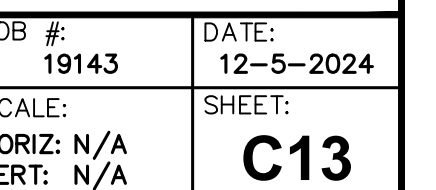


LOCATION: **LABORATORY SELF STORAGE**
PHASE 2
 5270 LABORATORY DRIVE
 FERNDALE, WASHINGTON

DRAWING #: 19142AB3.DWG	DRAWN BY: DJP
DESIGNED BY: JPS	CHECKED BY: MOB

ITEMS:

WATER CROSSING DETAIL



AS-BUILT DRAWING

AS-BUILT NOTE:
ONLY INFORMATION NOTED AS AS-BUILT "(AB)"
HAS BEEN PROVIDED BY CONTRACTOR

