

EMERALD BUILDERS OFFICE/WAREHOUSE LOT 11/1355 PACIFIC PLACE

SITUATE IN A PORTION OF THE SE CORNER, OF SECTION 33, T. 39 N., R. 02 E., W.M.
CITY OF FERNDAL, WHATCOM COUNTY, WASHINGTON

LEGEND

○	= CAPPED IRON PIPE FND. (PLS#13138)
●	= CAPPED REBAR SET 11-9-04 (PLS#18927)
⊗	= NAIL/FLASHER SET (PLS#18927)
□	= HUB & TACK SET
□	= PROPERTY LINE STAKE SET
□	= EXIST MAIL BOX
□	= EXIST TELEPHONE PEDESTAL
○	= EXIST POWER POLE
○	= EXIST POWER POLE W/METER
△	= EXIST POWER METER
—	= EXIST UNDERGROUND TELEPHONE
—	= EXIST LARGER DIA. TREE
—	= EXIST SIGN
—	= EXIST TOP OF BANK/RD SHOULDER
—	= EXIST TOE OF BANK
—	= EXIST CENTERLINE OF DITCH
—	= INDICATES DRAINAGE DIRECTION
—	= EXISTING WATER METER BOX
—	= EXISTING WATER WELL
—	= EXISTING WATER VALVE
—	= EXISTING FIRE HYDRANT
—	= EXIST WATER LINE
—	= EXIST SANITARY SEWER CLEANOUT
—	= SPOT ELEV ON EXIST EDGE OF PAVEMENT
—	= SPOT ELEV ON EXIST EDGE OF CONCRETE
—	= SPOT ELEV ON EXIST C.L. OF PAVED ROAD
—	= SPOT ELEV ON EXIST C.L. OF DITCH
—	= SPOT ELEV ON EXIST GROUND
—	= SPOT ELEV ON TOP ASPHALT
—	= SPOT ELEV ON EDGE OF GRAVEL
—	= EXISTING STOP SIGN
—	= EXISTING CHAIN LINK FENCE
—	= EXISTING JUNCTION BOX
—	= PROPOSED ELEV ON TOP OF PAVEMENT
—	= PROPOSED ELEV ON TOP OF WALK
—	= PROPOSED ELEV ON TOP OF CURB
—	= PROPOSED STORM DRAIN CATCH BASIN
—	= PROPOSED STORM DRAIN MANHOLE (TYPE 2)
—	= PROPOSED CHAIN LINK FENCE
—	= PROPOSED STORM DRAIN LINE
—	= PROPOSED SAN. SEWER LINE
—	= PROPOSED WATER LINE
—	= DETAIL CALLOUT

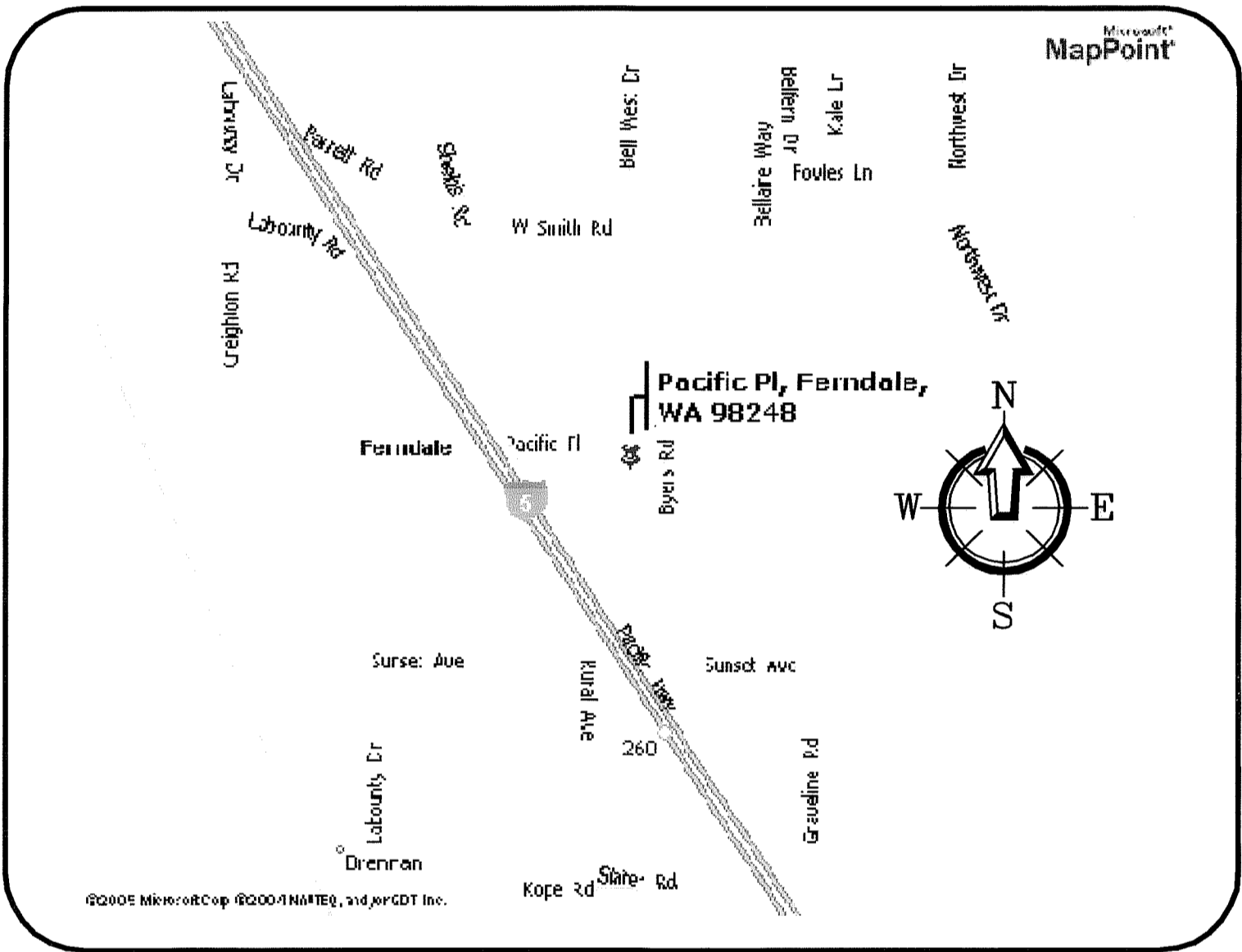
SHEET INDEX

- C1) COVER SHEET
- C2) EXISTING CONDITIONS
- C3) TEMPORARY EROSION & SEDIMENTATION CONTROL PLAN
- C4) SITE PLAN
- C5) PAVING, GRADING & DRAINAGE PLAN
- C6) SANITARY SEWER & WATER PLAN
- C7) STORMWATER POND PLAN
- C8) GENERAL NOTES & DETAILS

ABBREVIATIONS

WL	= WATER LINE	IE	= INVERT ELEVATION
PVC	= POLY VINYL CHLORIDE	INV	= INVERT
D.I.	= DUCTILE IRON	SSCO	= SANITARY SEWER CLEANOUT
LF	= LINEAR FEET	SSMH	= SANITARY SEWER MANHOLE
FH	= FIRE HYDRANT	EG	= EXISTING GRADE
MJ	= MECHANICAL JOINT	STA	= STATION
FL	= FLANGE	AF NO.	= AUDITORS FILE NUMBER
BO	= BLOWOFF ASSEMBLY	ALIGN	= ALIGNMENT
CPLG	= COUPLING	RW/ R/W	= RIGHT OF WAY
ADAPT	= ADAPTER	TR	= TRACT EASEMENT LINE
LT	= LEFT	MB	= MAIL BOX
RT	= RIGHT	UTIL	= UTILITY
TYP	= TYPICAL	REQ	= REQUIRED
EX, EXST	= EXISTING	LOC	= LOCATION
EXST	= EXISTING	APPROX	= APPROXIMATE
CL	= CENTERLINE	CONC	= CONCRETE
FF, FFE	= FINISH FLOOR ELEVATION	PLNTR	= PLANTER
EP, EOP	= EDGE OF PAVING	MLK	= WALKWAY
EL, ELEV	= ELEVATION	FLD	= FIELD
R	= RADIUS	PC	= POINT OF CURVE
FG	= FINISHED GRADE	PT	= POINT OF TANGENCY
FGE	= FINISHED GRADE ELEVATION	TP	= TOP OF PAVEMENT
TBC	= TOP BACK OF CURB	HP	= HIGH POINT
		CPP	= CORRUGATED PLASTIC PIPE

VICINITY MAP



PROJECT INFORMATION

OWNER

EMERALD BUILDERS
112 OHIO ST, SUITE #117
BELLINGHAM, WA 98225

ARCHITECT

RMC ARCHITECTS
BRAD CORNWELL
1223 RAILROAD AVE
BELLINGHAM, WA 98225
(360) 676-7733

CIVIL ENGINEER

FREELAND & ASSOCIATES, INC.
TONY FREELAND, PE
J.P. SLAGLE, EIT
1408 NORTH GARDEN STREET
BELLINGHAM, WA 98225
(360) 650-1408
(360) 650-1401 {FAX}

SURVEYOR

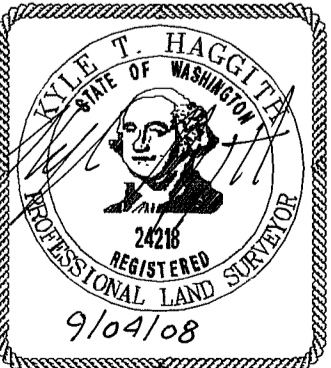
LAND DEVELOPMENT ENGINEERING & SURVEYING, INC.
5160 INDUSTRIAL WAY PIP BLDG # 108
FERNDAL, WA 98248
(360) 383-0620
(360) 383-0639 {FAX}

CALL BEFORE YOU DIG
FOR BURIED UTILITY LOCATIONS
1-800-424-5555

Surveyor's Certification

I CERTIFY THAT THE LOCATIONS, ELEVATIONS, DEPTHS,
AND AS-BUILT COMMENTS REFLECTING MATERIALS
ACTUALLY USED DURING CONSTRUCTION ACCURATELY
REFLECT EXISTING FIELD CONDITIONS AS DETERMINED
BY ME OR UNDER MY DIRECT SUPERVISIONS ON THIS
DATE: 9/04/08

BY: [Signature]



Asbuilt Drawing Certification

I HEREBY CERTIFY THAT THE IMPROVEMENTS IN EMERALD
BUILDERS HAVE BEEN INSPECTED BY FREELAND &
ASSOCIATES, INC. AND CONSTRUCTED IN CONFORMANCE
WITH THE PLANS APPROVED BY THE PUBLIC WORKS
DIRECTOR FOR SAID DEVELOPMENT AND THE GENERAL
SPECIFICATIONS ADOPTED BY THE CITY OF FERNDAL
PUBLIC WORKS.

By: [Signature] Date: 9-2-08



CITY OF FERNDAL PROJECT #DE 2005-16

05039ASB2COF

1408 North Garden Street
Bellingham, WA 98225

t: 360.650.1408
f: 360.650.1401

DATE: 08-27-08
JOB #: 05039

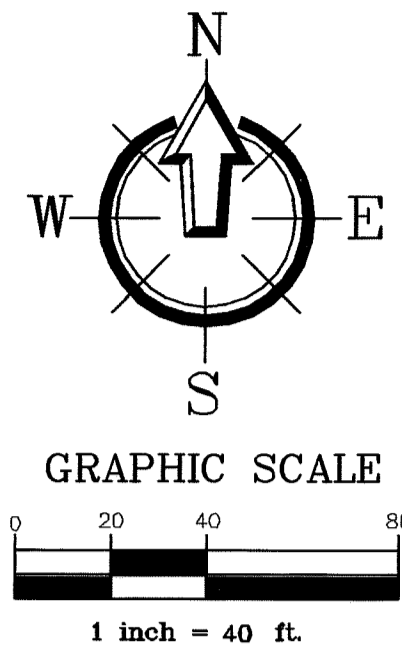
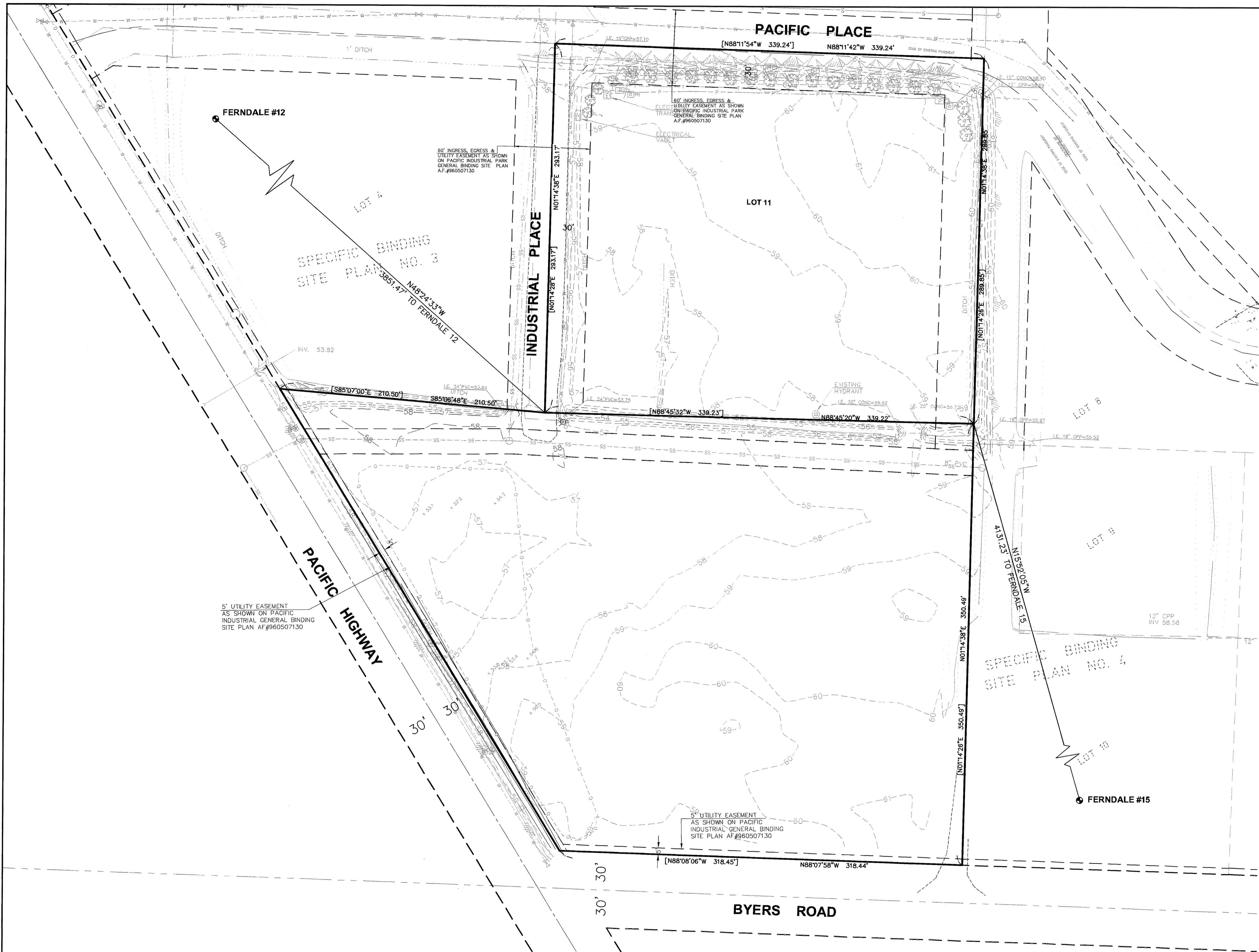
SHEET: C1

FREELAND & ASSOCIATES

APPROVED
[Signature]
CITY OF FERNDAL

"AS-BUILTS"

00384.001 7-8-09 DB



NOTES:

- 1) HORIZONTAL DATUM: CITY OF FERDALE SURVEY MONUMENT NETWORK JUNE, 2001
BASIS OF BEARINGS: FERDALE 13 TO FERDALE 12
BEARING: N85°39'09"W
BEARING OF WEST LINE OF LOT 11, PACIFIC INDUSTRIAL PARK
SPECIFIC BINDING SITE PLAN NO. 5 [N01°14'28"E] REFERENCED TO
THE CITY OF FERDALE SURVEY MONUMENT NETWORK IS N01°14'38"E.
- 2) VERTICAL DATUM: CITY OF FERDALE DATUM, HELD FERN#12-CASED
CONC. MON. WITH BRASS CAP AT INTERSECTION SMITH RD. AND
LABOUNTY (GIVEN ELEVATION 31.27), CHECKED TO FERN#15-CASED
CONC. MON. WITH BRASS CAP LOCATED ON NORTH SIDE OF ACCESS
ROAD SOUTH OF SLATER ROAD (GIVEN ELEV. 89.31).
- 3) CONTOUR INTERVAL IS 1 FOOT AND ARE COMPUTER GENERATED
FROM FIELD TOPOGRAPHY GATHERED FOR THIS SURVEY UTILIZING
ELECTRONIC DATA COLLECTION.
- 4) FREELAND & ASSOCIATES, ASSUMES NO LIABILITY FOR ANY
SUBSURFACE CONDITIONS OR FEATURES THAT MAY EXIST THAT
AREN'T DETECTABLE AND/OR NOT VISIBLE.

LEGAL DESCRIPTION:

LOT 11, PACIFIC INDUSTRIAL PARK SPECIFIC BINDING SITE
PLAN NO. 5, ACCORDING TO THE MAP THEREOF, RECORDED
UNDER WHATCOM COUNTY AUDITOR'S FILE NO. 1981100875,
AND CONTAINING 2.27 ACRES, MORE OR LESS.
SITUATE IN WHATCOM COUNTY, STATE OF WASHINGTON.

Surveyor's Certification
I CERTIFY THAT THE LOCATIONS, ELEVATIONS, DEPTHS,
AND AS-BUILT COMMENTS REFLECTING MATERIALS
ACTUALLY USED DURING CONSTRUCTION ACCURATELY
REFLECT EXISTING FIELD CONDITIONS AS DETERMINED
BY ME OR UNDER MY DIRECT SUPERVISIONS ON THIS
DATE: 9/04/08
By: *Hyl Nylor*



Asbuilt Drawing Certification
I HEREBY CERTIFY THAT THE IMPROVEMENTS IN EMERALD
BUILDERS HAVE BEEN INSPECTED BY FREELAND &
ASSOCIATES, INC. AND CONSTRUCTED IN CONFORMANCE
WITH THE PLANS APPROVED BY THE PUBLIC WORKS
DIRECTOR FOR SAID DEVELOPMENT AND THE GENERAL
SPECIFICATIONS ADOPTED BY THE CITY OF FERDALE
PUBLIC WORKS.
By: *hua f* Date: 9-2-08

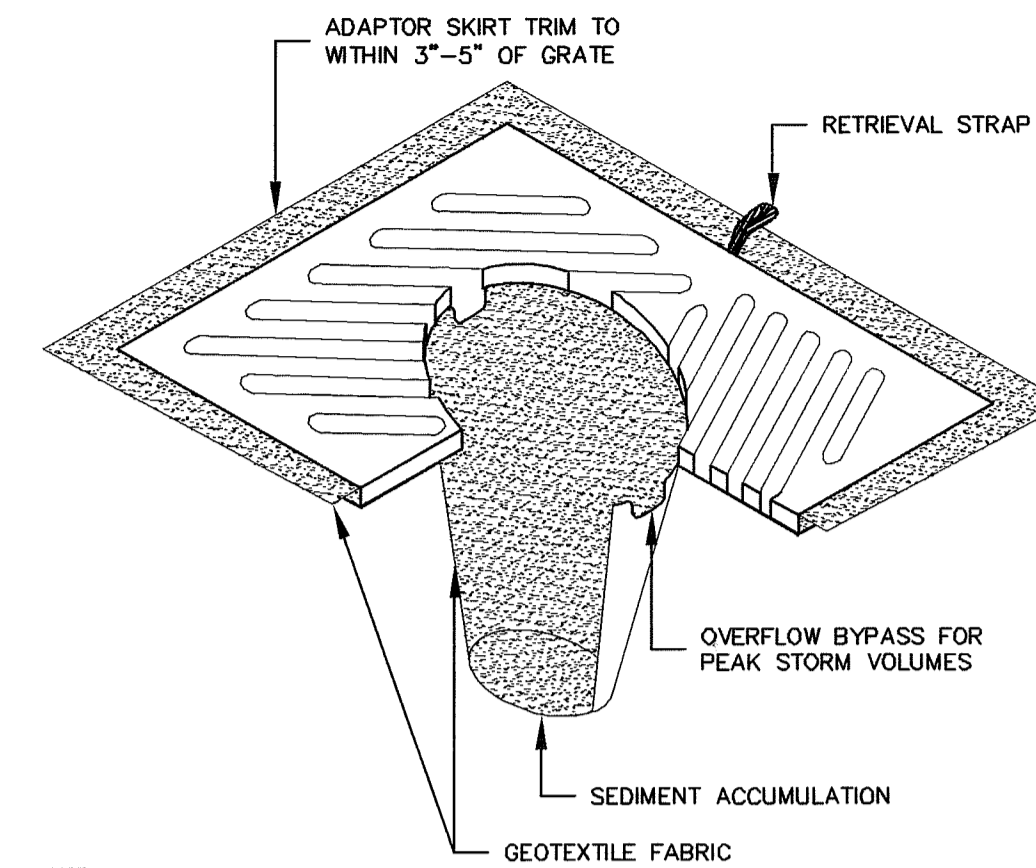
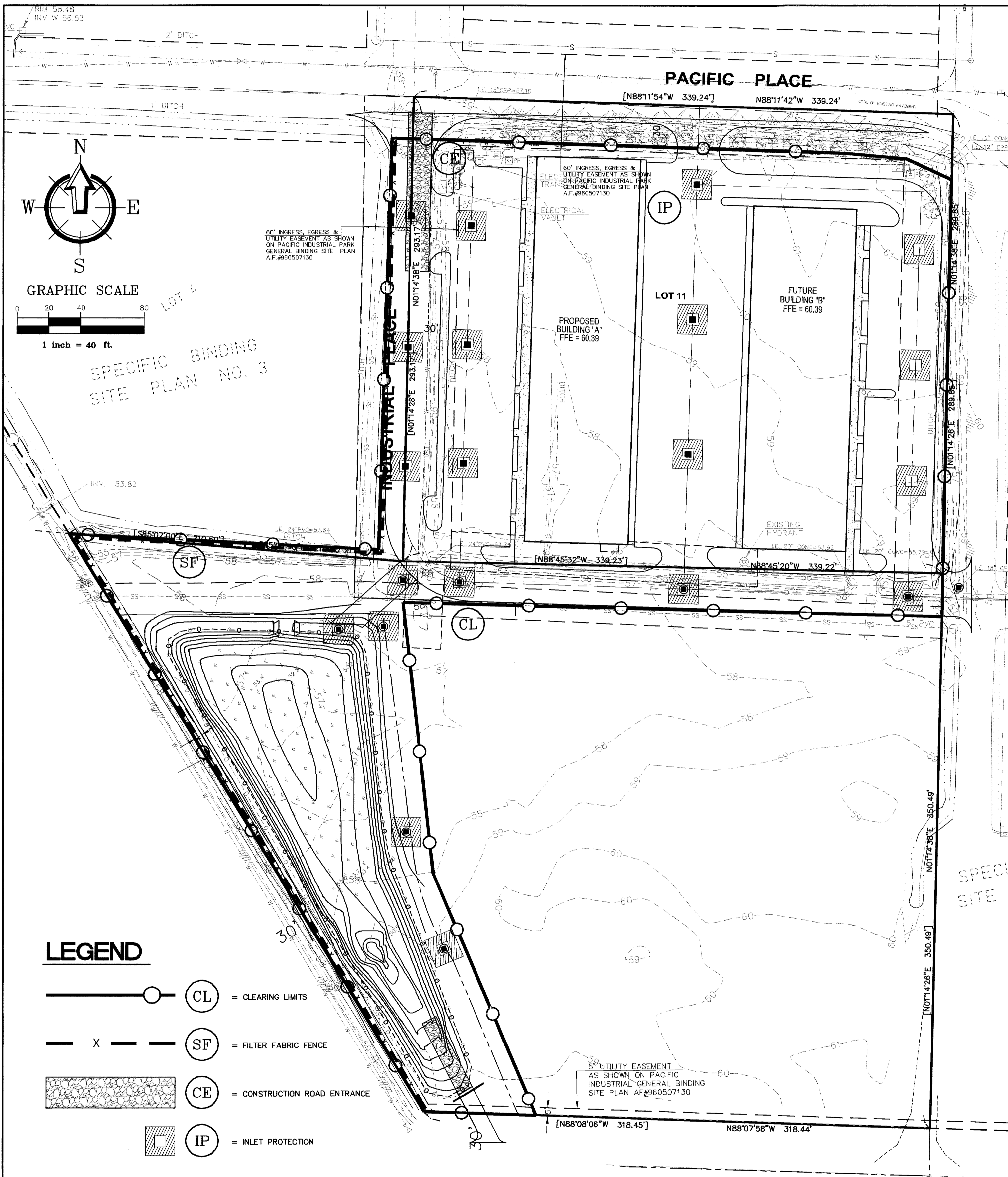


DESIGNED BY: HAF		DRAWN BY: CN		CHECKED BY: HAF		PROJECT LOCATION: LOT 11, SBSP NO. 5 PACIFIC INDUSTRIAL PARK FERDALE, WASHINGTON		SHEET CONTENTS: EXISTING CONDITIONS		DWG #: 05039ASB2COF		DATE: 09-02-08	
1408 North Garden Street Bellingham, WA 98225 t: 360.650.1408 f: 360.650.1401		FREELAND & ASSOCIATES		EMERALD BUILDERS 112 OHIO STREET, SUITE 117 BELLINGHAM, WA 98225		LOT 11, SBSP NO. 5 PACIFIC INDUSTRIAL PARK FERDALE, WASHINGTON		H: 1"=40' V: n/a		05039		C2	
No.	Date	REVISION		By									

00384.007 78.00 DD

"AS-BUILTS"

APPROVED
BY: *Robert Cook*
CITY OF FERDALE



NOTES:

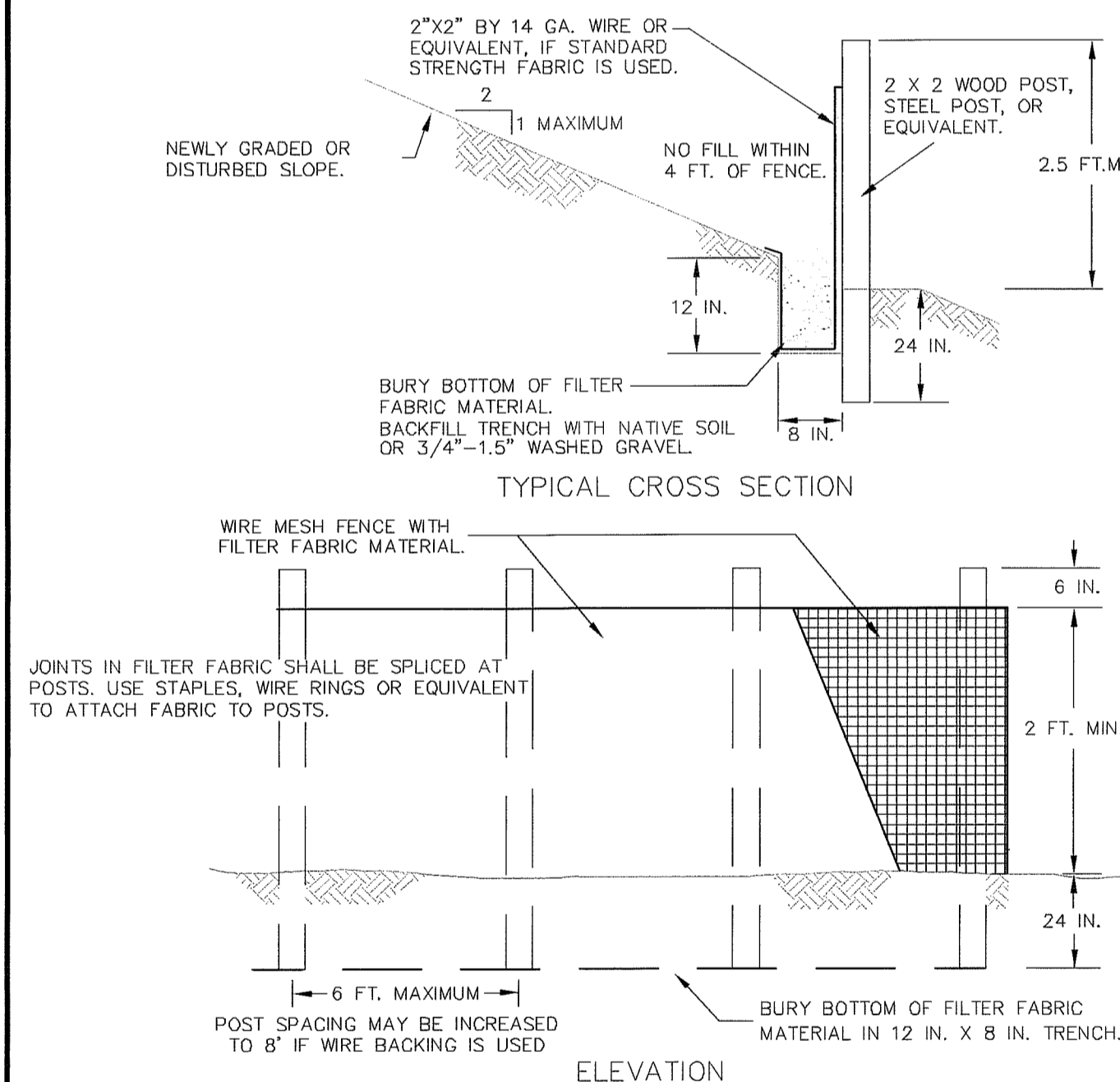
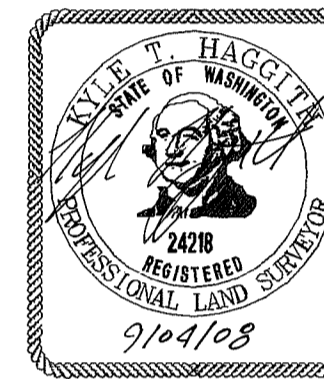
1. INSERT SHALL BE INSTALLED PRIOR TO CLEARING AND GRADING ACTIVITY, OR UPON PLACEMENT OF A NEW CATCH BASIN.
2. SEDIMENT SHALL BE REMOVED FROM THE UNIT WHEN IT BECOMES HALF FULL.
3. SEDIMENT REMOVAL SHALL BE ACCOMPLISHED BY REMOVING THE INSERT, EMPTYING, AND RE-INSERTING IT INTO THE CATCH BASIN.

IP CATCH BASIN INSERT

Surveyor's Certification

I CERTIFY THAT THE LOCATIONS, ELEVATIONS, DEPTHS, AND AS-BUILT COMMENTS REFLECTING MATERIALS ACTUALLY USED DURING CONSTRUCTION ACCURATELY REFLECT EXISTING FIELD CONDITIONS AS DETERMINED BY ME OR UNDER MY DIRECT SUPERVISIONS ON THIS DATE: 9/04/08

BY: [Signature]



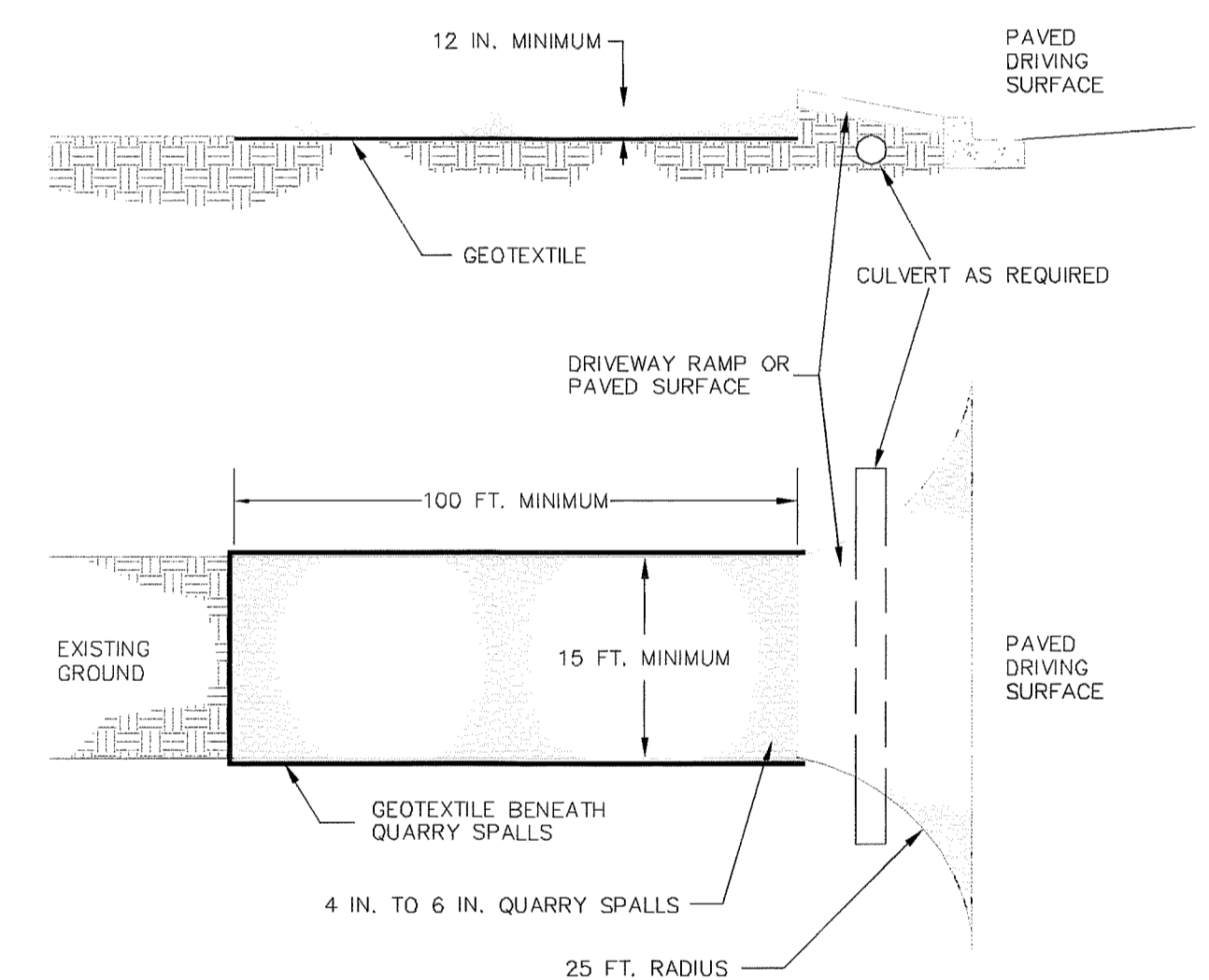
NOTES:

1. FENCE SHALL NOT BE INSTALLED ON SLOPES STEEPER THAN 2 : 1.
2. JOINTS IN FILTER FABRIC SHALL BE OVERLAPPED 6 INCHES AT POST.
3. USE STAPLES, WIRE RINGS, OR EQUIVALENT TO ATTACH FABRIC TO WIRE FENCE.
4. REMOVE SEDIMENT WHEN IT REACHES 1/3 FENCE HEIGHT.

FF FILTER FABRIC FENCE

EROSION/SEDIMENTATION CONTROL

1. APPROVAL OF THE EROSION/SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).
2. THE IMPLEMENTATION OF THE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS APPROVED, AND LANDSCAPING IS ESTABLISHED.
3. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
4. THE ESC FACILITIES SHOWN ON THE PLANS MUST BE CONSTRUCTED PRIOR TO ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO INSURE THAT SEDIMENT LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER STANDARDS.
5. THE ESC FACILITIES SHOWN ON THE PLANS ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED (E.G., ADDITIONAL SUMPS, RELOCATION OF DITCHES AND SILT FENCES, ETC.) AS NEEDED FOR UNEXPECTED STORM EVENTS, AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DO NOT LEAVE THE SITE.
6. THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING.
7. THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING.
8. AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM.
9. STABILIZED CONSTRUCTION ENTRANCES AND WASH PADS SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
10. ANY AREA STRIPPED OF VEGETATION, INCLUDING ROADWAY EMBANKMENTS, WHERE NO FURTHER WORK IS ANTICIPATED FOR A PERIOD OF 7 DAYS, SHALL BE IMMEDIATELY STABILIZED WITH APPROVED ESC METHODS (E.G. SEEDING, MULCHING, NETTING, EROSION BLANKETS, ETC.).
11. PUBLIC RIGHTS-OF-WAY SHALL BE KEPT IN A CLEAN SERVICEABLE MANNER AT ALL TIMES. IN THE EVENT THAT MATERIAL IS DEPOSITED ON ROADWAYS, THE MATERIAL SHALL BE PROMPTLY REMOVED. MATERIALS ARE TO BE SWEEPED AND REMOVED PRIOR TO ANY FLUSHING. PUBLIC AND PRIVATE DRAINAGE WAYS SHALL BE PROTECTED FROM POLLUTION.
12. UPON COMPLETION OF PROJECT AND REMOVAL OF ALL TESC MEASURES, THE POND AND ALL AFFECTED CATCH BASINS MUST BE CLEANED OUT.



NOTES:

1. PAD SHALL BE REMOVED AND REPLACED WHEN SOIL IS EVIDENT ON THE SURFACE OF THE PAD OR AS DIRECTED BY THE CITY.
2. PAD SHALL BE INSTALLED IN PLANTING STRIP AS APPROPRIATE.
3. PAD THICKNESS SHALL BE INCREASED IF SOIL CONDITIONS DICTATE OR PER THE DIRECTION OF THE CITY.
4. MINIMUM DIMENSIONS MAY BE MODIFIED AS REQUIRED BY SITE CONDITIONS UPON APPROVAL OF THE CITY.

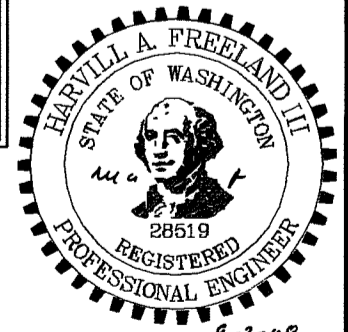
Asbuilt Drawing Certification

I HEREBY CERTIFY THAT THE IMPROVEMENTS IN EMERALD BUILDERS HAVE BEEN INSPECTED BY FREELAND & ASSOCIATES, INC. AND CONSTRUCTED IN CONFORMANCE WITH THE PLANS APPROVED BY THE PUBLIC WORKS DIRECTOR FOR SAID DEVELOPMENT AND THE GENERAL SPECIFICATIONS ADOPTED BY THE CITY OF FERDALE PUBLIC WORKS.

By: [Signature]

Date: 9-2-08

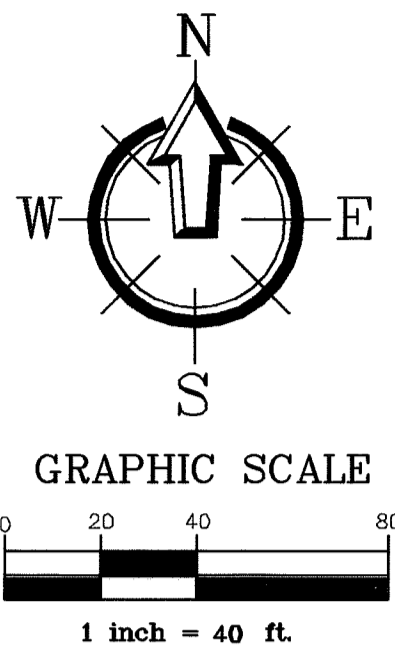
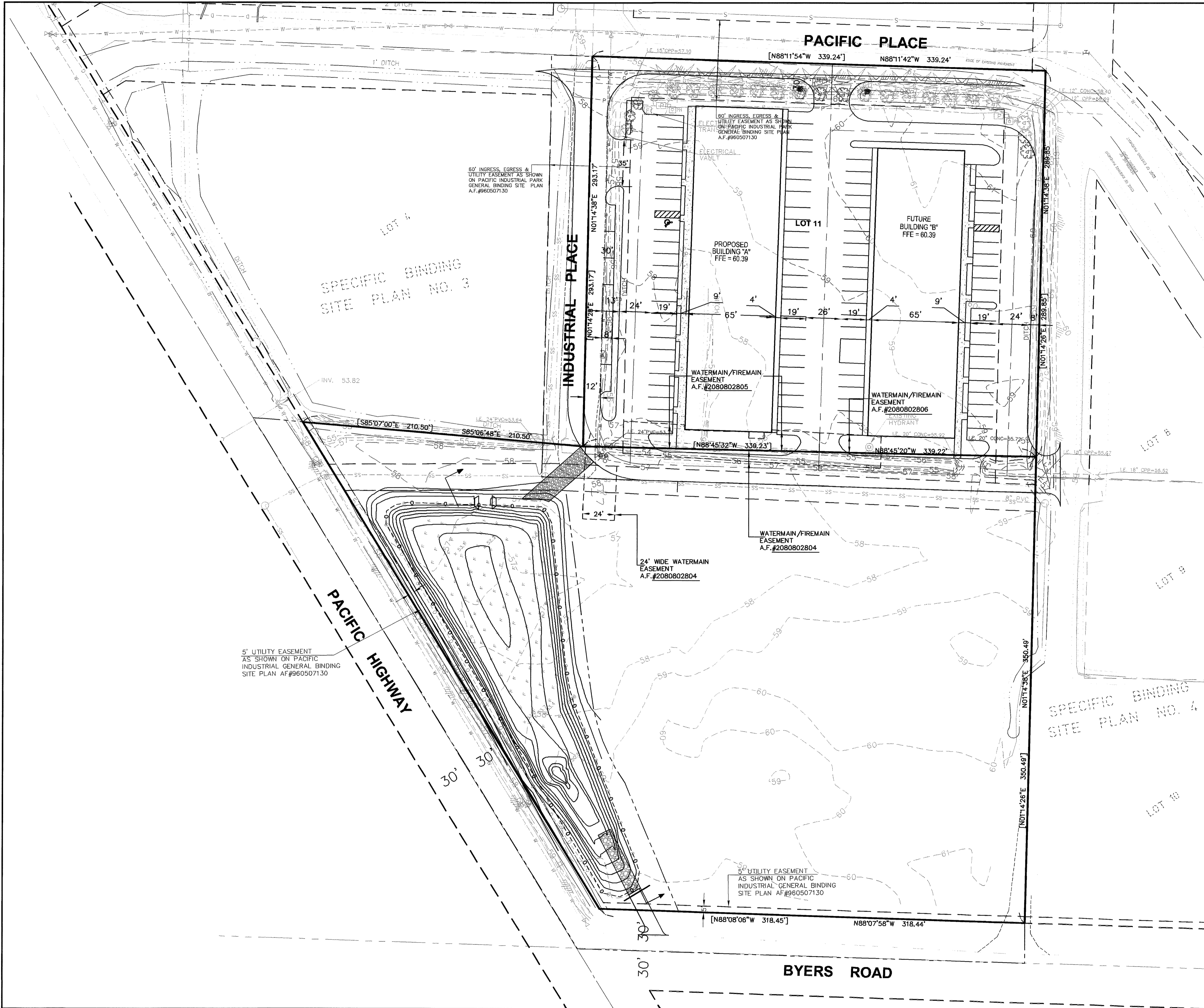
CE CONSTRUCTION ROAD ENTRANCE



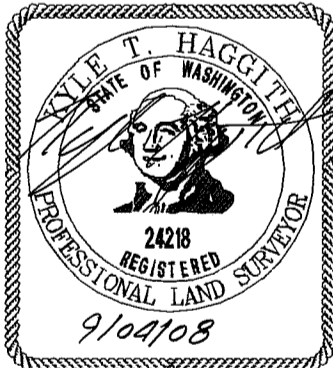
DESIGNED BY: HAF		1408 North Garden Street Bellingham, WA 98225		t: 360.850.1406 f: 360.850.1401		CLIENT: EMERALD BUILDERS 112 OHIO STREET, SUITE 117 BELLINGHAM, WA 98225		SHEET CONTENTS: TEMPORARY EROSION & SEDIMENTATION PLAN		DWG #: 05039ASB2CCOF		DATE: 09-02-08	
DRAWN BY: AMN		PROJECT LOCATION: LOT 11, SBSP NO. 5 PACIFIC INDUSTRIAL PARK FERDALE, WASHINGTON		CHECKED BY: HAF		SCALE: H: 1"=40' V: n/a		SHEET: C3					
No.	Date	REVISION		By									

"AS-BUILTS"

APPROVED
BY: [Signature]
CITY OF FERDALE



Surveyor's Certification
I CERTIFY THAT THE LOCATIONS, ELEVATIONS, DEPTHS, AND AS-BUILT COMMENTS REFLECTING MATERIALS ACTUALLY USED DURING CONSTRUCTION ACCURATELY REFLECT EXISTING FIELD CONDITIONS AS DETERMINED BY ME OR UNDER MY DIRECT SUPERVISIONS ON THIS DATE: 9/24/08
BY: [Signature]



Asbuilt Drawing Certification
I HEREBY CERTIFY THAT THE IMPROVEMENTS IN EMERALD BUILDERS HAVE BEEN INSPECTED BY FREELAND & ASSOCIATES, INC. AND CONSTRUCTED IN CONFORMANCE WITH THE PLANS APPROVED BY THE PUBLIC WORKS DIRECTOR FOR SAID DEVELOPMENT AND THE GENERAL SPECIFICATIONS ADOPTED BY THE CITY OF FERDALE PUBLIC WORKS.
By: [Signature] Date: 9-2-08



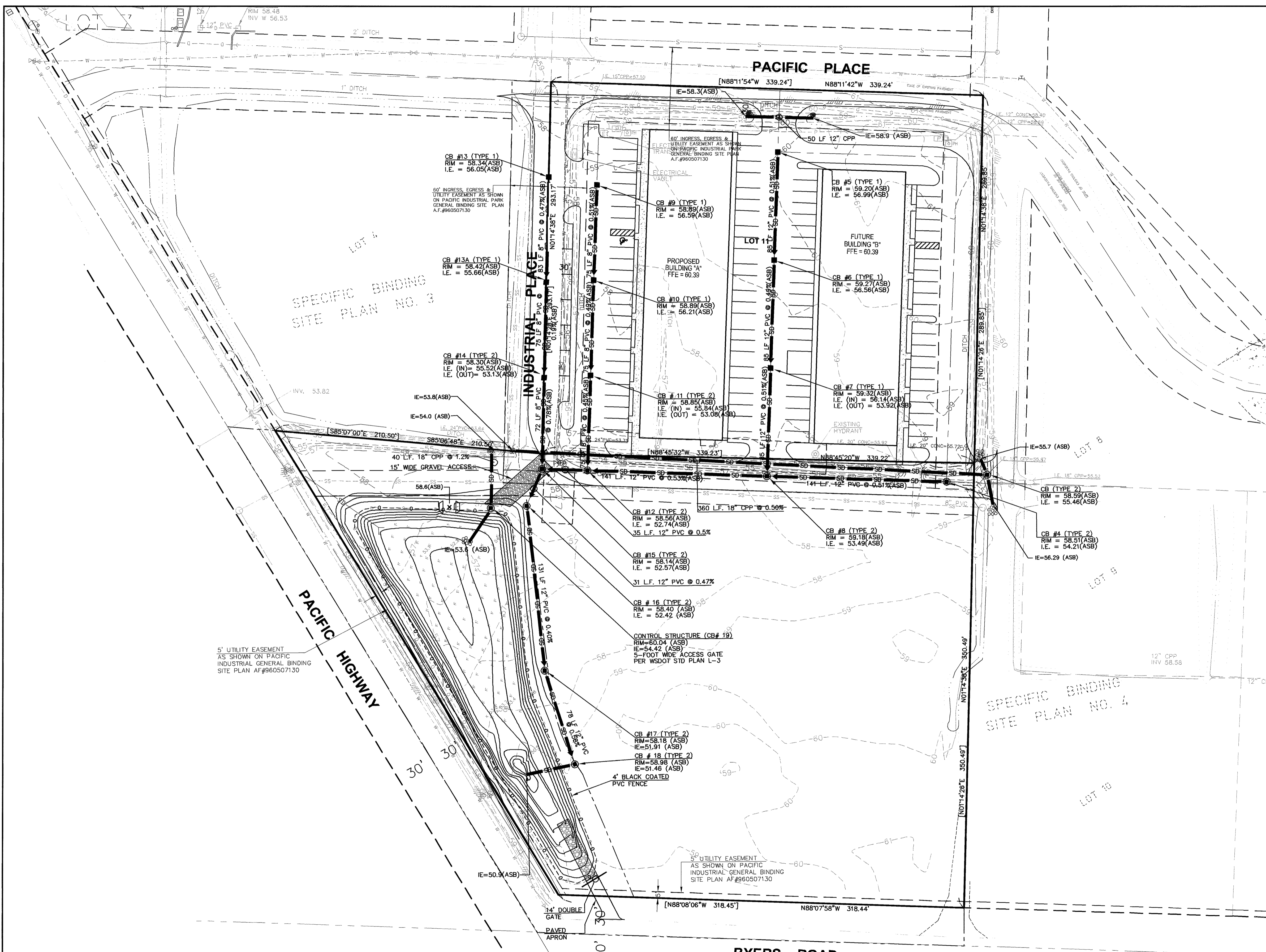
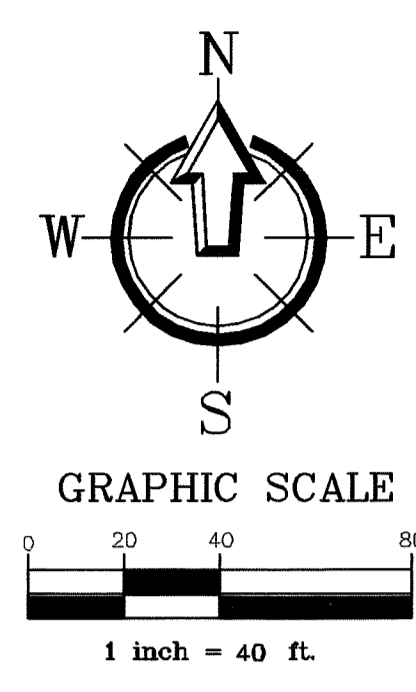
DESIGNED BY: HAF			DRAWN BY: CN, JPS			CHECKED BY: HAF			PROJECT LOCATION: EMERALD BUILDERS 112 OHIO STREET, SUITE 117 BELLINGHAM, WA 98225 LOTS 11 SBSP NO. 5 PACIFIC INDUSTRIAL PARK FERDALE, WASHINGTON			SHEET CONTENTS: SITE PLAN			DWG #: 05039ASB2COF			DATE: 09-02-08		
2 8-16-07 PARKING EDITS PER CLIENT DIRECTION			1 9-7-06 EDITS PER CLIENT DIRECTION												SCALE: 05039			H: 1"=40'		
No. Date REVISION															V: n/a			C4		

00384.004 7809 DD

"AS-BUILTS"

APPROVED
BY: [Signature]
CITY OF FERDALE

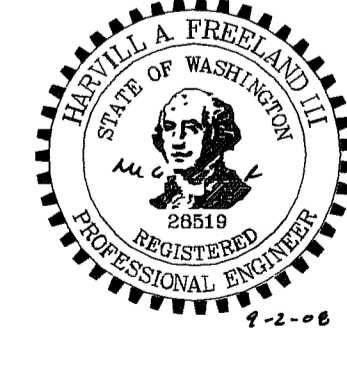
0384.005 7-8-09



Surveyor's Certification
I CERTIFY THAT THE LOCATIONS, ELEVATIONS, DEPTHS, AND AS-BUILT COMMENTS REFLECTING MATERIALS ACTUALLY USED DURING CONSTRUCTION ACCURATELY REFLECT EXISTING FIELD CONDITIONS AS DETERMINED BY ME OR UNDER MY DIRECT SUPERVISIONS ON THIS DATE: 7/04/08
BY: [Signature]



Asbuilt Drawing Certification
I HEREBY CERTIFY THAT THE IMPROVEMENTS IN EMERALD BUILDERS HAVE BEEN INSPECTED BY FREELAND & ASSOCIATES, INC. AND CONSTRUCTED IN CONFORMANCE WITH THE PLANS APPROVED BY THE PUBLIC WORKS DIRECTOR FOR SAID DEVELOPMENT AND THE GENERAL SPECIFICATIONS ADOPTED BY THE CITY OF FERDALE PUBLIC WORKS.
By: [Signature] Date: 9-2-08

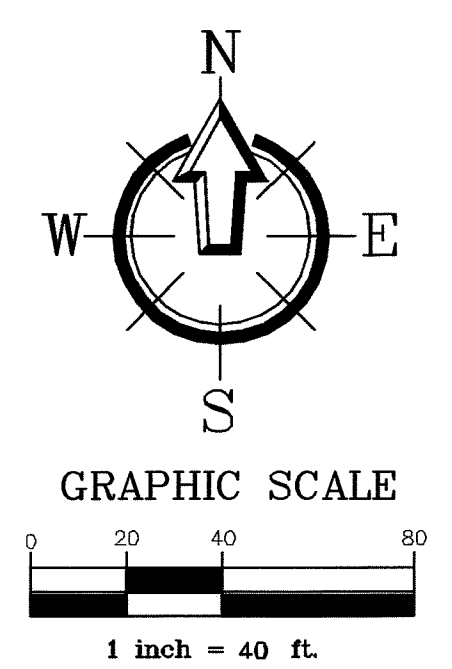


				DESIGNED BY: HAF, JPS			1408 North Garden Street Bellingham, WA 98225 t: 360.850.1408 f: 360.650.1401		CLIENT:	EMERALD BUILDERS 112 OHIO STREET, SUITE 117 BELLINGHAM, WA 98225		SHEET CONTENTS: PAVING, GRADING & DRAINAGE PLAN	DWG #:	05039ASB2COF		DATE:
				DRAWN BY: CN, JPS					PROJECT LOCATION:	LOT 11, SBSP NO.5 PACIFIC INDUSTRIAL PARK FERDALE, WASHINGTON			JOB #:	05039		09-02-08
				CHECKED BY: HAF									SCALE:			SHEET:
2	9-7-06	EDITS PER CLIENT DIRECTION		AMM									H: 1"=40'	V: n/a	C5	
1	9-7-06	EDITS PER CLIENT DIRECTION		JPS												
No.	Date	REVISION		By												

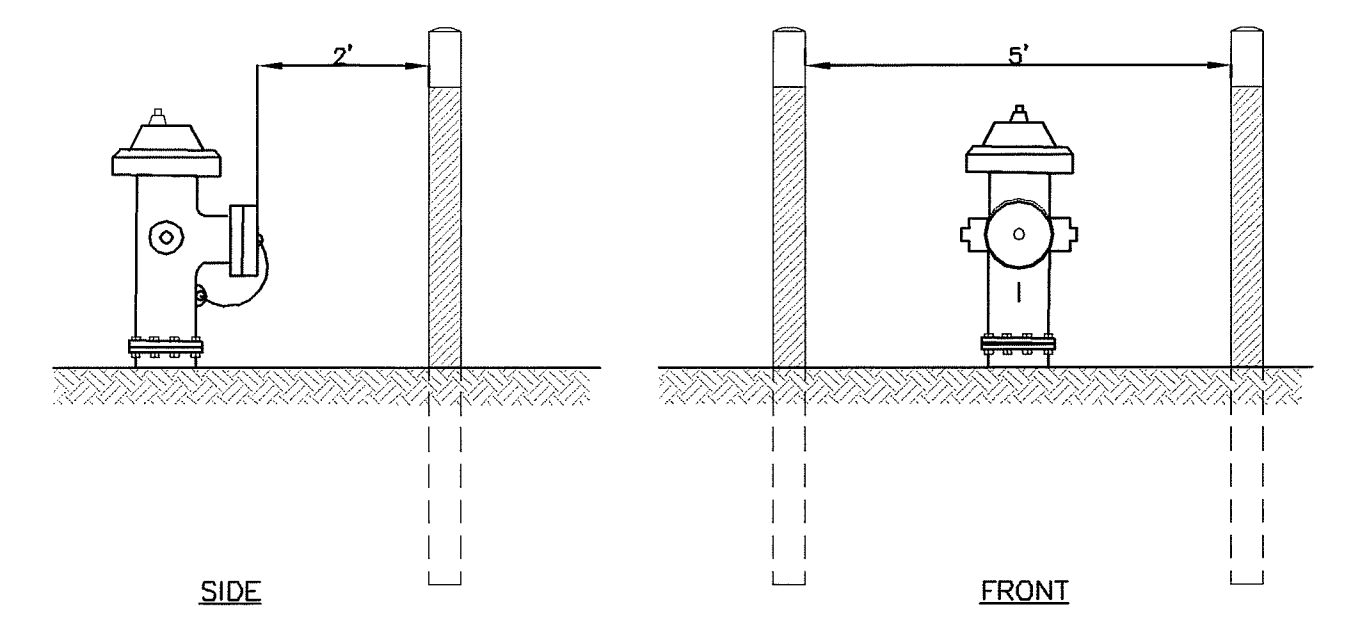
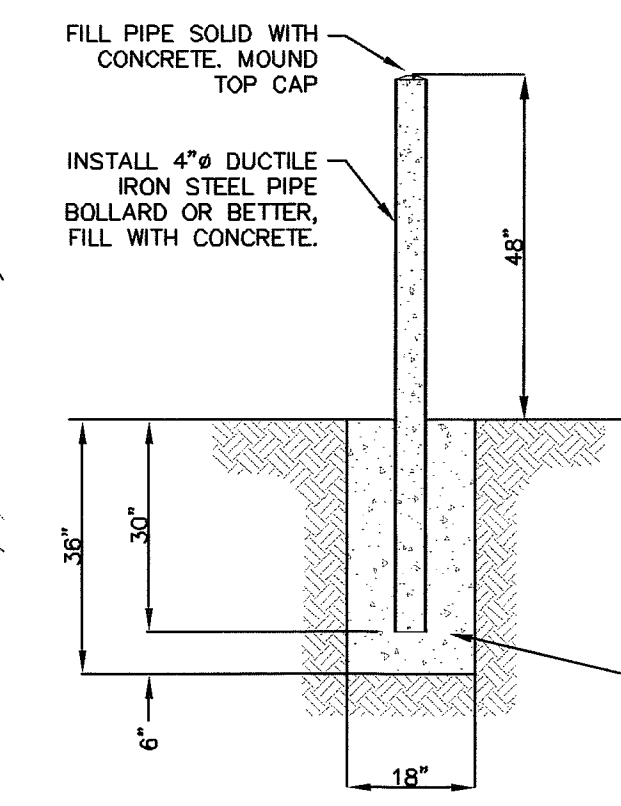
"AS-BUILTS"

APPROVED
BY: [Signature]

00384.006 7-8-09 DD



- NOTES:**
1. BOLLARDS SHALL BE 4" DIAMETER DUCTILE IRON POSTS SET IN 36" OF CONCRETE AT LEAST 18" IN DIAMETER. THE INSIDE OF POSTS SHALL ALSO BE FILLED WITH CONCRETE WITH SMOOTH MOUND AS TOP CAP.
 2. BOLLARDS SHALL BE LOCATED AT LEAST 2' IN FRONT OF HYDRANT, 5' APART.
 3. BOLLARDS SHALL EXTEND ABOVE GROUND TO A MINIMUM OF 4'.
 4. BOLLARDS SHALL BE OF SUFFICIENT NUMBER TO PROTECT THE HYDRANT, MINIMUM OF 2.
 5. PAINT BOLLARDS RED WITH TOP 8" PAINTED WHITE.



FIRE HYDRANT BOLLARD DETAIL PROTECTION

Surveyor's Certification

I CERTIFY THAT THE LOCATIONS, ELEVATIONS, DEPTHS, AND AS-BUILT COMMENTS REFLECTING MATERIALS ACTUALLY USED DURING CONSTRUCTION ACCURATELY REFLECT EXISTING FIELD CONDITIONS AS DETERMINED BY ME OR UNDER MY DIRECT SUPERVISIONS ON THIS DATE: 9/04/08

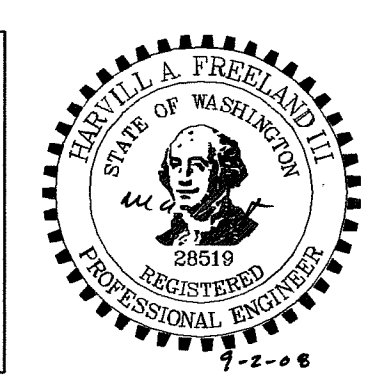
BY: [Signature]



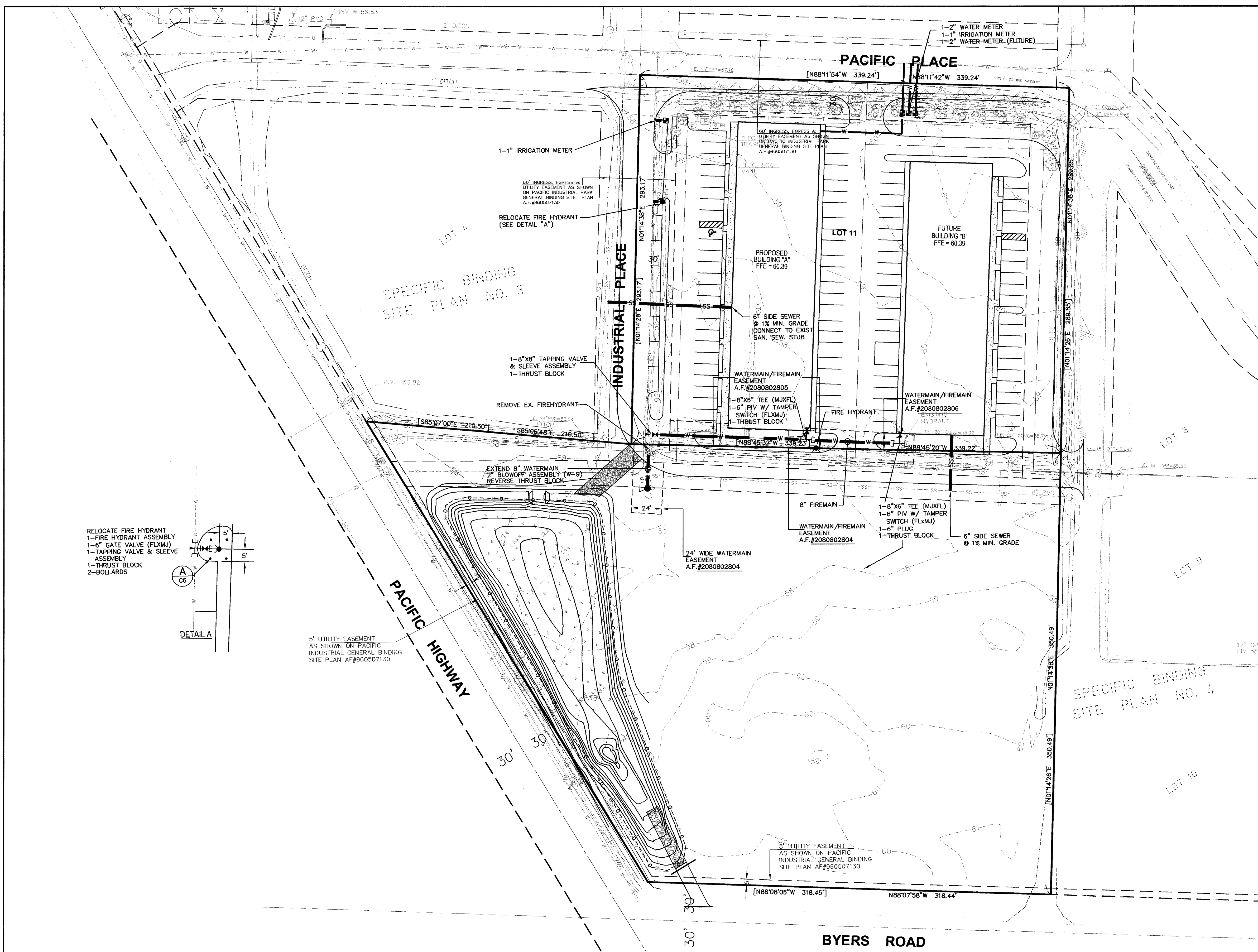
Asbuilt Drawing Certification

I HEREBY CERTIFY THAT THE IMPROVEMENTS IN EMERALD BUILDERS HAVE BEEN INSPECTED BY FREELAND & ASSOCIATES, INC. AND CONSTRUCTED IN CONFORMANCE WITH THE PLANS APPROVED BY THE PUBLIC WORKS DIRECTOR FOR SAID DEVELOPMENT AND THE GENERAL SPECIFICATIONS ADOPTED BY THE CITY OF FERNDALE PUBLIC WORKS.

By: [Signature] Date: 9-2-08



"AS-BUILTS"



CALL BEFORE YOU DIG
FOR BURIED UTILITY LOCATIONS
1-800-424-5555

No.	Date	REVISION
2	9-7-06	EDITS PER CLIENT DIRECTION
1	9-7-06	EDITS PER CLIENT DIRECTION

DESIGNED BY: HAF
DRAWN BY: AMN, JPS
CHECKED BY: HAF

1406 North Garden Street
Bellingham, WA 98225
T: 360.850.1408
F: 360.850.1401

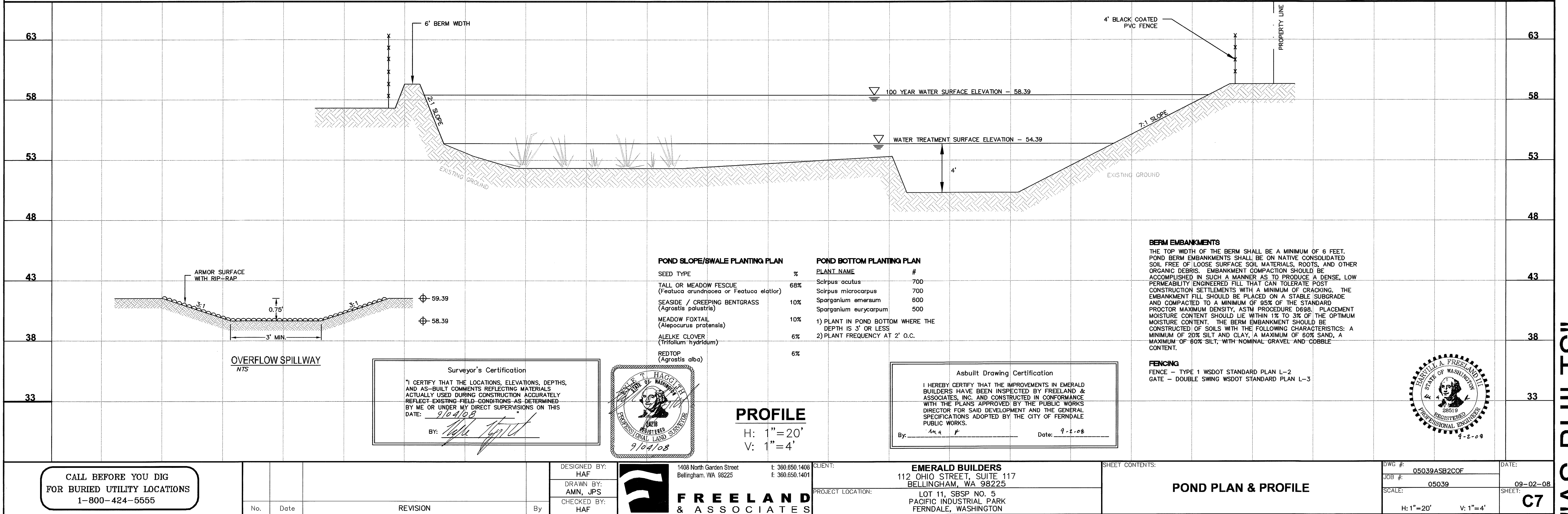
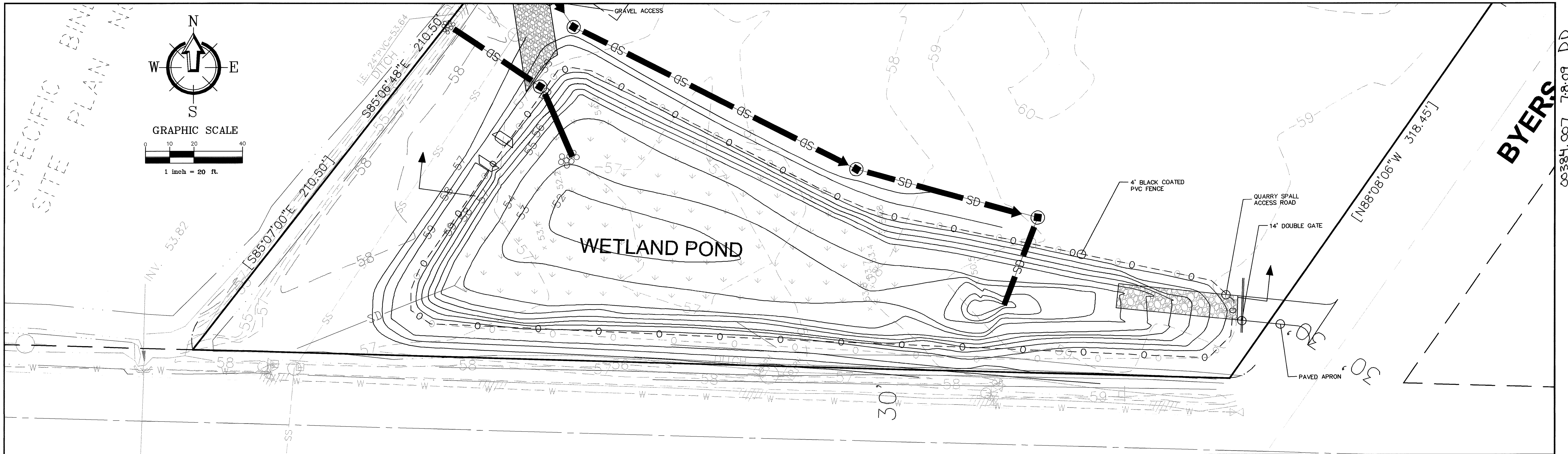
FREELAND & ASSOCIATES

CLIENT: EMERALD BUILDERS
112 OHIO STREET, SUITE 117
BELLINGHAM, WA 98225
PROJECT LOCATION: LOT 11, SBSP NO. 5
PACIFIC INDUSTRIAL PARK
FERNALE, WASHINGTON

SHEET CONTENTS: **SANITARY SEWER & WATER DISTRIBUTION PLAN**

DWG #: 05039ASB2COF
JOB #: 05039
SCALE: H: 1"=40' V: n/a
DATE: 09-02-08
SHEET: C6

APPROVED
By: [Signature]
CITY OF FERNDALE



APPROVED

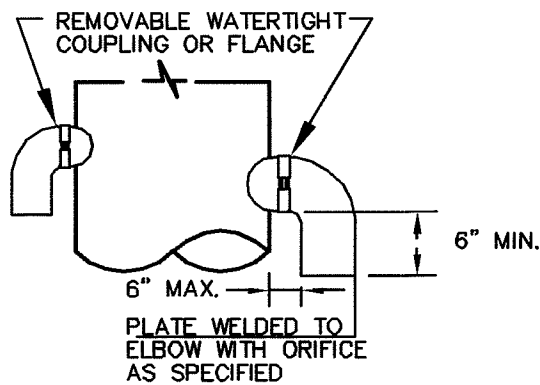
BY: [Signature]

CITY OF FERNDALE

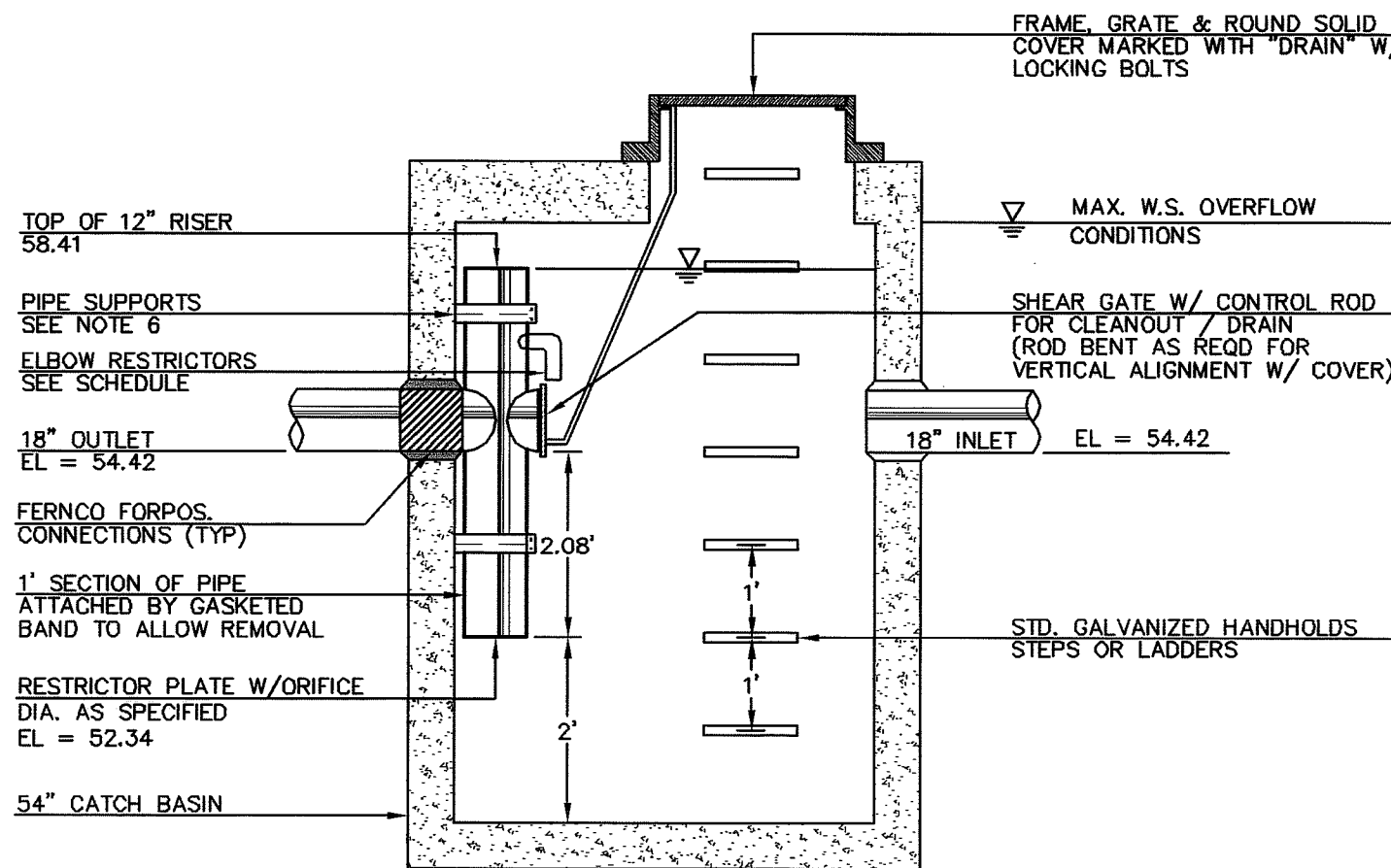
NOTES:

- USE A MINIMUM OF A 54" DIAMETER TYPE 2 CATCH BASIN.
- OUTLET CAPACITY: 100-YEAR DEVELOPED PEAK FLOW.
- METAL PARTS: CORROSION RESISTANT, NON-GALVANIZED PARTS PREFERRED. GALVANIZED PIPE PARTS TO HAVE ASPHALT TREATMENT.
- FRAME & LADDER OR STEPS OFFSET SO:
 - CLEANOUT GATE IS VISIBLE FROM TOP.
 - CLIMB-DOWN SPACE IS CLEAR OF RISER AND CLEANOUT GATE.
 - FRAME IS CLEAR OF CURB.
- IF METAL OUTLET PIPE CONNECTS TO CEMENT CONCRETE PIPE, OUTLET PIPE TO HAVE SMOOTH O.D. EQUAL TO CONCRETE PIPE I.D. LESS 1/4".
- PROVIDE AT LEAST ONE 3" X .090 INCHES SUPPORT BRACKET ANCHORED TO CB WALL (MAX. 3'-0" VERTICAL SPACING).
- LOCATE ELBOW RESTRICTOR(S) AS NECESSARY TO PROVIDE MIN. CLEARANCE AS SHOWN.
- LOCATE ADDITIONAL LADDER RUNGS IN STRUCTURES USED AS ACCESS TO TANKS OR VAULTS TO ALLOW ACCESS WHEN CATCH BASIN IS FILLED WITH WATER.

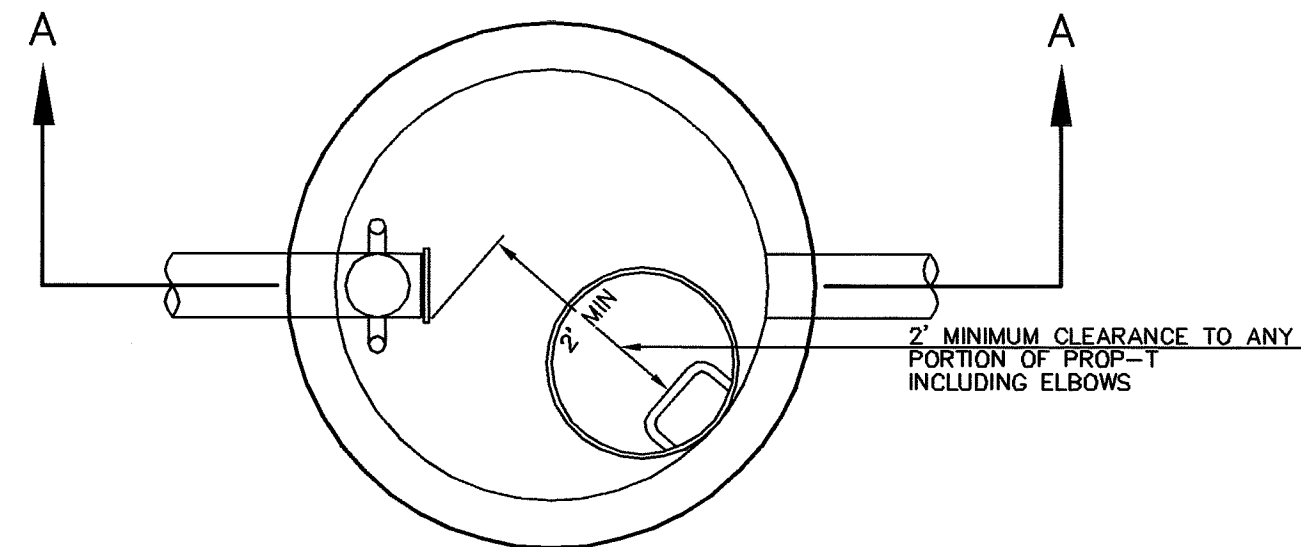
12" RISER ORIFICE SCHEDULE		
ELEVATION	ORIFICE DIAMETER	ELBOW PIPE DIAMETER
52.34	1.4"	N/A
56.66	1.61"	4"
57.61	2.77"	4"



ELBOW-RESTRICTOR

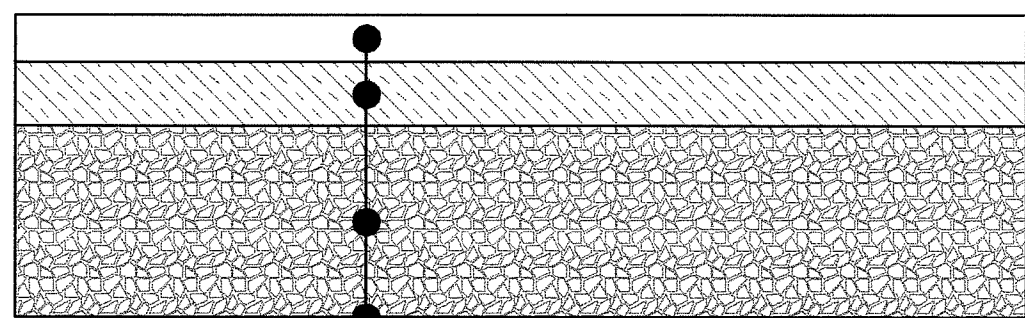


SECTION A-A



PLAN VIEW

A CONTROL MANHOLE
1"=20'



- 3" CL B ASPHALT
- 3" CRUSHED SURFACING TOP COURSE
- 12" GRAVEL BASE
- 8 OZ NON-WOVEN GEOTEXTILE

B ASPHALT PAVEMENT SECTION
NTS

GENERAL REQUIREMENTS

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION, CURRENT EDITION AND THE CITY OF FERNDALE DEVELOPMENT STANDARDS AND SHALL BE SUBJECT TO APPROVAL BY THE CITY OF FERNDALE. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENT SHALL APPLY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING SUB-SURFACE CONDITIONS AND SOILS TYPES.
- THE SURVEYOR SHALL LAY OUT AND SET ANY CONSTRUCTION STAKES AND MARKS NEEDED TO ESTABLISH THE LINES, GRADES, SLOPES OR CROSS-SECTIONS AS SHOWN ON THE PLANS OR AS STAKED BY THE ENGINEER.
- THROUGHOUT THE WORK, THE CONTRACTOR SHALL COMPLY WITH ALL PERMITS.
- THE CONTRACTOR SHALL PROTECT ALL PRIVATE AND PUBLIC UTILITIES FROM DAMAGE RESULTING FROM THE WORK.
- WHEN THE CONTRACTOR CONSIDERS THE WORK PHYSICALLY COMPLETE AND READY FOR FINAL INSPECTION, THE CONTRACTOR SHALL REQUEST THAT CITY INSPECTOR TO SCHEDULE A FINAL INSPECTION. THE INSPECTOR WILL MAKE A FINAL INSPECTION AND NOTIFY THE CONTRACTOR IN WRITING OF ALL PARTICULARS IN WHICH THE FINAL INSPECTION REVEALS THE WORK INCOMPLETE OR UNACCEPTABLE. THE CONTRACTOR SHALL IMMEDIATELY TAKE SUCH CORRECTIVE MEASURES AS ARE NECESSARY TO REMEDY THE LISTED DEFICIENCIES.
- BEFORE ANY CONSTRUCTION OR DEVELOPMENT ACTIVITY A PRE-CONSTRUCTION MEETING MUST BE HELD BETWEEN THE CONTRACTOR, OWNER, CITY ENGINEER AND PROJECT ENGINEER. (MINIMUM 3 DAYS PRIOR TO STARTING WORK)
- A COPY OF THESE APPROVED PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH AND SAFETY OF THE PUBLIC, AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK COVERED BY THE CONTRACTOR. ANY WORK WITHIN THE TRAVELED RIGHT-OF-WAY THAT MAY INTERRUPT NORMAL TRAFFIC FLOW SHALL REQUIRE AT LEAST ONE FLAGGER FOR EACH LANE OF TRAFFIC AFFECTED. ALL SECTIONS OF THE WSDOT STANDARD SPECIFICATIONS 1-07.23-PUBLIC CONVENIENCE AND SAFETY, SHALL APPLY.
- PROOF OF LIABILITY INSURANCE SHALL BE SUBMITTED TO THE CITY PRIOR TO THE PRE-CONSTRUCTION MEETING.
- NO WORK SHALL OCCUR BETWEEN 7:00 PM & 7:00 AM.
- ALL HARD SURFACED PAVEMENTS MUST BE REPAIRED AT THE CLOSE OF EACH WORK DAY. THE REPAIRS CAN BE TEMPORARY WITH ASPHALT COLD MIX OR PERMANENT WITH HOT MIX ASPHALT OR CONCRETE. ALL REPAIRS SHALL BE ACCORDING TO CITY OF FERNDALE DRAWING R-11.
- ALL WORK MUST BE INSPECTED BY A REPRESENTATIVE OF THE CITY OF FERNDALE ENGINEERING DIVISION, AND 24 HOURS NOTICE MUST BE GIVEN PRIOR TO STARTING WORK OR TO SCHEDULE INSPECTIONS IN ACCORDANCE WITH SECTION 302 OF THE DEVELOPMENT STANDARDS.
- UPON COMPLETION OF THE PROJECT A CERTIFIED AS-BUILT PRINT SHALL BE PROVIDED TO THE CITY. AS-BUILTS SHALL BE ACCORDING TO CITY OF FERNDALE SPECIFICATION WA-8.
- THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE. CALL 1-800-424-5555 FOR UTILITY LOCATE 48 HOURS PRIOR TO WORK, CONTRACT TO HOLD. THE CONTRACTOR SHALL NOTIFY THE ENGINEER PROMPTLY OF ANY CONFLICT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF ALL ADJACENT UTILITIES WHICH INCLUDE BUT ARE NOT LIMITED TO: WATER, SEWER, STORM SEWER, POWER, TELEPHONE, CABLE TV, IRRIGATION, AND STREET LIGHTING. CONTRACTOR SHALL RESTORE ALL PRIVATE AND PUBLIC PROPERTY DISTURBED BY THE PROJECT UPON COMPLETION OF THE PROJECT.
- A REVOCABLE ENCROACHMENT PERMIT SHALL BE OBTAINED PRIOR TO COMMENCING WORK IN THE PUBLIC RIGHT OF WAY.

STORM DRAINAGE

- ALL PIPE AND APPURTENANCES SHALL BE LAID ON A PROPERLY PREPARED FOUNDATION IN ACCORDANCE WITH WSDOT 7-08. THIS SHALL INCLUDE LEVELING AND COMPACTING THE TRENCH BOTTOM, THE TOP OF THE FOUNDATION MATERIAL AND ANY REQUIRED PIPE BEDDING, TO A UNIFORM GRADE SO THAT THE ENTIRE PIPE IS SUPPORTED BY A UNIFORMLY DENSE UNYIELDING BASE.
- ALL DRAINAGE STRUCTURES, SUCH AS CATCH BASINS AND MANHOLES, NOT LOCATED WITHIN A TRAVELED ROADWAY OR SIDEWALK, SHALL HAVE SOLID LOCKING LIDS. ALL DRAINAGE STRUCTURES ASSOCIATED WITH A PERMANENT RETENTION/DETENTION FACILITY SHALL HAVE SOLID LOCKING LIDS.
- ALL CATCH BASIN GRATES SHALL INCLUDE THE STAMPING "OUTFALL TO STREAM, DUMP NO POLLUTANTS."
- ALL DRIVEWAY CULVERTS LOCATED WITHIN THE RIGHT-OF-WAY SHALL BE OF SUFFICIENT LENGTH TO PROVIDE A MINIMUM 3:1 SLOPE FROM THE EDGE OF THE DRIVEWAY TO THE BOTTOM OF THE DITCH. CULVERTS SHALL HAVE BEVELED END SECTIONS PER WSDOT
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE LOCATIONS OF ALL STUB-OUT CONVEYANCE LINES WITH RESPECT TO THE UTILITIES (E.G. POWER, GAS, TELEPHONE, TELEVISION).

SANITARY SEWER SPECIFICATIONS

- ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION, CURRENT EDITION AND THE CITY OF FERNDALE DEVELOPMENT STANDARDS SECTION 5 AND SHALL BE SUBJECT TO APPROVAL BY THE CITY OF FERNDALE.
- FOUR INCH THROUGH TWELVE-INCH PIPE SHALL BE PVC PIPE CONFORMING TO ASTM D-3034, SDR-35 OR EQUAL. PIPE JOINTS SHALL BE MADE WITH FLEXIBLE GASKETS.
- TRENCH EXCAVATION SHALL BE ACCORDING TO SECTION 7-8.3(1)A OF THE STANDARD SPECIFICATIONS.
- THE BEDDING SHALL BE PEA GRAVEL PER SS-1.
- PIPE LAYING SHALL MEET THE REQUIREMENTS OF SECTION 7-08.3 OF THE STANDARD SPECIFICATIONS.
- ALL SIDE SEWERS SHALL BE CONSTRUCTED ACCORDING TO THE CITY OF FERNDALE STANDARD PLAN SS-6 THROUGH SS-8. CONNECT SIDE SEWERS PER COF DWG SS-12.
- ALL TRENCH BACKFILL UNDER EXISTING OR FUTURE PAVING SHALL BE BANK RUN GRAVEL, CLASS "B" AND SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY.
- ALL SEWER PIPE WILL BE PRESSURE TESTED AND WILL SCANNED BY MEANS OF A TV CAMERA PRIOR TO ACCEPTANCE BY THE CITY OF FERNDALE.
- ALL MANHOLES WILL BE ACCORDING TO THE CITY OF FERNDALE STANDARD PLAN NO. SS-2 THROUGH SS-4.
- ALL CLEANOUTS SHALL BE ACCORDING TO CITY OF FERNDALE STANDARD PLAN NO. SS-5.
- ALL HARD SURFACED PAVEMENTS MUST BE REPAIRED AT THE CLOSE OF EACH WORK DAY. THE REPAIRS CAN BE TEMPORARY WITH ASPHALT COLD MIX OR PERMANENT WITH HOT MIX ASPHALT OR CONCRETE.
- ALL WORK MUST BE INSPECTED AND APPROVED BY A REPRESENTATIVE OF THE CITY OF FERNDALE PUBLIC WORKS, AND 24 HOURS NOTICE MUST BE GIVEN PRIOR TO STARTING WORK OR TO SCHEDULE INSPECTIONS.
- ALL TESTING SHALL BE DONE IN THE PRESENCE AND UNDER THE SUPERVISION OF A REPRESENTATIVE OF THE CITY OF FERNDALE.

BASES

- GRAVEL BASES AND BALLAST MAXIMUM PARTICLE SIZE PASSING THE U.S. NO. 200 SIEVE SHALL NOT EXCEED 5%.
- BALLAST, GRAVEL BASE AND CRUSHED SURFACING SHALL BE COMPACTED TO AT LEAST 95% OF ITS MAXIMUM DRY DENSITY.
- THE CONTRACTOR OR PROPONENT SHALL BE RESPONSIBLE FOR ALL COMPACTION TESTING. ALL TESTING SHALL BE THROUGH ENGINEERING REVIEW ACCOUNT AND PAID FOR BY THE OWNER.

PAVEMENTS

- WHERE SHOWN ON THE PLANS, PAVEMENT MARKINGS SHALL BE OBLITERATED UNTIL BLEMISHES CAUSED BY THE PAVEMENT MARKING REMOVAL CONFORM TO THE COLORATION OF THE ADJACENT PAVEMENT.
- SOIL RESIDUAL HERBICIDE SHALL BE PLACED WITHIN 24 HOURS OF PAVING.
- A TACK COAT OF ASPHALT SHALL BE APPLIED BETWEEN ALL COURSES OF ASPHALT.
- ALL PAVEMENT REPAIR SHALL BE SAW-CUT BEFORE REMOVAL. AR-400W SHALL BE APPLIED TO ALL EDGES OF EXISTING PAVEMENT.
- ASPHALT CONCRETE PAVEMENT SHALL NOT BE PLACED NOR COMPACTED DURING HOURS OF DARKNESS.
- SUBGRADE SHALL BE CERTIFIED IN WRITING BY THE ENGINEER PRIOR TO PAVING.

WATER MAINS

- TEST PRESSURE FOR WATERMAIN ACCEPTANCE SHALL BE 225 p.s.i. AT THE HIGHEST POINT ON THE WATER LINE AND SHALL BE DONE ACCORDING TO CITY OF FERNDALE REQUIREMENTS. ALL PURIFICATION ACCEPTANCE TESTING SHALL BE ACCORDING TO CITY OF FERNDALE REQUIREMENTS. THE PIPE WILL NOT PASS UNLESS A ZERO BACTERIA COUNT IS OBTAINED FOR TWO CONSECUTIVE TESTS 24 HOURS APART.
- ALL BACKFILL SHALL BE IMPORTED GRAVEL AND SHALL CONFORM TO SECTION 7-09.1(1)E OF THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION.
- ALL PIPE SHALL HAVE A MINIMUM COVER OF 3.5 FEET.

EARTHWORK

- THE CONTRACTOR SHALL CLEAR, GRUB AND CLEAN UP THOSE AREAS SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL EXCAVATE AND GRADE TO THE ALIGNMENT, GRADE AND CROSS-SECTIONS SHOWN IN THE PLANS OR ESTABLISHED BY THE ENGINEER. IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL ENGINEERING STUDY.
- MAXIMUM DENSITY AND OPTIMUM MOISTURE FOR GRANULAR MATERIALS WILL BE DETERMINED USING ASTM D-1557 TEST METHOD.
- UNSUITABLE MATERIAL NOT FIT FOR A SUB-GRADE SHALL BE EXCAVATED TO THE BOUNDARIES SET BY THE ENGINEER AND REPLACED WITH A SUITABLE BACKFILL MATERIAL.

Surveyor's Certification

I, CERTIFY THAT THE LOCATIONS, ELEVATIONS, DEPTHS, AND AS-BUILT COMMENTS REFLECTING MATERIALS ACTUALLY USED DURING CONSTRUCTION ACCURATELY REFLECT EXISTING FIELD CONDITIONS AS DETERMINED BY ME OR UNDER MY DIRECT SUPERVISIONS ON THIS DATE: 9/04/08

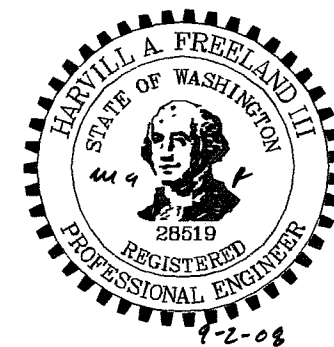
By: [Signature]



Asbuilt Drawing Certification

I HEREBY CERTIFY THAT THE IMPROVEMENTS IN EMERALD BUILDERS HAVE BEEN INSPECTED BY FREELAND & ASSOCIATES, INC. AND CONSTRUCTED IN CONFORMANCE WITH THE PLANS APPROVED BY THE PUBLIC WORKS DIRECTOR FOR SAID DEVELOPMENT AND THE GENERAL SPECIFICATIONS ADOPTED BY THE CITY OF FERNDALE PUBLIC WORKS.

By: [Signature] Date: 9-2-08



CALL BEFORE YOU DIG
FOR BURIED UTILITY LOCATIONS
1-800-424-5555

No.	Date	REVISION

DESIGNED BY: HAF
DRAWN BY: CN
CHECKED BY: HAF



1408 North Garden Street
Bellingham, WA 98225
t: 360.650.1406
f: 360.650.1401

FREELAND & ASSOCIATES

CLIENT: EMERALD BUILDERS
112 OHIO STREET, SUITE 117
BELLINGHAM, WA 98225

PROJECT LOCATION: LOT 11, SBSP NO. 5
PACIFIC INDUSTRIAL PARK
FERNDALE, WASHINGTON

SHEET CONTENTS:

GENERAL NOTES & DETAILS

DWG #:	05039ASB2COF
JOB #:	05039
SCALE:	H: 1"=40' V: n/c

DATE:	09-02-08
SHEET:	C8

APPROVED
By: Robert G. Gault
CITY OF FERNDALE

00384.008 7-8-09 DD

"AS-BUILTS"