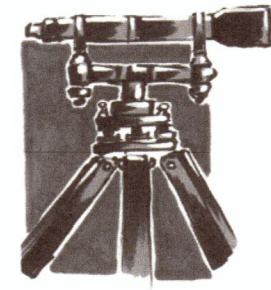


A PORTION OF THE SE 1/4 OF SECTION 19, TOWNSHIP 39 N., RANGE 2 E. OF THE W.M.  
CITY OF FERNDAL, WHATCOM COUNTY, WASHINGTON

# 5777 LEGOE LANE DUPLEX

## Record Drawings



LDES, INC.  
5160 INDUSTRIAL PL. #108  
FERNDAL, WA 98248  
PHONE 360-383-0620  
FAX 360-383-0639



JOB NO.: 1585

DWG. NAME: 1585-CIVIL-SITE 2 - AB.dwg

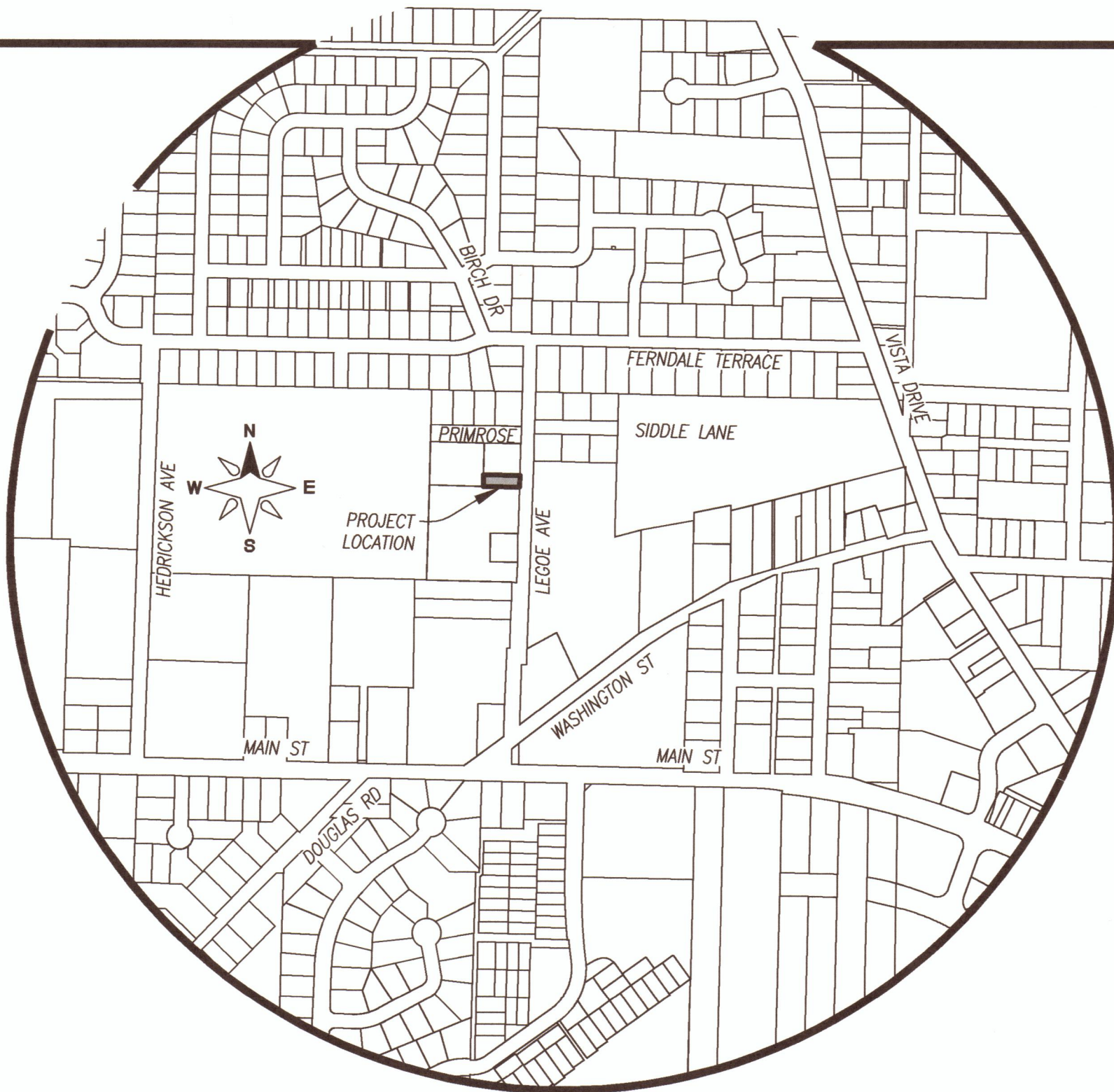
DESIGNED BY: RL

DRAWN BY: EH

CHECKED BY: RL

TOMMY TRUONG  
1863 MAIN ST  
FERNDAL, WA 98248

LEGOE LANE, CITY OF FERNDAL, WHATCOM COUNTY, WASHINGTON  
5777 LEGOE LANE DUPLEX  
COVER SHEET  
INDEX AND LEGEND



PROJECT SUMMARY	
ASSESSOR'S PARCEL #	390219 424100 0000
SITE ADDRESS	5777 LEGOE LANE
SITE AREA	5,085 SF
GROSS BUILDING FOOTPRINT	1,440 SF GARAGE LEVEL (BOTH UNITS)
BUILDING HEIGHT	35' MAX, PER FMC 18.08.200
# OF PARKING	2 GARAGE STALLS (1 PER UNIT) 2 TANDEM PARKING (BEHIND EACH GARAGE) (2 PER UNIT REQUIRED)
CITY ZONING	RMM - RESIDENTIAL MULTIFAMILY MEDIUM

PROJECT DESCRIPTION:  
-1 DUPLEX  
-PROVIDE STORM, SEWER, WATER & DRY UTILITIES  
-CONCRETE SIDEWALK  
-PAVED PARKING AREA

BUILDING:  
30' X 48' BUILDING  
720 SF FIRST FLOOR, PER UNIT  
720 SF SECOND FLOOR, PER UNIT  
630 SF THIRD FLOOR, PER UNIT

SETBACKS:  
20' FRONT YARD SETBACK (20' PER CODE)  
5' SIDE YARD SETBACK (5' PER CODE)  
10' BACK YARD SETBACK (8' PER CODE)

ON-SITE IMPERVIOUS AREA:  
1,947 SF ROOF  
1,775 SF PAVING  
91 SF SIDEWALK

#### ENGINEER'S CERTIFICATION:

I HEREBY CERTIFY THAT I HAVE PERSONALLY INSPECTED THE 5777 LEGOE LANE DUPLEX IMPROVEMENTS AND THAT SAID IMPROVEMENTS HAVE BEEN CONSTRUCTED IN CONFORMANCE WITH THE CITY OF FERNDAL DEVELOPMENT STANDARDS, THE CITY OF FERNDAL MUNICIPAL CODE, SUBSEQUENT STANDARDS ADOPTED BY REFERENCE THEREIN, AND STANDARD ENGINEERING PRACTICE.

RAMON LLANOS, P.E.

12/19/19  
DATE

#### SHEET INDEX

- COVER SHEET
- CITY OF FERNDAL GENERAL NOTES
- EXISTING CONDITIONS PLAN
- TEMPORARY EROSION CONTROL - PLAN & DETAILS
- SITE PLAN
- ROAD & STORM PLAN
- ROAD & STORM DETAILS
- WATER & SEWER PLAN & DETAILS

#### ABBREVIATIONS

BMP	=	BEST MANAGEMENT PRACTICE	IE	=	INVERT ELEVATION	SF	=	SQUARE FEET
BNDY	=	BOUNDARY	JBOX	=	JUNCTION BOX	SSMH	=	SANITARY SEWER
CL	=	CENTERLINE	LBS.	=	POUNDS	MANHOLE		
CL	=	CONCRETE	LF	=	LINEAR FEET	STA	=	STATION
CPDP	=	CORRUGATED POLYETHYLENE	LT	=	LEFT	STRC	=	STRUCTURE
DRAIN	=	DRAIN PIPE	O.D.	=	OUTSIDE DIAMETER	SWALK	=	SIDEWALK
CSTC	=	CRUSHED SURFACING TOP COURSE	O/S	=	OFFSET	SWMF	=	STORM WATER MANAGEMENT FILTER
CSBC	=	CRUSHED SURFACING BASE COURSE	PERF	=	PERFORATED PIPE	SWMM	=	STORM WATER MANAGEMENT MANUAL
CTRL	=	CONTROL	PERM.	=	PERMANENT	SWPPP	=	STORMWATER POLLUTION PREVENTION PLAN
DI	=	DUCTILE IRON	PVC	=	POLYVINYL CHLORIDE PIPE	TEL	=	TELEPHONE
DOE	=	DEPARTMENT OF ECOLOGY	PSE	=	PUGET SOUND ENERGY	TEMP	=	TEMPORARY
DTL	=	DETAIL	PWR	=	POWER	TESC	=	TEMPORARY EROSION AND SEDIMENT CONTROL
E	=	EASTING	N	=	NORTHING	TW	=	TOP OF WALL
EG	=	EXISTING GROUND	R	=	RADIUS	TYP	=	TYPICAL
ELEV/EL	=	ELEVATION	RET	=	RETAINING WALL	WA	=	WATER
EOP	=	EDGE OF PAVEMENT	ROW	=	RIGHT OF WAY	WM	=	WATER MAIN
EXIST/EX	=	EXISTING	RY	=	ROOF AND YARD	X-ING	=	CROSSING
FF	=	FINISH FLOOR	S	=	SLOPE	#	=	DIAMETER
FG	=	FINISH GROUND	SD	=	STORM DRAIN			
FL	=	FLOW LINE	SDCB	=	STORM DRAIN CATCH BASIN			
FND	=	FOUND	SO. IN.	=	SQUARE INCHES			
GV	=	GATE VALVE	SS	=	SANITARY SEWER			
HYD	=	FIRE HYDRANT	SSCO	=	SANITARY SEWER CLEAN OUT			
IE	=	INVERT ELEVATION						

#### CONTROL NOTES

CITY OF FERNDAL COMPREHENSIVE MAPPING PROGRAM.

BASIS OF BEARING: NAD83/91 (CITY FERNDAL NETWORK)  
VERTICAL CONTROL: NGVD29 (CITY OF FERNDAL NETWORK)

FERN 05: BASIS OF COORDINATE & REFERENCE BENCHMARK FOUND A BRASS DISK AT EXIT DRIVEWAY FOR VISTA SCHOOL

NORTHING: 683'701.32'  
EASTING: 1'214'911.44'  
ELEVATION: 220.76'(NGVD29)

FERN 08: BASIS OF BEARING FOUND A BRASS DISK SET IN CONCRETE AT BACK OF SIDEWALK NORTHWESTERLY OF FERNDAL CITY COUNCIL CHAMBERS BUILDING - 5694 SECOND AVENUE  
NORTHING: 678'623.10'  
EASTING: 1'217'288.97'

PROJECT BENCHMARK:  
SPIKE IN UTILITY POLES AS SHOWN HEREON

#### REFERENCE DOCUMENTS

- CHICAGO TITLE COMMITMENT No. 245378465
- STATUTORY WARRANTY DEED A.F.N. 2017-0702011
- PLAT OF SEAMOUNT, VOL. 8, PAGE 27
- RECORD OF SURVEY A.F.N. 1524555
- LOT LINE ADJUSTMENT A.F.N. 1980101631
- RECORD OF SURVEY A.F.N. 2080902738
- RECORD OF SURVEY A.F.N. 921005030
- MEADOW GREENS SHORT PLAT A.F.N. 900108059
- PLAT OF SIDDLE'S FIRST ADDITION VOL. 9, PAGE 98
- RECORD OF SURVEY A.F.N. 2051005994
- RECORD OF SURVEY A.F.N. 2016-1000951

#### EXISTING LEGEND

	=	FND PK NAIL
	=	FND BRASS MON
	=	SET TEMPORARY BENCHMARK
	=	FND IRON PIPE
	=	EXISTING STORM STRUCTURE
	=	EXISTING WATER METER BOX
	=	EXISTING WATER VALVE
	=	EXISTING FIRE HYDRANT
	=	EXIST SANITARY SEWER MANHOLE
	=	EXIST LANDSCAPING
	=	EXISTING POWER POLE & GUY WIRE
	=	EXISTING ASPHALT
	=	EXISTING CONCRETE
	=	EXISTING GRAVEL
	=	EXISTING TOP OF BANK
	=	EXISTING BOTTOM OF BANK
	=	EXISTING FENCE - WOOD
	=	EXISTING FENCE - CHAIN LINK
	=	EXISTING DITCH
	=	EXISTING STORM
	=	EXISTING WATER
	=	EXISTING SEWER
	=	OVERHEAD POWER
	=	EXISTING CONTOUR - MAJOR
	=	EXISTING CONTOUR - MINOR

#### PROPOSED LEGEND

	=	PROPOSED SANITARY SEWER SERVICE
	=	PROPOSED SEWER CLEANOUT
	=	PROPOSED WATER METER
	=	PROPOSED STORM DRAIN CATCH BASIN
	=	PROPOSED LANDSCAPE BUSH & TREE
	=	PROPOSED RIP RAP
	=	PROPOSED STORMWATER PIPE
	=	PROPOSED SEWER LINE
	=	PROPOSED WATERWATER LINE
	=	PROPOSED POWER MAIN
	=	PROPOSED FENCE
	=	PROPOSED ASPHALT
	=	PROPOSED CONCRETE
	=	PROPOSED WALL
	=	PROPOSED BUILDING SETBACK
	=	PROPOSED EASEMENT

[AB] = AS-BUILT INFORMATION

APPROVED

DEC 20 2019  
  
TOMMY TRUONG  
CITY OF FERNDAL  
PUBLIC WORKS DEPARTMENT

CLIENT  
TOMMY TRUONG  
1863 MAIN STREET  
FERNDAL, WA 98248  
PHONE: 714-234-8908

ENGINEER  
LDES, INC.  
5160 INDUSTRIAL PL., SUITE 108  
FERNDAL, WA 98248  
CONTACT: RAMON LLANOS, PE.  
(360) 383-0620

SURVEYOR  
LDES, INC.  
5160 INDUSTRIAL PL., SUITE 108  
FERNDAL, WA 98248  
CONTACT: KYLE HAGGITH, PLS.  
(360) 383-0620

CALL 2 BUSINESS DAYS BEFORE YOU DIG  
UTILITIES UNDERGROUND LOCATION CENTER  
1-800-424-5555

#### BURIED UTILITIES NOTE:

ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE LOCATIONS ONLY AND THERE IS NO GUARANTEE THAT ALL UTILITIES ON THIS SITE ARE SHOWN. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTACT THE WASHINGTON STATE UTILITY LOCATED CENTER AT LEAST 48 HOURS BEFORE CONSTRUCTION

#### SURVEYOR'S NOTES:

- DATA FOR THIS SURVEY WAS GATHERED BY FIELD TRAVERSE UTILIZING ELECTRONIC DATA COLLECTION.
- EQUIPMENT USED: LEICA TCRA1203: 003" ± 2 PPM, ±2 MM
- HORIZONTAL DATUM & BASIS OF BEARING: CITY OF FERNDAL CONTROL NAD83/91  
VERTICAL DATUM: CITY OF FERNDAL CONTROL NGVD29
- THIS SURVEY VERIFIED AND ACCEPTED THE SECTION BREAKDOWN OF SE. 19, TWP 39 N., RGE 2 E., W.M. PER REFERENCE DOCUMENT No. 5 LISTED HEREON.
- PURPOSE OF SURVEY: BOUNDARY AND TOPOGRAPHIC SURVEY
- CONTOUR INTERVALS ARE 1-FOOT AND ARE COMPUTER GENERATED FROM GROUND FIELD TOPOGRAPHY GATHERED FOR THIS SURVEY UTILIZING ELECTRONIC DATA COLLECTION.
- UTILITY LOCATIONS SHOWN HEREON ARE BASED UPON FIELD LOCATION OF THE SURFACE EVIDENCE OF EXISTING STRUCTURES. UNDERGROUND UTILITY LOCATION SERVICES WERE NOT PROVIDED FOR THIS TOPOGRAPHIC SURVEY AND THE UNDERGROUND ROUTING OF REPORTED BURIED UTILITIES HAS NOT BEEN VERIFIED OR CONFIRMED WITH THE UTILITY PURVEYOR. ADDITIONAL UTILITY LOCATIONS AND UNDERGROUND UTILITY

#### LEGAL DESCRIPTION

(PER REFERENCE DOCUMENTS No. 1 AND No.2 )

THE EAST 336.9 FEET OF THE NORTH HALF OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 19, TOWNSHIP 39 NORTH, RANGE 2 EAST OF W.M.,

EXCEPT THE NORTH 180 FEET THEREOF,

AND EXCEPT THE FOLLOWING DESCRIBED TRACT:

A TRACT OF LAND IN THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 19, TOWNSHIP 39 NORTH, RANGE 2 EAST OF W.M., DESCRIBED AS FOLLOWS:

BEGINNING AT THE POINT OF INTERSECTION OF THE LINE PARALLEL WITH AND 180.0 FEET SOUTH OF THE NORTH LINE OF THE SAID SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 19 AND A LINE PARALLEL WITH AND 25.0 FEET WESTERLY OF A FENCE MARKING THE EAST LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 19;  
THENCE SOUTH 00° 34' 00" WEST, PARALLEL WITH THE SAID EAST LINE OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER, 110.0 FEET;  
THENCE WEST, PARALLEL WITH THE NORTH LINE OF THE SAID SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER, 126.5 FEET;  
THENCE NORTH 00° 34' 00" EAST, 110.0 FEET;  
THENCE EAST 126.5 FEET TO THE POINT OF BEGINNING.

ALL LESS ROADS.

TOGETHER WITH

RECORD DRAWING

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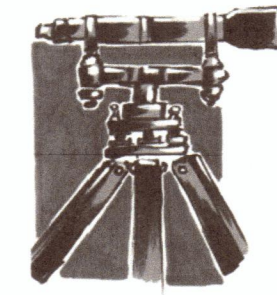
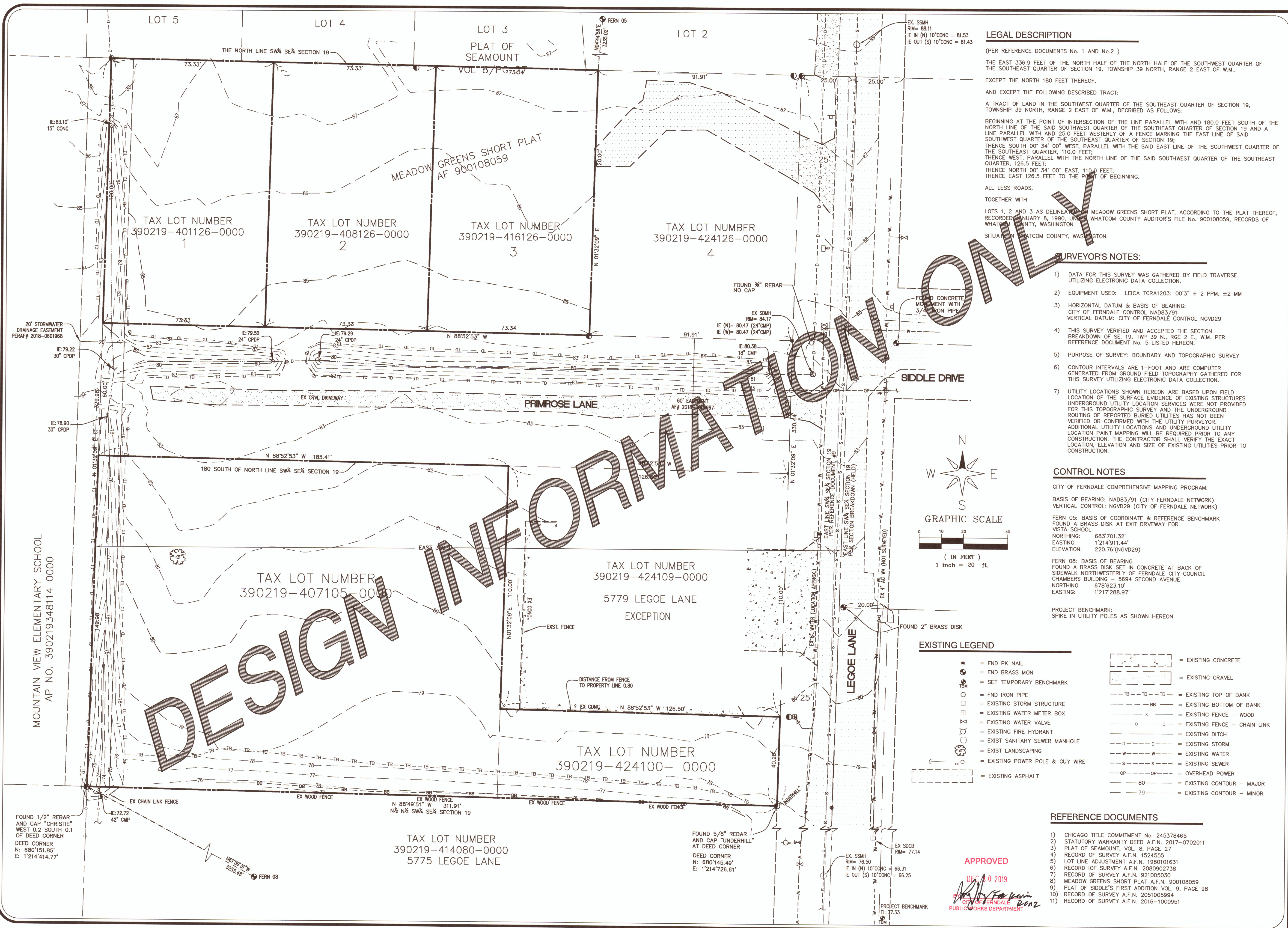
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LDES, INC.  
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PHONE 360-383-0620  
FAX 360-383-0639

JOB NO.: 1585  
DWG. NAME: 1585-Basesheet.dwg  
DESIGNED BY: SR  
DRAWN BY: SR  
CHECKED BY: SL

TOMMY TRUONG  
1863 MAIN ST  
FERNDAL, WA 98248

LEGOE LANE, CITY OF FERNDAL, WHATCOM COUNTY, WASHINGTON  
5777 LEGOE LANE DUPLEX  
EXISTING CONDITIONS

RECORD DRAWING

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#### CITY OF FERNDALE TESC NOTES:

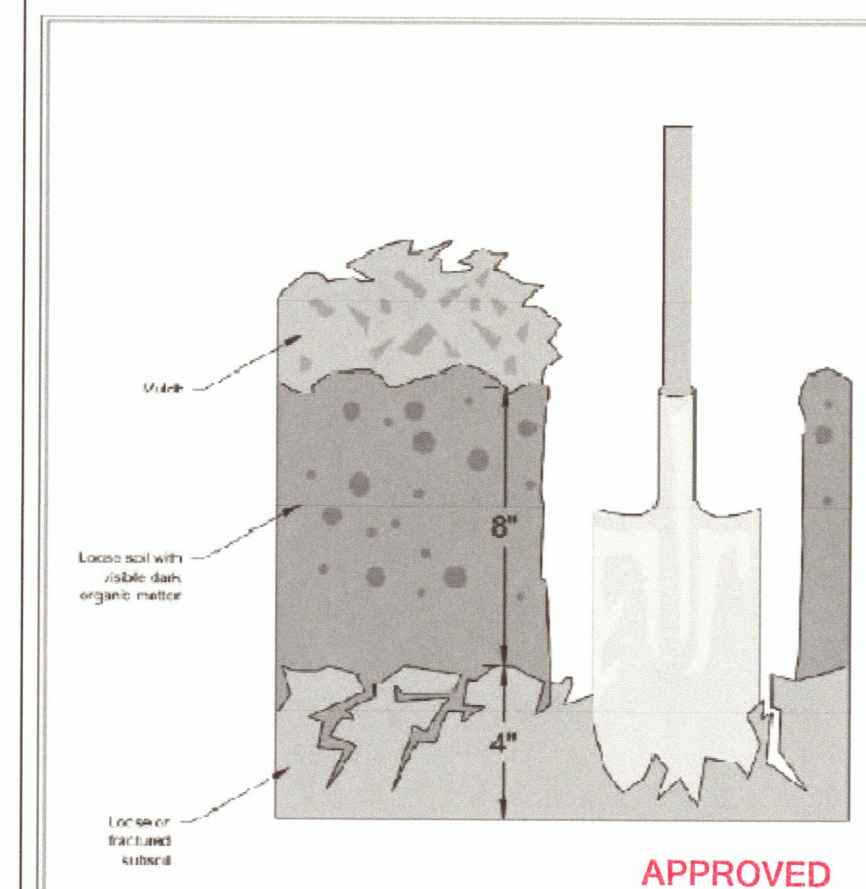
1. STABILIZATION & SEDIMENT TRAPPING. ALL EXPOSED AREAS SHALL BE STABILIZED BY SUITABLE APPLICATION OF BMP'S. FROM OCTOBER 1 TO APRIL, NO SOILS SHALL REMAIN EXPOSED FOR MORE THAN 2 DAYS. FROM MAY 1 TO SEPTEMBER 30, NO SOILS SHALL REMAIN EXPOSED FOR MORE THAN 7 DAYS. PRIOR TO LEAVING A SITE, STORMWATER RUNOFF SHALL PASS THROUGH A SEDIMENT POND, TRAP DITCHES, OR OTHER STABILIZATION BMP.
2. DELINEATE CLEARING & EASEMENT LIMITS. IN THE FIELD, MAKE AND FLAG CLEARING LIMITS AND/OR ANY EASEMENTS, SETBACKS, SENSITIVE/CRITICAL AREAS AND BUFFER BUFFERS, TREES AND DRAINAGE COURSES.
3. PROTECTION OF ADJACENT PROPERTIES. PROPERTIES ADJACENT TO THE PROJECT SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION.
4. TIMING & STABILIZATION OF SEDIMENT TRAPPING MEASURES. SEDIMENT PONDS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS, AND OTHER BMP'S INTENDED TO TRAP SEDIMENT ON-SITE SHALL BE CONSTRUCTED AS A PART OF THE GRADING. THESE BMP'S SHALL BE FUNCTIONAL BEFORE LAND DISTURBING ACTIVITIES TAKE PLACE. EARTH STRUCTURES SUCH AS DAMS, DIKES AND DIVERSIONS SHALL BE SEDED AND MULCHED ACCORDING TO THE TIMING INDICATED IN NO. 1 ABOVE.
5. CUT & FILL SLOPES. CUT AND FILL SLOPES SHALL BE DESIGNED AND CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION. IN ADDITION, SLOPES SHALL BE STABILIZED IN ACCORDANCE WITH NO. 1 ABOVE.
6. CONTROLLING OFF-SITE EROSION. PROPERTIES AND WATERWAYS DOWNSTREAM FROM THE DEVELOPMENT SITES SHALL BE PROTECTED FROM EROSION DUE TO INCREASES IN THE VOLUME, VELOCITY, AND PEAK FLOW RATE OF STORMWATER RUNOFF FROM THE PROJECT SITE.
7. STABILIZATION OF TEMPORARY CONVEYANCE CHANNELS & OUTLETS. ALL TEMPORARY ON-SITE CONVEYANCE CHANNELS SHALL BE DESIGNED, CONSTRUCTED AND STABILIZED TO PREVENT EROSION FROM THE EXPECTED VELOCITY OF FLOW FROM A 2-YEAR, 24-HOUR FREQUENCY STORM FOR THE DEVELOPED CONDITION. STABILIZATION ADEQUATE TO PREVENT EROSION OF OUTLETS, ADJACENT STREAMBANKS, SLOPES AND DOWNSTREAM REACHES SHALL BE PROVIDED AT THE OUTLETS OF ALL CONVEYANCE SYSTEMS.
8. STORM DRAIN INLET PROTECTION. ALL STORM DRAIN INLETS MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT STORMWATER RUNOFF SHALL NOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
9. UNDERGROUND UTILITY CONSTRUCTION. THE CONSTRUCTION OF UNDERGROUND UTILITY LINES SHALL BE SUBJECT TO THE FOLLOWING CRITERIA: WHERE FEASIBLE, NO MORE THAN 500 FEET OF TRENCH SHALL BE OPENED AT ONE TIME; WHERE CONSISTENT WITH SAFETY AND SPACE CONSIDERATIONS, EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES; AND TRENCH DEWATERING DEVICES SHALL DISCHARGE INTO A SEDIMENT TRAP OR SEDIMENT POND.
10. CONSTRUCTION ACCESS ROUTES. WHEREVER CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED ROADS, PROVISIONS MUST BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT (MUD) ONTO THE PAVED ROAD. IF SEDIMENT IS TRANSPORTED ONTO A ROAD SURFACE, THE ROADS SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM ROADS BY SHOVELING OR SWEEPING AND BE TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER.
11. REMOVAL OF TEMPORARY BMP'S. ALL TEMPORARY EROSION AND SEDIMENT CONTROL BMP'S SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER TEMPORARY BMP'S ARE NO LONGER NEEDED. TRAPPED SEDIMENT SHALL BE REMOVED OR STABILIZED ON SITE. DISTURBED SOIL AREAS RESULTING FROM REMOVAL SHALL BE PERMANENTLY STABILIZED.
12. DEWATERING CONSTRUCTION SITES. DEWATERING DEVICES SHALL DISCHARGE INTO A SEDIMENT TRAP OR SEDIMENT POND.
13. CONTROL OF POLLUTANTS OTHER THAN SEDIMENT ON CONSTRUCTION SITES. ALL POLLUTANTS OTHER THAN SEDIMENT THAT OCCUR ON-SITE DURING CONSTRUCTION SHALL BE HANDED AND DISPOSED OF IN A MANNER THAT DOES NOT CAUSE CONTAMINATION OF STORMWATER.
14. MAINTENANCE. ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL BMP'S SHALL BE MAINTAINED AND REPAIRED AS NEEDED TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION.
15. FINANCIAL LIABILITY. PERFORMANCE BONDING, OR OTHER APPROPRIATE FINANCIAL INSTRUMENTS, SHALL BE REQUIRED FOR ALL PROJECTS TO ENSURE COMPLIANCE WITH THE APPROVED TESC PLAN.
16. ALL SITE GRADING SHALL BE COMPLETED IN ACCORDANCE WITH APPENDIX J OF THE 2012, INTERNATIONAL BUILDING CODE.
17. SITE GRADING SHALL BE MONITORED BY GEOTECH SERVICES TO ENSURE THE FILLS WERE PERFORMED AND RECORDED PER APPENDIX J NOTED IN THE ABOVE COMMENT.
18. WORK PERFORMED OUTSIDE CITY RIGHT-OF-WAY ON PRIVATE PROPERTY REQUIRES PROJECT CERTIFICATION BY THE ENGINEER OF RECORD. THE ENGINEER OR RECORD SHALL DETERMINE AN INSPECTION SCHEDULE TO BE CARRIED OUT BY HIMSELF OR HERSELF AND/OR QUALIFIED DESIGNEE INCLUDING GEOTECHNICAL INSPECTIONS AND DOCUMENTATION SUPPORT.
19. FOR PROJECT ACCEPTANCE THE ENGINEER OF RECORD IS REQUIRED TO SUBMIT A FINAL AS-BUILT GRADING PLAN FOR CITY REVIEW AND APPROVAL THAT INCLUDES THE FOLLOWING STATEMENT:  
"AS THE ENGINEER OF RECORD, I HEREBY CERTIFY THAT THE IMPROVEMENTS COMPLETED AT 5445 PORTAL WAY FOR FLAX 4-LIFE AND 6407 PORTAL WAY FOR ALPINE INVESTMENTS HAVE BEEN CONSTRUCTED IN CONFORMANCE WITH THE PLANS APPROVED BY THE PUBLIC WORKS DIRECTOR AND IN ACCORDANCE WITH THE SPECIFICATIONS ADOPTED BY THE CITY OF FERNDALE."
20. A STORMWATER MAINTENANCE PLAN MUST BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL AT PROJECT COMPLETION INCLUDING AN 11X17 AS-BUILT DRAWING OF THE STORMWATER FACILITIES IN CONFORMANCE WITH THE ATTACHED STORMWATER MAINTENANCE MANUAL CHECKLIST FOR THE CONVEYANCE SYSTEM LOCATED OUTSIDE CITY R/W THAT MUST BE PRIVATELY MAINTAINED.

#### EROSION AND SEDIMENT

#### CONTROL GENERAL NOTES:

1. EROSION CONTROL METHODS AND MATERIALS SHALL MEET THE REQUIREMENTS OF SECTION 8-01 OF THE 2012 WSDOT/APWA STANDARD SPECIFICATIONS. THE REQUIREMENTS SET FORTH IN VOLUME II OF THE "STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON BY THE WASHINGTON STATE DEPARTMENT OF ECOLOGY, CURRENT EDITION, THE CITY OF FERNDALE DEVELOPMENT STANDARDS, THE PROJECT SWPPP AND THIS PLAN, WITH THE MOST EFFECTIVE REQUIREMENTS TAKING PRECEDENCE. THE CONTRACTOR SHALL FOLLOW RECOMMENDATIONS MADE BY SUPPLIERS AND MANUFACTURERS FOR ALL MATERIALS AND EQUIPMENT USED.
2. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO PREVENT SILTY STORMWATER FROM EXITING THE SITE. IF SILT LADEN STORMWATER EXITS THE SITE, THE ENGINEER SHALL STOP WORK ON THE JOB. IT IS THE CONTRACTOR'S RESPONSIBILITY TO WORK WITH THE PROJECT ENGINEER OR LOCAL JURISDICTION TO COORDINATE FURTHER EROSION CONTROL MEASURES, NOT SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN, THAT MAY BE NECESSARY TO CONTROL SITE RUNOFF.
3. THE EXISTING AND PROPOSED STORM SYSTEMS SHALL BE CLEANED AND MAINTAINED THROUGHOUT CONSTRUCTION AND UNTIL ALL ON-SITE SOILS HAVE BEEN STABILIZED.
4. AT THE END OF ALL SITE CONSTRUCTION, THE CONTRACTOR SHALL FLUSH OUT ALL DEBRIS FROM THE STORM SYSTEM. INSTALLED ON-SITE MATERIAL FLUSHED FROM THE STORM SYSTEM SHALL BE DISPOSED OF BY THE CONTRACTOR AT AN APPROVED DISPOSAL SITE.

#### BMP T5.13 - POST CONSTRUCTION SOIL QUALITY AND DEPTH



ALL AREAS SUBJECT TO CLEARING AND GRADING THAT HAVE NOT BEEN COVERED BY IMPERVIOUS SURFACE, INCORPORATED INTO A DRAINAGE FACILITY OR ENGINEERED AS STRUCTURAL FILL OR SLOPE SHALL, AT PROJECT COMPLETION, SHALL DEMONSTRATE THE FOLLOWING:

**SOIL QUALITY:**  
A TOPSOIL LAYER WITH A MINIMUM ORGANIC MATTER CONTENT OF 10% DRY WEIGHT IN PLANTING BEDS, AND 5% ORGANIC MATTER CONTENT IN TURF AREAS, AND A PH FROM 5.0 AND 8.0 OR MATCHING THE PH OF THE UNDISTURBED SOIL. USE COMPOST\* AND OTHER MATERIALS THAT MEET THE COMPOST GUIDELINES.

**SOIL DEPTH:**  
THE TOPSOIL LAYER SHALL HAVE A MINIMUM DEPTH OF EIGHT INCHES EXCEPT WHERE TREE ROOTS LIMIT THE DEPTH OF INCORPORATION OF AMENDMENTS. BELOW THE TOPSOIL LAYER, SUBSOILS BELOW THE TOPSOIL LAYER SHOULD BE SCARIFIED AT LEAST 4 INCHES WITH SOME INCORPORATION OF THE UPPER MATERIAL TO AVOID STRATIFICATION. TURF SOILS WITH TURF PLANTING BEDS SHOULD HAVE 2 INCHES OF ORGANIC MATERIAL AS WELL.

**COMPOST GUIDELINES:**  
MUST MEET THE DEFINITION OF "COMPOSTED MATERIAL" IN WAC 173-350-100 AND COMPLY WITH TESTING PARAMETERS AND OTHER STANDARDS IN WAC 173-350-220. MUST BE PROVIDED AT A PERMITTED COMPOSTING FACILITY. ORGANIC MATTER CONTENT SHALL BE 40% TO 65%, CARBON TO NITROGEN RATIO OF 10:1 TO 25:1. THE C:N RATIO MAY BE UP TO 35:1 FOR PLANTINGS COMPOSED ENTIRELY OF TUCKER SOUND LOWLAND NATIVE SPECIES AND UP TO 40:1 FOR COASTAL COMPOST. IT TO BE USED AS A SURFACE MULCH, NOT IN A SOIL MIX.

#### IMPLEMENTATION OPTIONS

- 1) LEAVE AS MUCH NATIVE VEGETATION AND SOIL AS POSSIBLE AND PROTECT FROM COMPACTION DURING CONSTRUCTION.
  - 2) AMEND EXISTING SITE TOPSOIL OR SUBSOIL WITHER ADEQUATE SOILS AT A CUSTOM CALCULATED RATES BASED ON TESTS OF THE SOIL AND AMENDMENT.
  - 3) IN AREAS REQUIRING CLEARING AND GRADING REMOVE AND STOCKPILE THE TOP LAYER AND TOPSOIL ON SITE IN A DESIGNATED, CONTROLLED AREA. ADJECT TO PUBLIC RESOURCES AND CRITICAL AREAS. REPLACE IT PRIOR TO PLANTING AND AMEND IF NEEDED TO MEET THE ORGANIC MATTER OR DEPTH REQUIREMENTS.
  - 4) IMPORT "TOP SOIL MIX OF SUFFICIENT ORGANIC CONTENT" AND DEPTH TO MEET THE REQUIREMENTS.
- MORE THAN ONE METHOD MAY BE USED ON DIFFERENT PORTIONS OF THE SAME SITE.

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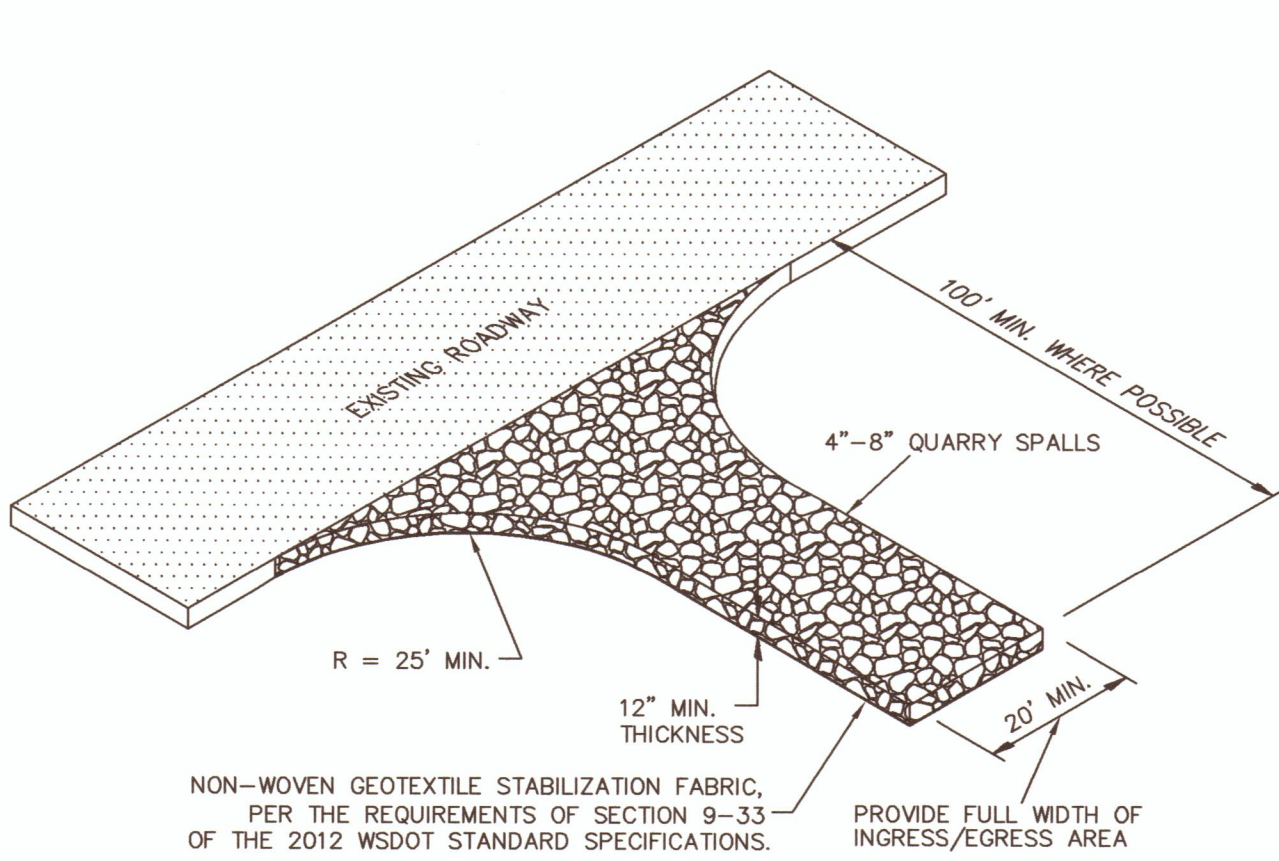
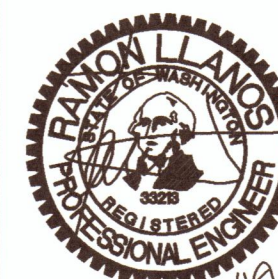
SHEET  
**04**  
OF 08

LEGOE LANE, CITY OF FERNDALE, WHATCOM COUNTY, WASHINGTON  
**5777 LEGOE LANE DUPLEX**  
TEMPORARY EROSION & SEDIMENTATION CONTROL  
PLANS & DETAILS

TOMMY TRUONG  
1863 MAIN ST  
FERNDAL, WA 98248

JOB NO.: 1585  
DWG. NAME: 1585-CVL-SITE 2 - AB.dwg  
DESIGNED BY: RL  
DRAWN BY: EH  
CHECKED BY: RL

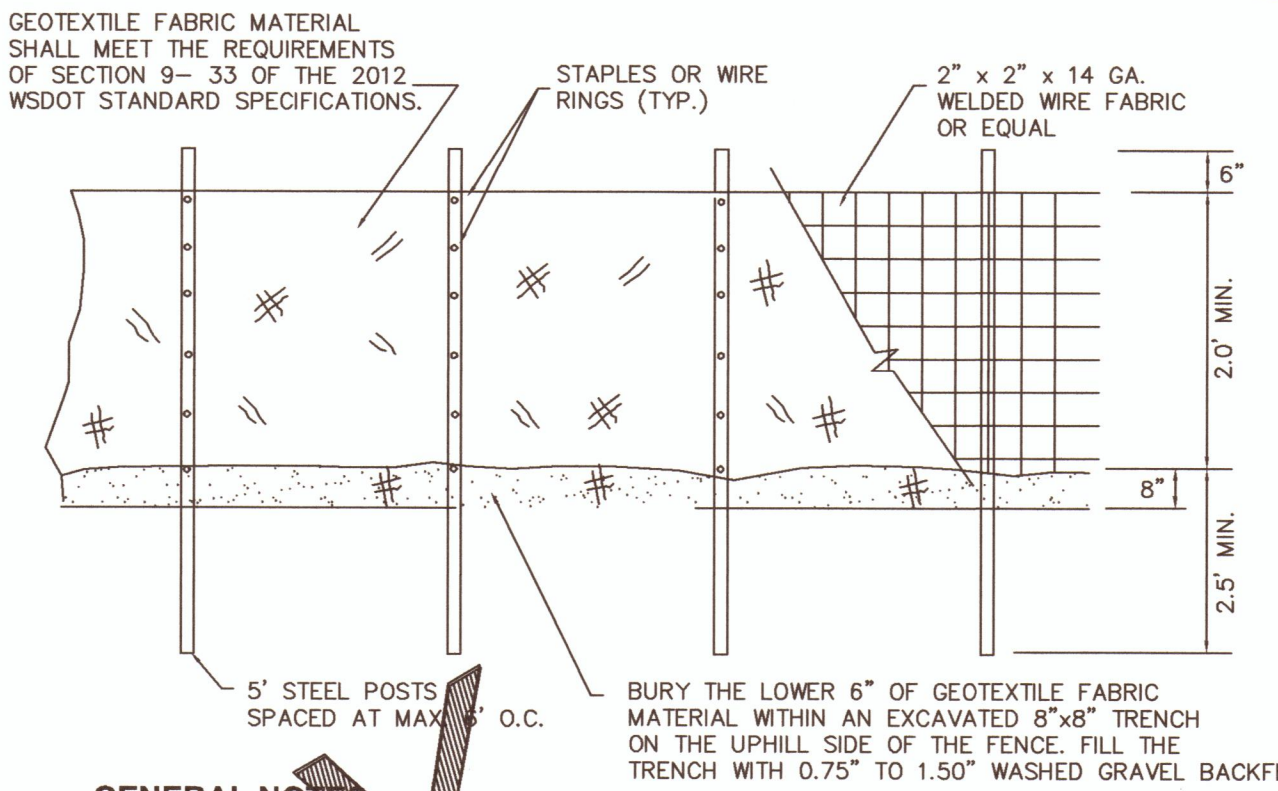
LDES, INC.  
5160 INDUSTRIAL PL. #108  
FERNDAL, WA 98248  
PHONE 360-383-0620  
FAX 360-383-0639



#### GENERAL NOTES:

1. IF THE ENTRANCE IS NOT PREVENTING SEDIMENT FROM BEING TRACKED ONTO SURROUNDING FACILITIES, THEN ALTERNATIVE MEASURES TO KEEP THE FACILITIES FREE OF SEDIMENT SHALL TO USED. THIS MAY INCLUDE STREET SWEEPING OR UPSIZING THE DIMENSIONS OF THE ENTRANCE.
2. ANY SEDIMENT THAT IS TRACKED ONTO PAVEMENT SHALL BE REMOVED IMMEDIATELY BY SWEEPING. THE SEDIMENT COLLECTED BY SWEEPING SHALL BE REMOVED OR STABILIZED ON-SITE. THE PAVEMENT SHALL NOT BE CLEANED BY WASHING, EXCEPT WHEN SWEEPING IS INEFFECTIVE AND THERE IS A THREAT TO PUBLIC SAFETY. IF IT IS NECESSARY TO WASH PAVEMENT, A SMALL SUMP OR POND SHALL BE CONSTRUCTED AND THE SEDIMENT SHALL BE CONVEYED INTO THE SUMP OR POND.

#### 2 QUARRY SPALL CONSTRUCTION ENTRANCE DETAIL not to scale



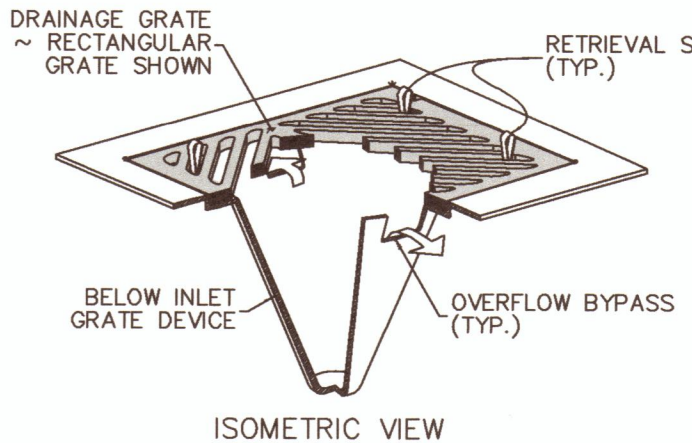
#### GENERAL NOTES:

1. ANY DAMAGE TO FENCING SHALL BE REPAIRED IMMEDIATELY.
2. IF CONCENTRATED FLOW ARE EVIDENT UPHILL OF THE FENCE, THEN THE WATER MUST BE INTERCEPTED AND CONVEYED TO A FULLY-FUNCTIONING SEDIMENT TRAP, POND, OR CONVEYANCE SYSTEM.
3. IT IS IMPORTANT TO PERIODICALLY CHECK THE UPHILL SIDE OF FENCING FOR SIGNS OF CLOGGING. IF CLOGGING OCCURS, THE FENCE WILL ACT AS A BARRIER TO FLOW AND MAY CAUSE CHANNELIZATION PARALLEL TO THE FENCE. TO REMEDY THIS, THE FENCING SHALL REPLACE THE FENCE AND/OR REMOVE THE TRAPPED SEDIMENT.
4. FENCING SHALL BE CONSTRUCTED DIRECTLY AFTER CLEARING AND GRUBBING IS COMPLETE. THE FENCE SHALL ONLY BE REMOVED WHEN CONSTRUCTION OF UTILITIES DEEMS IT ABSOLUTELY NECESSARY. IMMEDIATELY AFTER UTILITIES ARE IN-PLACE, THE SILT FENCING SHALL BE RECONSTRUCTED.

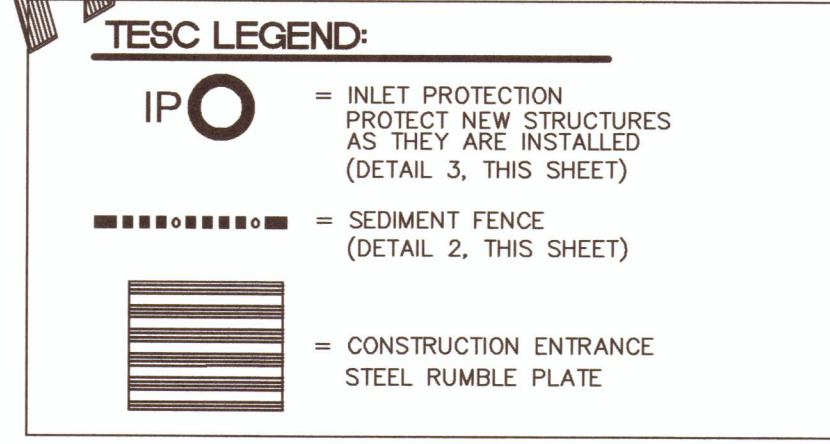
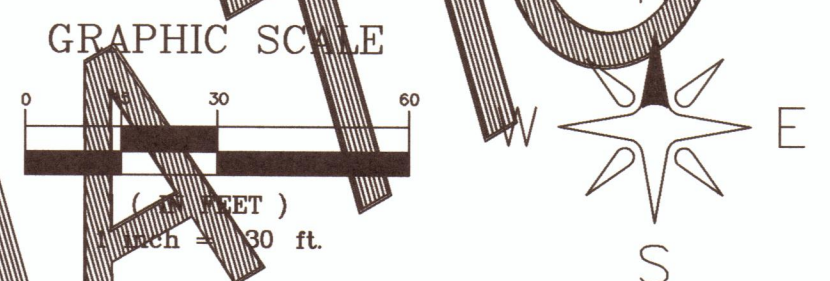
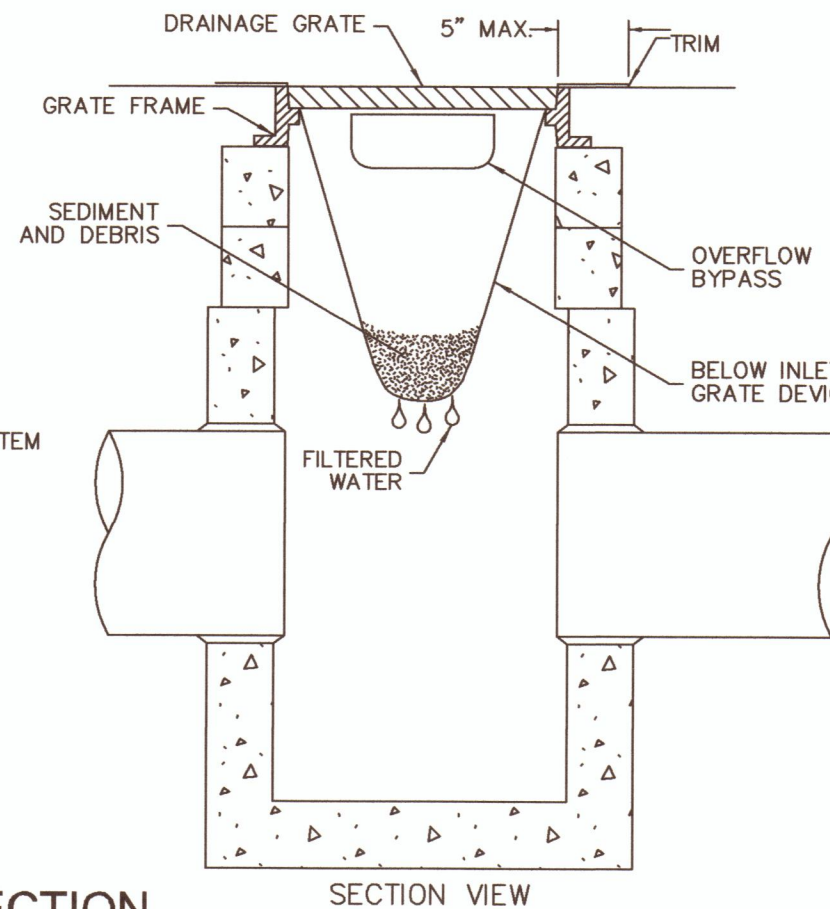
#### 1 SILT FENCE DETAIL (BASED ON FERNDAL ST-10) not to scale

#### INLET PROTECTION NOTES

1. SIZE THE BELOW INLET GRATE DEVICE (BIGD) FOR THE STORM WATER STRUCTURE IT WILL SERVICE.
2. THE BIGD SHALL HAVE A BUILT-IN HIGH-FLOW RELIEF SYSTEM (OVERFLOW BYPASS).
3. THE RETRIEVAL SYSTEM MUST ALLOW REMOVAL OF THE BIGD WITHOUT SPILLING THE COLLECTED MATERIAL.
4. PERFORM MAINTENANCE IN ACCORDANCE WITH STANDARD SPECIFICATION 8-01.3(15).



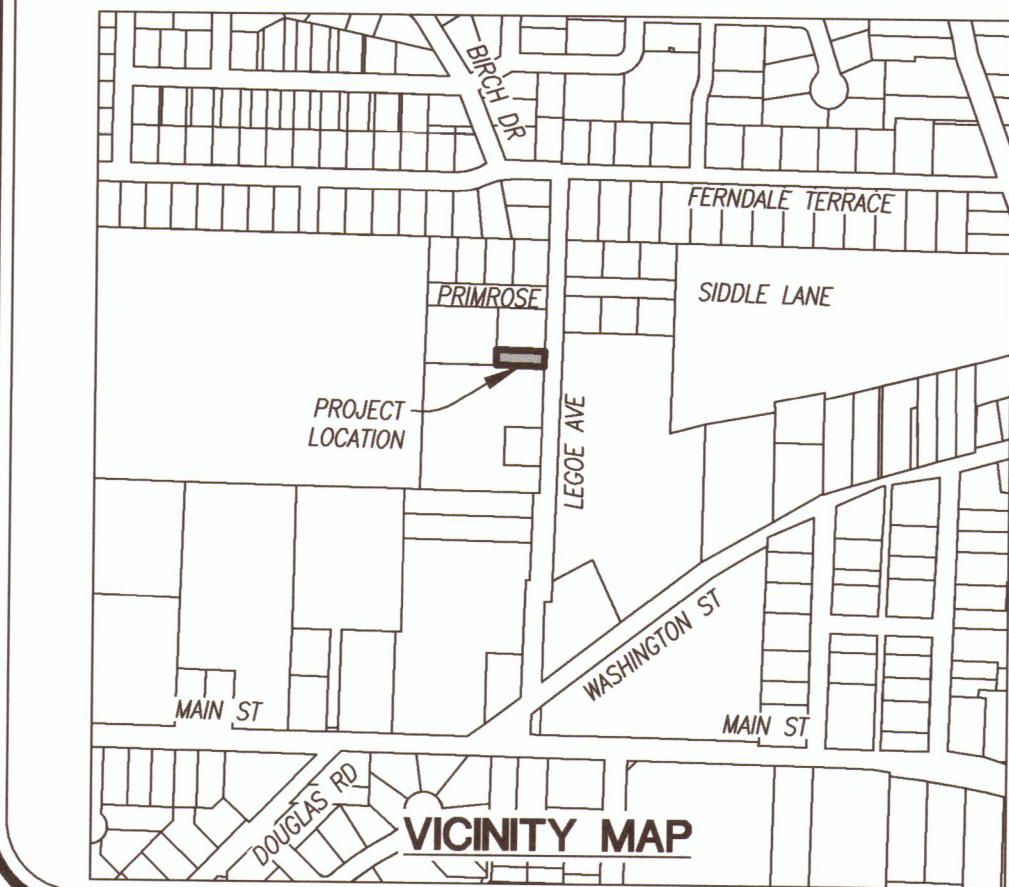
#### 3 STORM DRAIN INLET PROTECTION NOT TO SCALE



NOTE:  
ALL EROSION CONTROL MEASURES INCLUDING CONSTRUCTION ENTRANCE MUST BE INSTALLED PER PLAN AND INSPECTED BY CITY OF FERNDAL STORMWATER TECHNICIAN PAUL KINPEL (360)383-8189 PRIOR TO CONSTRUCTION. ALLOW A MINIMUM 24 HOURS NOTICE FOR INSPECTION.



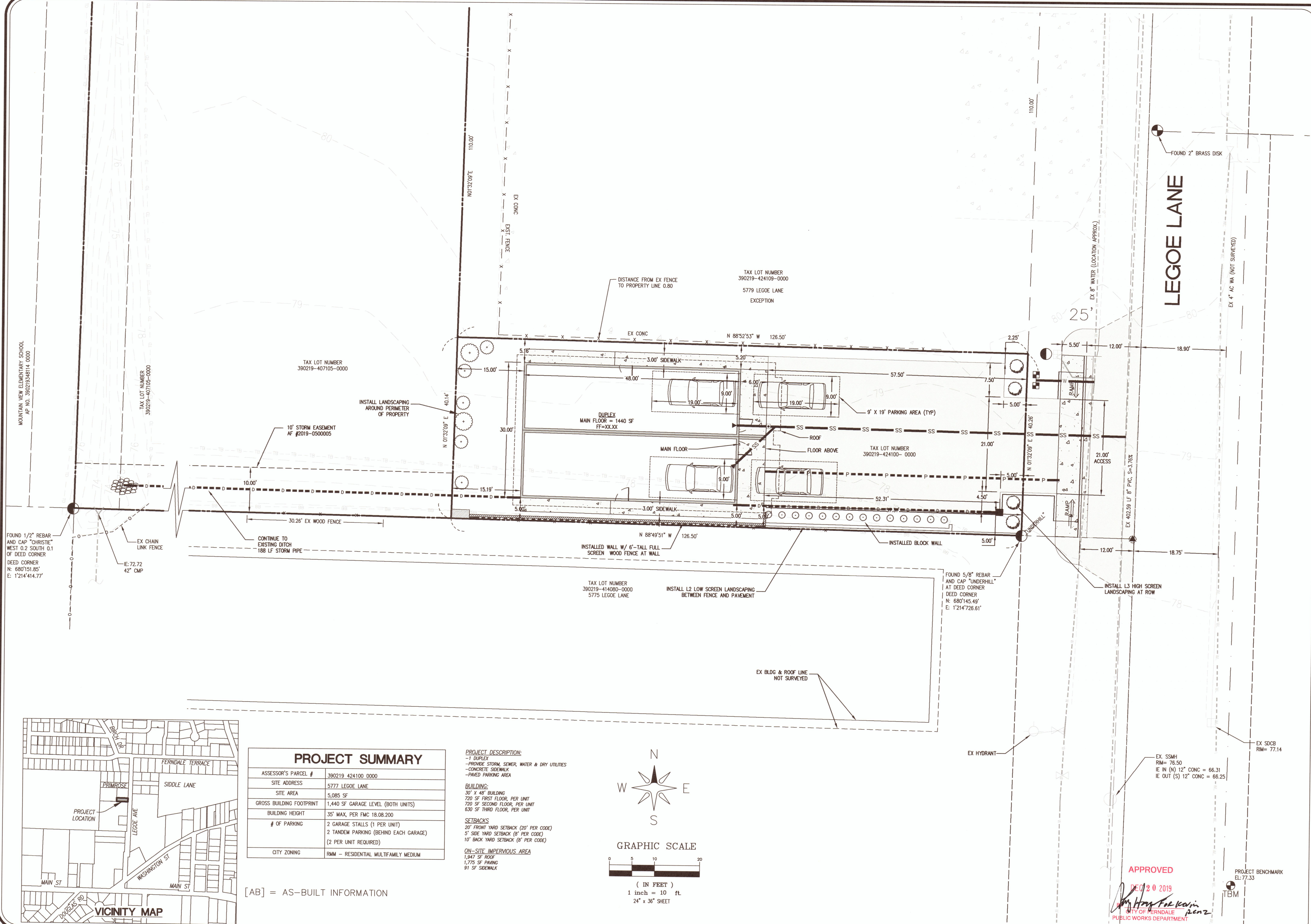
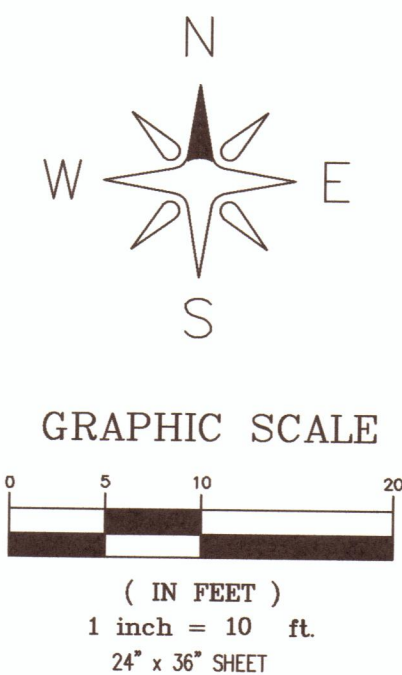
\\Server\Share\Common\Land Projects\2015\1585-TRUONG\DWG\1585-Civil-SITE 2 - AB.dwg, PLOT DATE:12/20/2019 1:19 PM



PROJECT SUMMARY	
ASSESSOR'S PARCEL #	390219 424100 0000
SITE ADDRESS	5777 LEGOE LANE
SITE AREA	5,085 SF
GROSS BUILDING FOOTPRINT	1,440 SF GARAGE LEVEL (BOTH UNITS)
BUILDING HEIGHT	35' MAX, PER FMC 18.08.200
# OF PARKING	2 GARAGE STALLS (1 PER UNIT) 2 TANDEM PARKING (BEHIND EACH GARAGE) (2 PER UNIT REQUIRED)
CITY ZONING	RMM - RESIDENTIAL MULTIFAMILY MEDIUM

[AB] = AS-BUILT INFORMATION

**PROJECT DESCRIPTION:**  
-1 DUPLEX  
-PROVIDE STORM, SEWER, WATER & DRY UTILITIES  
-CONCRETE SIDEWALK  
-PAVED PARKING AREA  
**BUILDING:**  
30' X 40' BUILDING  
720 SF FIRST FLOOR, PER UNIT  
720 SF SECOND FLOOR, PER UNIT  
630 SF THIRD FLOOR, PER UNIT  
**SETBACKS**  
20' FRONT YARD SETBACK (20' PER CODE)  
5' SIDE YARD SETBACK (6' PER CODE)  
10' BACK YARD SETBACK (6' PER CODE)  
**ON-SITE IMPERVIOUS AREA**  
1,947 SF ROOF  
1,775 SF PAVING  
61 SF SIDEWALK



NO.	REVISION	BY	DATE
1	AS-BUILT'S SUBMITTAL		12/19/19
2			
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SHEET  
**05**  
OF 08

**RECORD DRAWING**

LDES, INC.  
5160 INDUSTRIAL PL. #108  
FERNDAL, WA 98248  
PHONE 360-383-0620  
FAX 360-383-0639

TOMMY TRUONG  
1863 MAIN ST  
FERNDAL, WA 98248

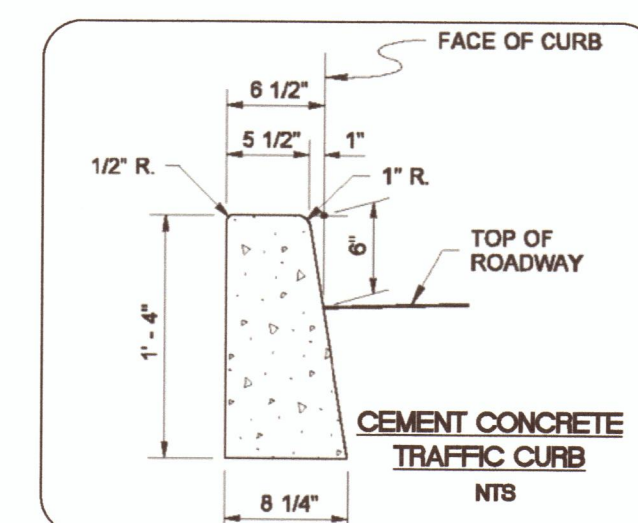
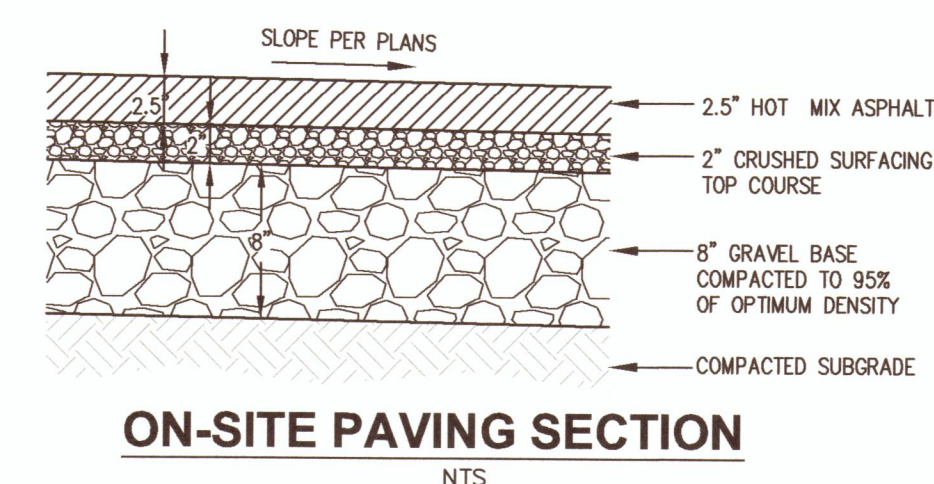
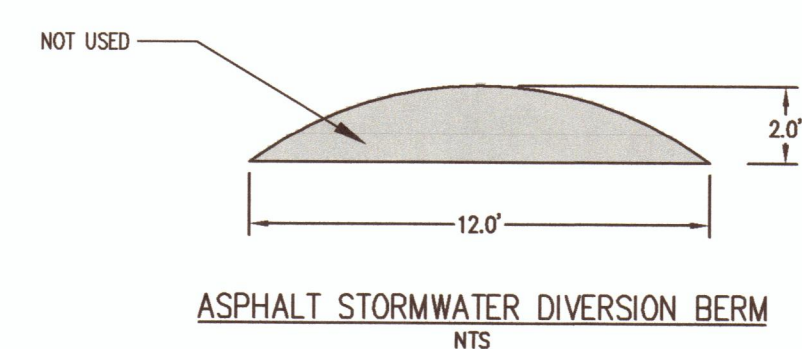
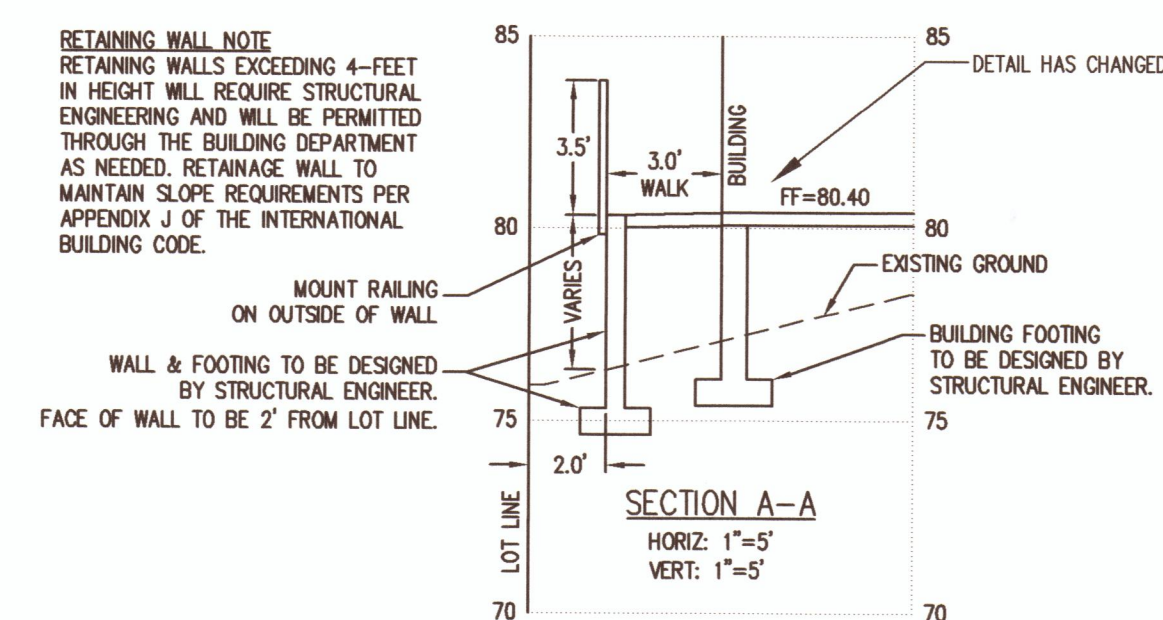
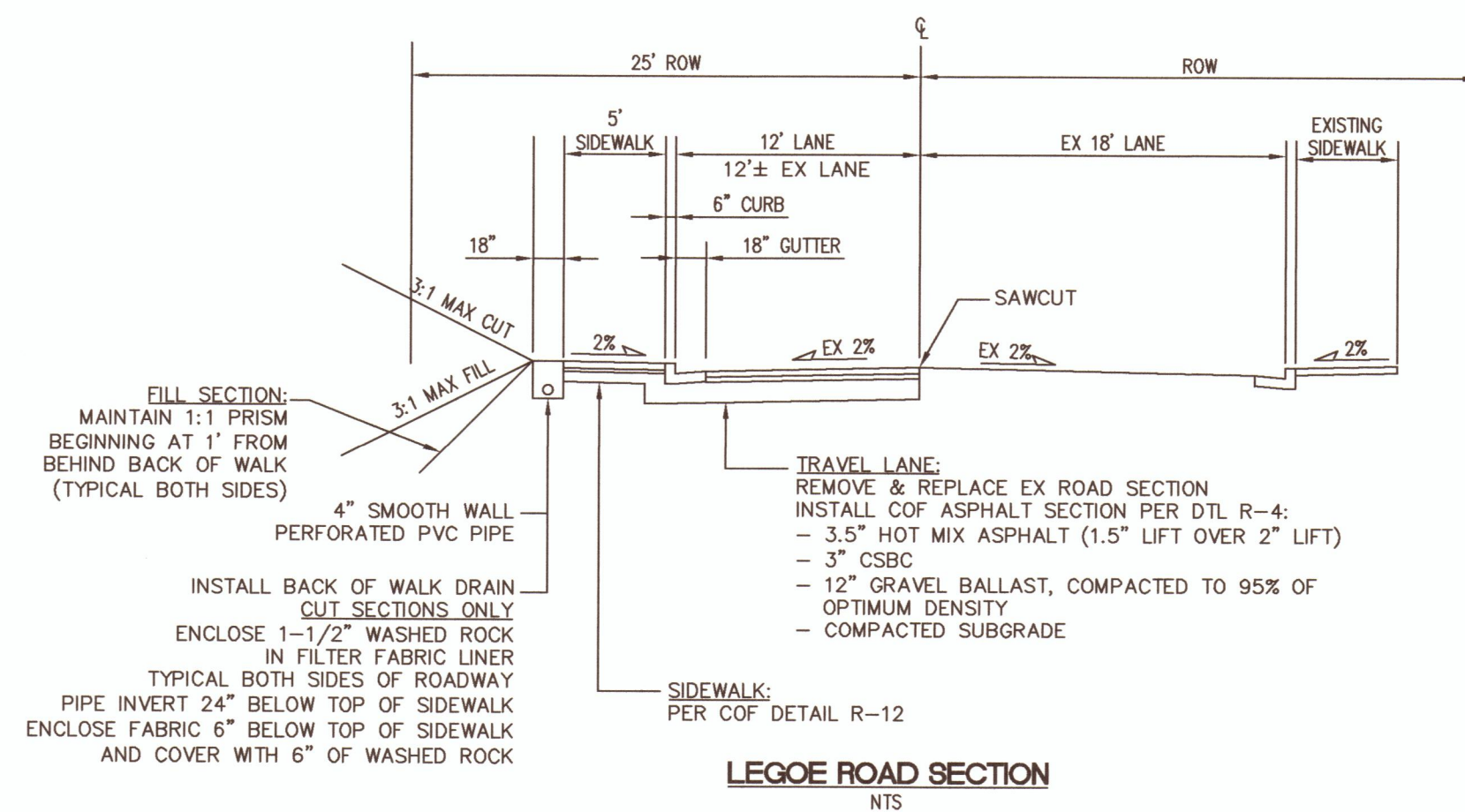
JOB NO.: 1585  
DWG. NAME: 1585-CIVIL-SITE 2 - AB.dwg  
DESIGNED BY: RL  
DRAWN BY: EH  
CHECKED BY: RL

LEGOE LANE, CITY OF FERNDAL, WHATCOM COUNTY, WASHINGTON  
**5777 LEGOE LANE DUPLEX**  
SITE PLAN

APPROVED  
DEC 20 2019  
[Signature]  
CITY OF FERNDAL  
PUBLIC WORKS DEPARTMENT

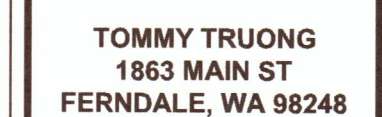
PROJECT BENCHMARK  
EL: 77.33  
TBM





DEC 20 2019  
By Jeffrey E. Keavlin  
CITY OF FERNDALE  
PUBLIC WORKS DEPARTMENT 12012

[AB] = AS-BUILT INFORMATION



LEGOE LANE, CITY OF FERNDALE, WHATCOM COUNTY, WASHINGTON

**5777 LEGOE LANE DUPLEX  
ROAD & STORM PLAN**

PARCEL 390219-424100-0000

SHEET	AS-BUILTS SUBMITTAL	EC	12/19/19
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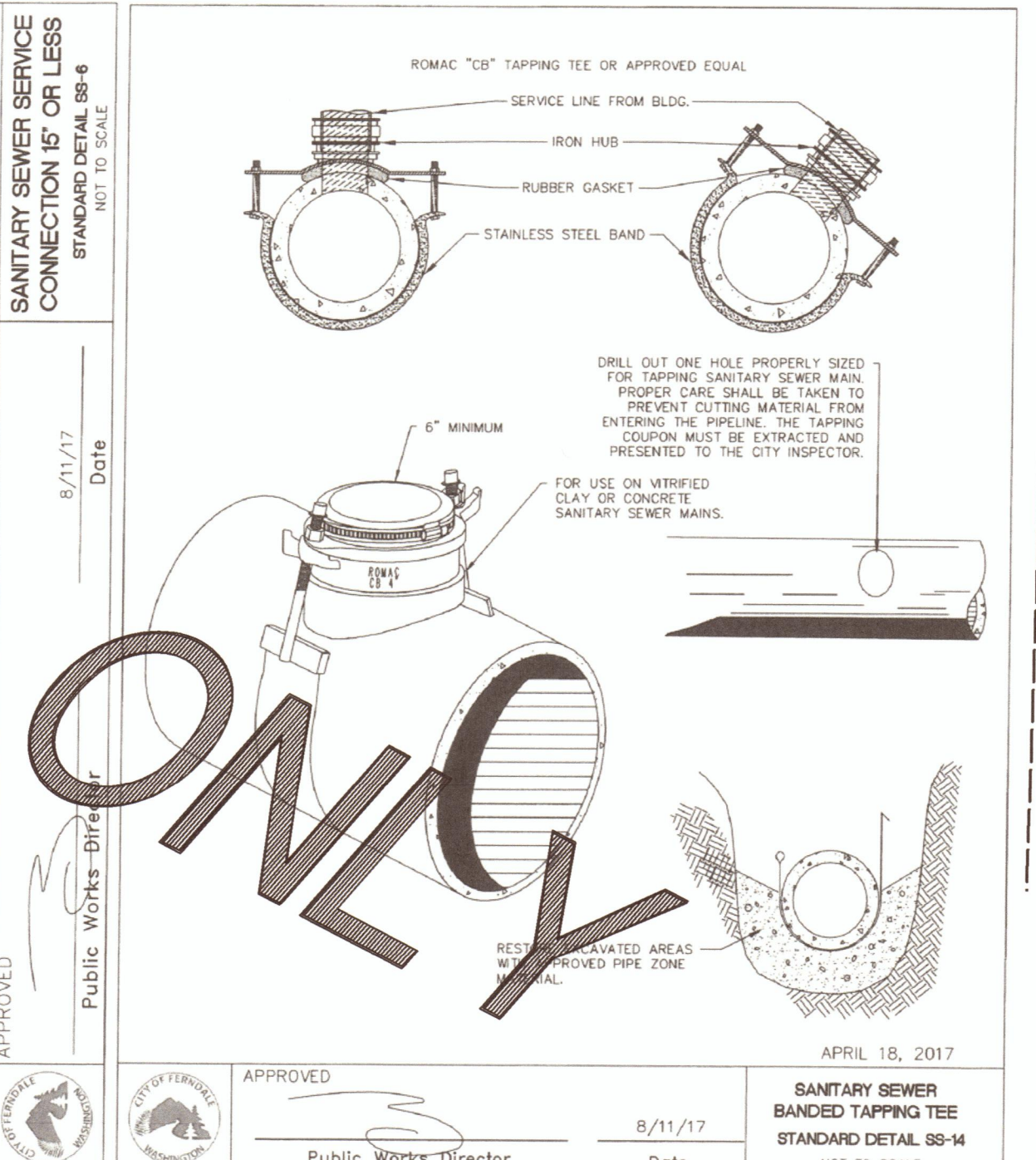
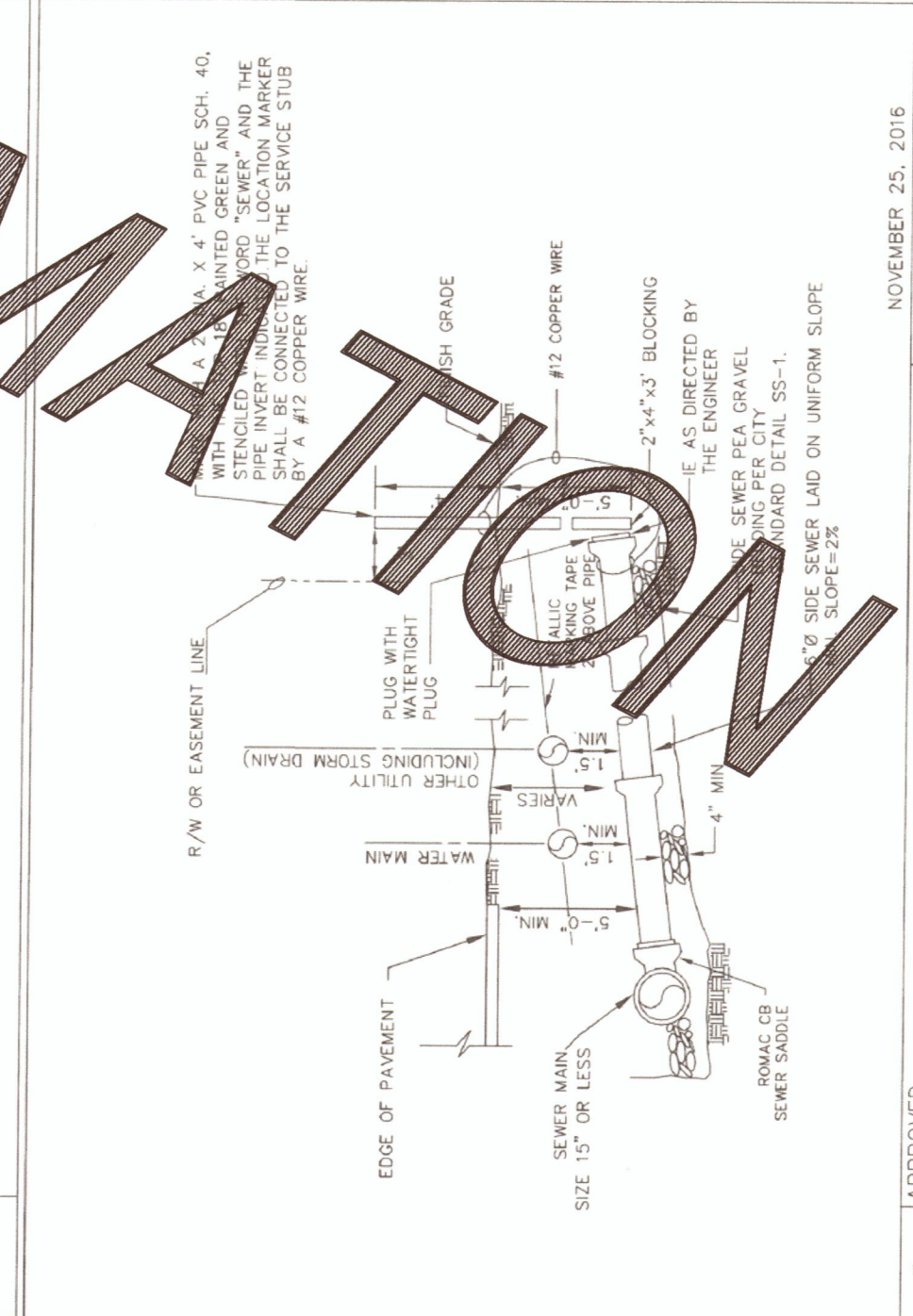
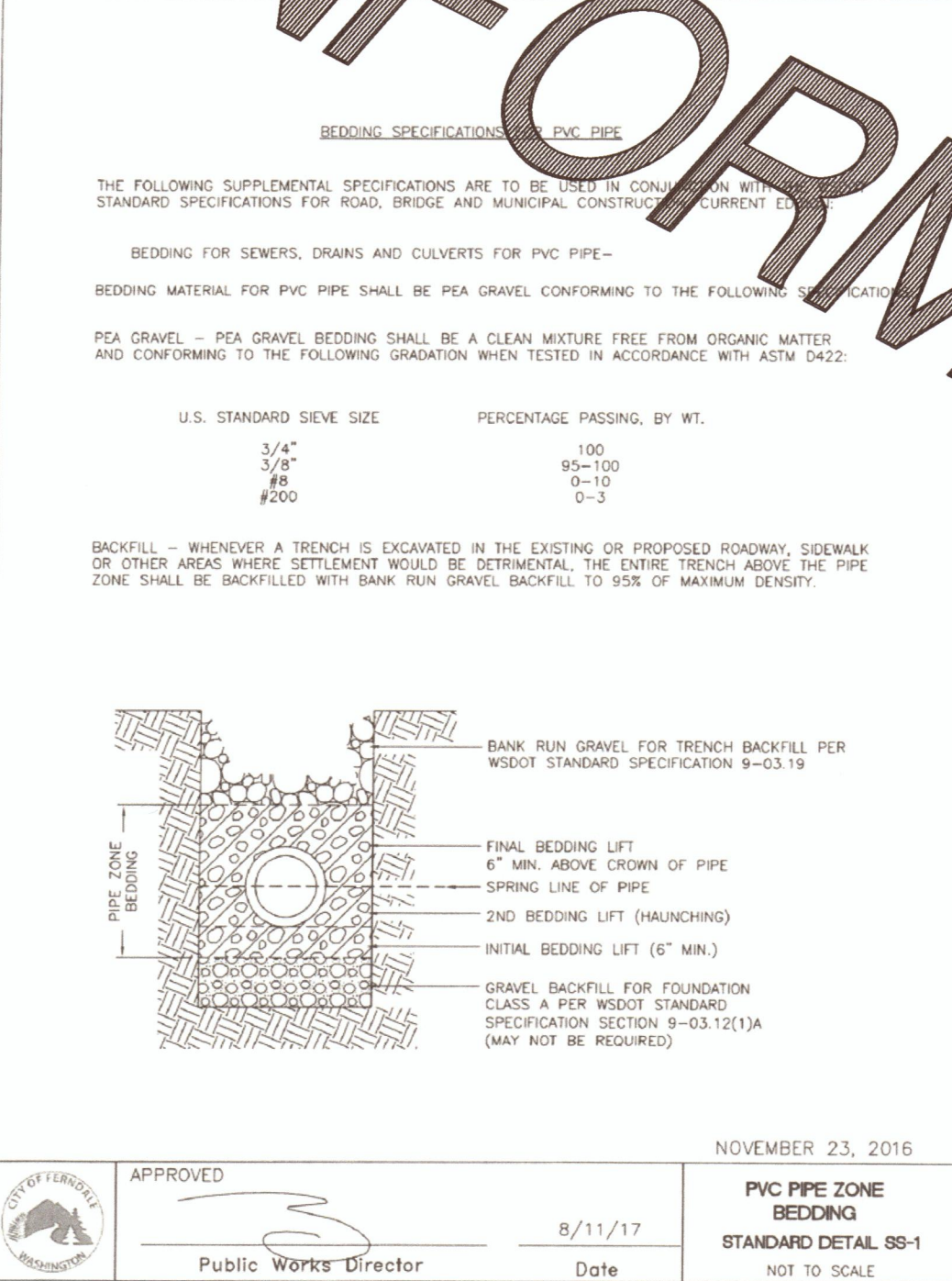
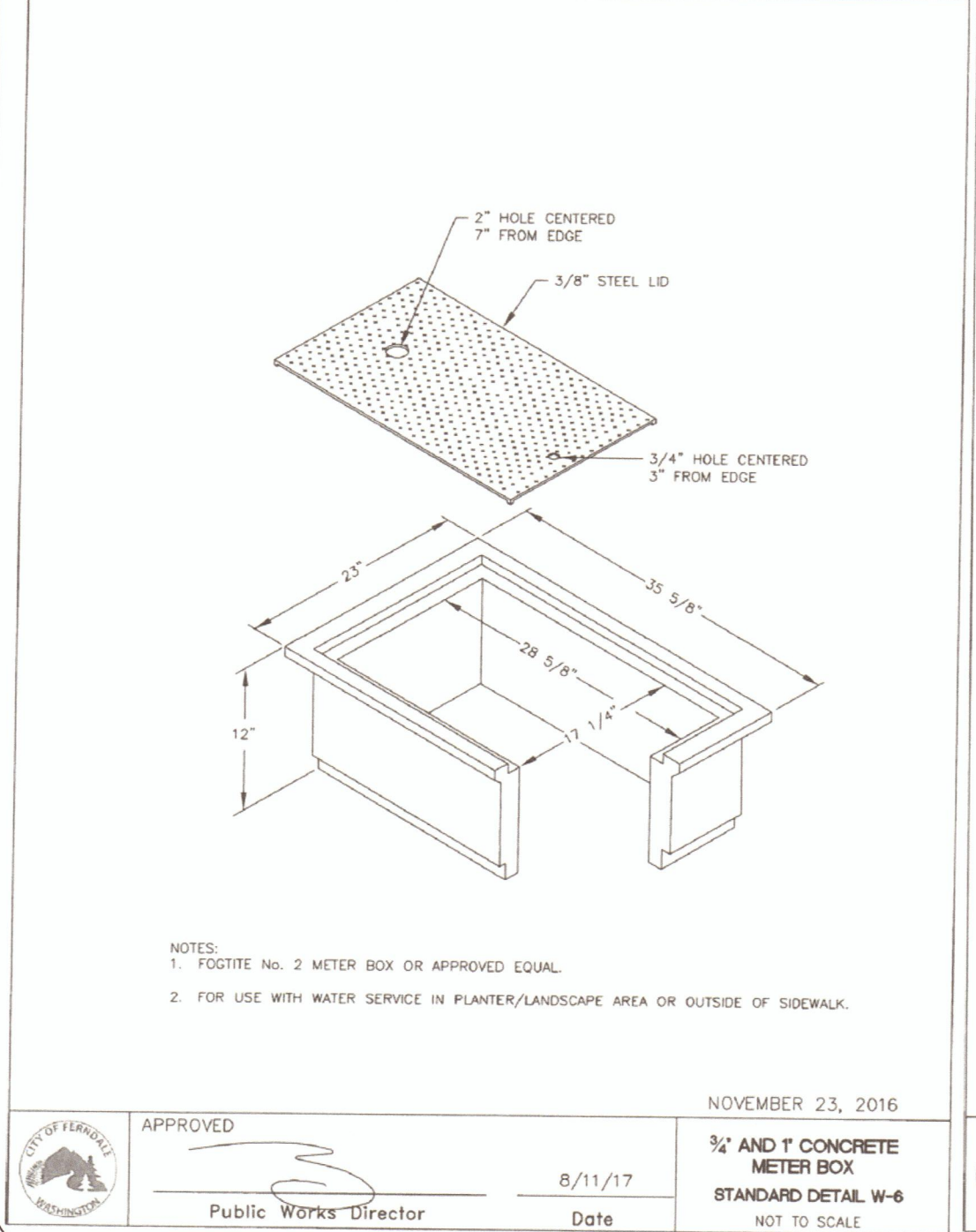
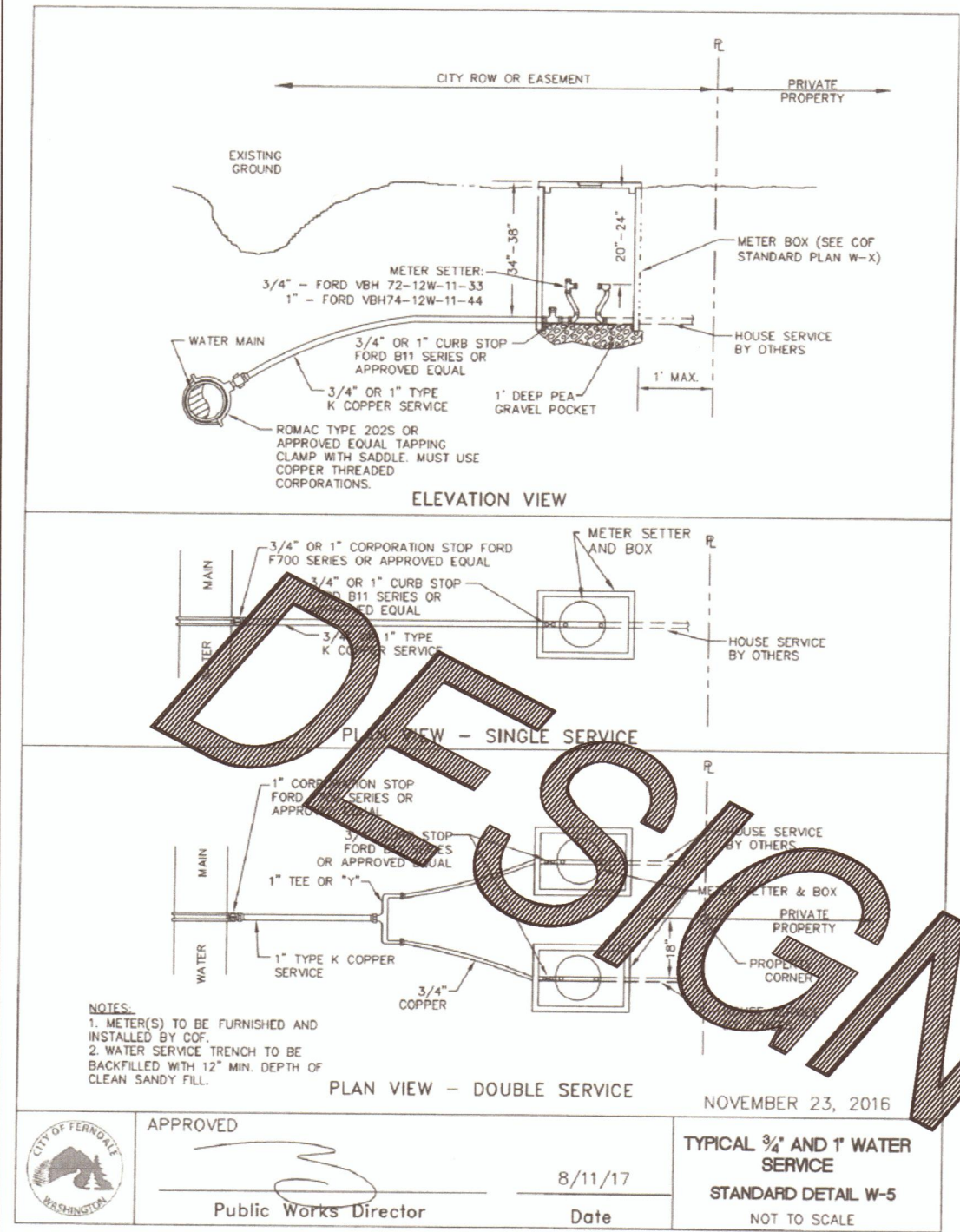
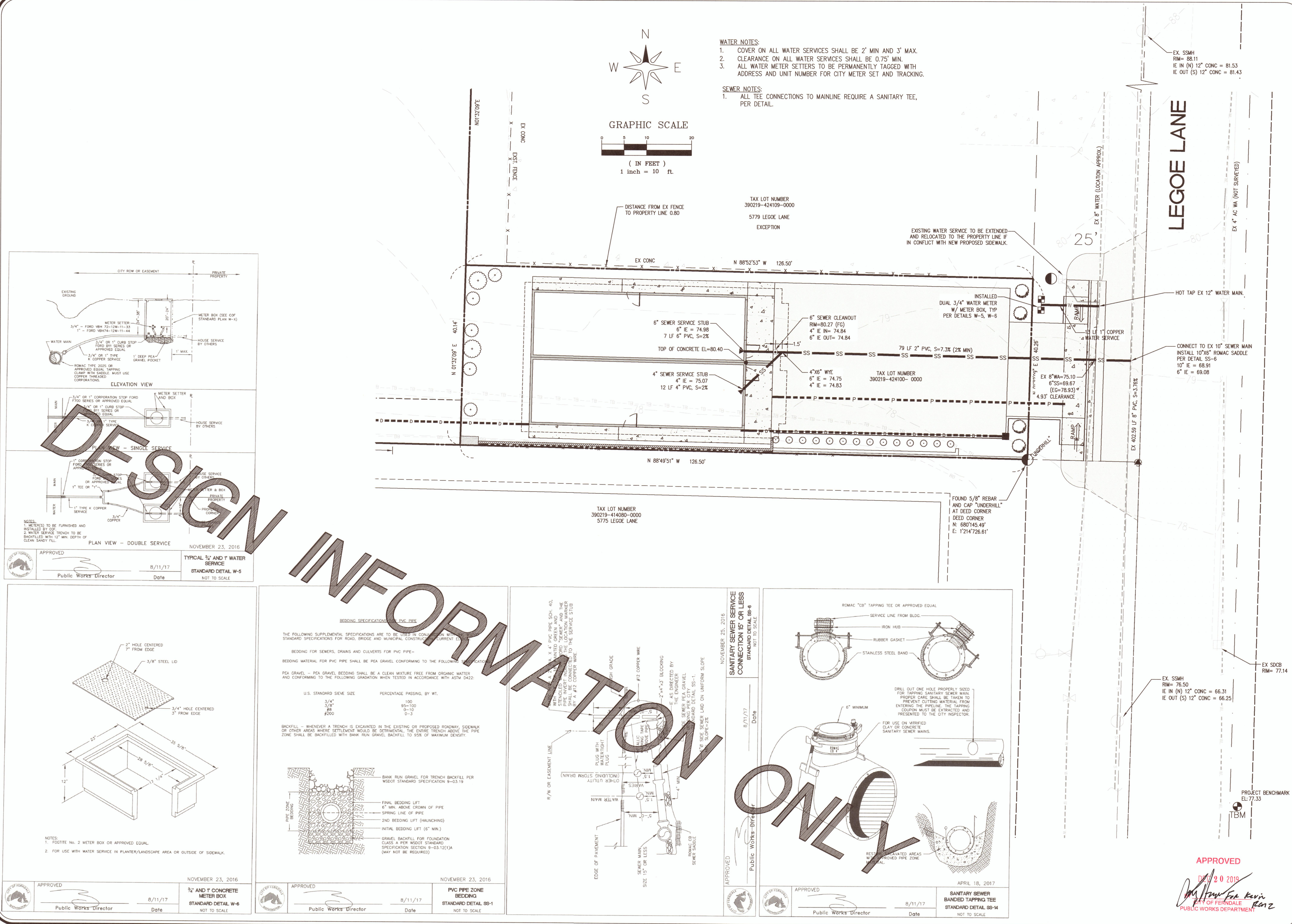
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## RECORD DRAWING









LDES, INC.  
5160 INDUSTRIAL PL. #108  
FERNDAL, WA 98248  
PHONE 360-383-0620  
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12/19/19

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DRAWN BY: EH

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TOMMY TRUONG  
1863 MAIN ST  
FERNDAL, WA 98248

LEGOE LANE, CITY OF FERNDAL, WHATCOM COUNTY, WASHINGTON

5777 LEGOE LANE DUPLEX

WATER & SEWER PLAN & DETAILS

PARCEL 390219-424100-0000

AS-BUILT SUBMITAL	EC	12/19/19	REVISION	BY	DATE
1	A				
2	A				
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APPROVED

DATE: 12/20/2019

BY: *Tommy Truong*

CITY OF FERNDAL  
PUBLIC WORKS DEPARTMENT

08

OF 08

RECORD DRAWING