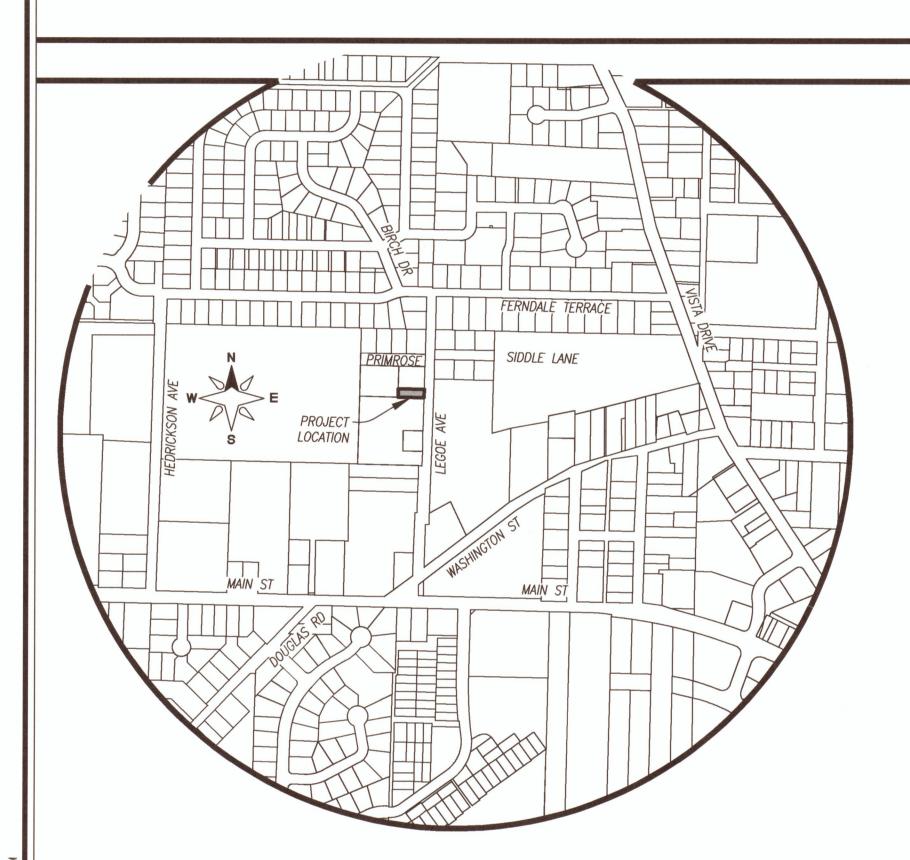
A PORTION OF THE SE 1/4 OF SECTION 19, TOWNSHIP 39 N., RANGE 2 E. OF THE W.M. CITY OF FERNDALE, WHATCOM COUNTY, WASHINGTON

5777 LEGOE LANE DUPLEX

Record Drawings



PROJECT SUMMARY	
ASSESSOR'S PARCEL #	390219 424100 0000
SITE ADDRESS	5777 LEGOE LANE
SITE AREA	5,085 SF
GROSS BUILDING FOOTPRINT	1,440 SF GARAGE LEVEL (BOTH UNITS)
BUILDING HEIGHT	35' MAX, PER FMC 18.08.200
# OF PARKING	2 GARAGE STALLS (1 PER UNIT) 2 TANDEM PARKING (BEHIND EACH GARAGE)
J	(2 PER UNIT REQUIRED)
CITY ZONING	RMM - RESIDENTIAL MULTIFAMILY MEDIUM

30' X 48' BUILDING

91 SF SIDEWALK

20' FRONT YARD SETBACK (20' PER CODE) 10' BACK YARD SETBACK (8' PER CODE) <u>ON—SITE IMPERVIOUS AREA</u> 1,947 SF ROOF 1,775 SF PAVING

SHEET INDEX

- CITY OF FERNDALE GENERAL NOTES
- **EXISTING CONDITIONS PLAN**
- **TEMPORARY EROSION CONTROL PLAN & DETAILS**
- 5. SITE PLAN
- **ROAD & STORM PLAN**
- ROAD & STORM DETAILS
- 8. WATER & SEWER PLAN & DETAILS

ABBREVIATIONS

I HEREBY CERTIFY THAT I HAVE PERSONALLY INSPECTED THE 5777 LEGOE LANE DUPLEX IMPROVEMENTS HAVE BEEN CONSTRUCTED IN CONFORMANCE WITH THE CITY OF FERNDALE DEVELOPMENT STANDARDS, THE CITY OF FERNDALE MUNICIPAL CODE, SUBSEQUENT STANDARDS ADOPTED BY REFERENCE THEREIN, AND STANDARD ENGINEERING

= BEST MANAGEMENT PRACTICE BNDRY = BOUNDARY = CENTERLINE = CONCRETE = CORRUGATED POLYETHYLENE DRAIN PIPE CSTC = CRUSHED SURFACING TOP = CRUSHED SURFACING BASE CONTROL = DUCTILE IRON = DEPARTMENT OF ECOLOGY = EASTING

= EXISTING GROUND ELEV/EL = ELEVATION= EDGE OF PAVEMENT EXIST/EX = EXISTING= FINISH FLOOR = FINISH GROUND = FLOW LINE = FOUND = GATE VALVE = FIRE HYDRANT = INVERT ELEVATION

= PERFORATED PIPE PERM. = PERMANENT = PROPOSED = POLYVINYL CHLORIDE PIPE = PUGET SOUND ENERGY = POWER = NORTHING = RADIUS = RETAINING WALL **TESC** = RIGHT OF WAY = RIGHT = ROOF AND YARD = SLOPE = STORM DRAIN STORM DRAIN CATCH BASIN SQ. IN. = SQUARE INCHES X-ING = CROSSING= SANITARY SEWER SSCO = SANITARY SEWER CLEAN OUT

= INVERT ELEVATION

= OUTSIDE DIAMETER

= JUNCTION BOX

= LINEAR FEET

= POUNDS

REFERENCE DOCUMENTS

1) CHICAGO TITLE COMMITMENT No. 245378465 STATUTORY WARRANTY DEED A.F.N. 2017-0702011 PLAT OF SEAMOUNT, VOL. 8, PAGE 27 RECORD OF SURVEY A.F.N. 1524555 LOT LINE ADJUSTMENT A.F.N. 1980101631 RECORD IOF SURVEY A.F.N. 2080902738 RECORD OF SURVEY A.F.N. 921005030 MEADOW GREENS SHORT PLAT A.F.N. 900108059 9) PLAT OF SIDDLE'S FIRST ADDITION VOL. 9, PAGE 98 10) RECORD OF SURVEY A.F.N. 2051005994

11) RECORD OF SURVEY A.F.N. 2016-1000951

= SQUARE FEET

= STATION

= STRUCTURF

= SIDEWALK

STRC

= SANITARY SEWER

STORM WATER

STORM WATER

STORMWATER

TELEPHONE

CONTROL

= TOP OF WALL

= WATER MAIN

= TYPICAL

= DIAMETER

= WATER

TEMPORARY

AND SEDIMENT

MANAGEMENT FILTER

MANAGEMENT MANUAL

TEMPORARY EROSION

POLLUTION PREVENTION

MANHOLE

EXISTING LEGEND

= FND PK NAIL = FND BRASS MON = SET TEMPORARY BENCHMARK = EXISTING FIRE HYDRANT = EXIST SANITARY SEWER MANHOLE

= EXIST LANDSCAPING = EXISTING POWER POLE & GUY WIRE = EXISTING ASPHALT

= EXISTING CONCRETE

= EXISTING GRAVEL

= EXISTING DITCH = EXISTING STORM = EXISTING WATER = EXISTING SEWER

= OVERHEAD POWER - - - - 80 - - - = EXISTING CONTOUR - MAJOR---79---= EXISTING CONTOUR - MINOR

PROPOSED LEGEND

- = PROPOSED SANITARY SEWER SERVICE
- PROPOSED SEWER CLEANOUT ■ = PROPOSED WATER METER

= PROPOSED ASPHALT

= PROPOSED STORM DRAIN CATCH BASIN \bigcirc (•) = PROPOSED LANDSCAPE BUSH & TREE

= PROPOSED RIP RAP -so-so-so-so- = PROPOSED STORMWATER PIPE ss—ss—ss = PROPOSED SEWER LINE

= PROPOSED WATERWATER LINE ----x----x--- = PROPOSED FENCE

= PROPOSED CONCRETE = PROPOSED WALL — — — — — — = PROPOSED BUILDING SETBACK

---- = PROPOSED EASEMENT [AB] = AS-BUILT INFORMATION

APPROVED

160 INDUSTRIAL PL. #1 FERNDALE, WA 98248 PHONE 360-383-0620 FAX 360-383-0639



DRAWN BY: CHECKED BY:

ESIGNED BY:

TOMMY TRUONG 1863 MAIN ST FERNDALE, WA 98248

BURIED UTILITIES NOTE:

TOMMY TRUONG

ENGINEER

1863 MAIN STREET

FERNDALE, WA 98248

FERNDALE, WA 98248

FERNDALE, WA 98248

(360) 383-0620

(360) 383-0620

PHONE: 714-234-8908

5160 INDUSTRIAL PL., SUITE 108

CONTACT: RAMON LLANOS, PE.

CONTACT: KYLE HAGGITH, PLS.

CALL 2 BUSINESS DAYS BEFORE YOU DIG

UTILITIES UNDERGROUND LOCATION CENTER

1-800-424-5555

ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE LOCATIONS ONLY AND THERE IS NO GUARANTEE THAT ALL UTILITIES ON THIS SITE ARE SHOWN. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTACT THE WASHINGTON STATE UTILITY LOCATED CENTER AT LEAST 48 HOURS BEFORE CONSTRUCTION

SURVEYOR'S NOTES:

- 5160 INDUSTRIAL PL., SUITE 108 1) DATA FOR THIS SURVEY WAS GATHERED BY FIELD TRAVERSE
 - 2) EQUIPMENT USED: LEICA TCRA1203: 00'3" ± 2 PPM, ±2 MM

VERTICAL DATUM: CITY OF FERNDALÉ CONTROL NGVD29

3) HORIZONTAL DATUM & BASIS OF BEARING: CITY OF FERNDALE CONTROL NAD83/91

UTILIZING ELECTRONIC DATA COLLECTION.

- 4) THIS SURVEY VERIFIED AND ACCEPTED THE SECTION BREAKDOWN OF SE. 19, TWP 39 N., RGE 2 E., W.M. PER REFERENCE DOCUMENT No. 5 LISTED HEREON.
- 5) PURPOSE OF SURVEY: BOUNDARY AND TOPOGRAPHIC SURVEY
- 6) CONTOUR INTERVALS ARE 1-FOOT AND ARE COMPUTER GENERATED FROM GROUND FIELD TOPOGRAPHY GATHERED FOR THIS SURVEY UTILIZING ELECTRONIC DATA COLLECTION.
- UTILITY LOCATIONS SHOWN HEREON ARE BASED UPON FIELD LOCATION OF THE SURFACE EVIDENCE OF EXISTING STRUCTURES. UNDERGROUND UTILITY LOCATION SERVICES WERE NOT PROVIDED FOR THIS TOPOGRAPHIC SURVEY AND THE UNDERGROUND ROUTING OF REPORTED BURIED UTILITIES HAS NOT BEEN VERIFIED OR CONFIRMED WITH THE UTILITY PURVEYOR. ADDITIONAL UTILITY LOCATIONS AND UNDERGROUND UTILITY

LEGAL DESCRIPTION

(PER REFERENCE DOCUMENTS No. 1 AND No.2)

THE EAST 336.9 FEET OF THE NORTH HALF OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 19, TOWNSHIP 39 NORTH, RANGE 2 EAST OF W.M., EXCEPT THE NORTH 180 FEET THEREOF,

PRACTICE

ENGINEER' CERTIFICATION:

IMPROVEMENTS AND THAT SAID

AND EXCEPT THE FOLLOWING DESCRIBED TRACT:

A TRACT OF LAND IN THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 19. TOWNSHIP 39 NORTH, RANGE 2 EAST OF W.M., DECRIBED AS FOLLOWS:

BEGINNING AT THE POINT OF INTERSECTION OF THE LINE PARALLEL WITH AND 180.0 FEET SOUTH OF THE NORTH LINE OF THE SAID SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 19 AND A LINE PARALLEL WITH AND 25.0 FEET WESTERLY OF A FENCE MARKING THE EAST LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 19: THENCE SOUTH 00° 34' 00" WEST, PARALLEL WITH THE SAID EAST LINE OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER, 110.0 FEET; THENCE WEST, PARALLEL WITH THE NORTH LINE OF THE SAID SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER, 126.5 FEET; THENCE NORTH 00° 34' 00" EAST, 110.0 FEET: THENCE EAST 126.5 FEET TO THE POINT OF BEGINNING.

ALL LESS ROADS. TOGETHER WITH

CONTROL NOTES

EASTING:

CITY OF FERNDALE COMPREHENSIVE MAPPING PROGRAM. BASIS OF BEARING: NAD83/91 (CITY FERNDALE NETWORK) VERTICAL CONTROL: NGVD29 (CITY OF FERNDALE NETWORK) FERN 05: BASIS OF COORDINATE & REFERENCE BENCHMARK FOUND A BRASS DISK AT EXIT DRVEWAY FOR NORTHING: 683'701.32'

EASTING: 1'214'911.44' ELEVATION: 220.76'(NGVD29) FERN 08: BASIS OF BEARING FOUND A BRASS DISK SET IN CONCRETE AT BACK OF SIDEWALK NORTHWESTERLY OF FERNDALE CITY COUNCIL CHAMBERS BUILDING - 5694 SECOND AVENUE NORTHING: 678'623.10'

PROJECT BENCHMARK: SPIKE IN UTILITY POLES AS SHOWN HEREON

1'217'288.97'

GENERAL REQUIREMENTS:

- ALL WORK AND MATERIALS SHALL CONFORM TO THESE PLANS AND TO THE REQUIREMENTS OF THE CURRENT EDITION OF THE "STATE OF WASHINGTON, DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION" (WSDOT SPECS.), THE CITY OF FERNDALE DEVELOPMENT STANDARDS (COFDS) AND THE 2005 VERSION OF THE DEPARTMENT OF ECOLOGY STORM WATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON (DOE MANUAL). IN CASE OF A CONFLICT BETWEEN PLANS, REGULATORY STANDARDS OR SPECIFICATIONS, THÉ MORE STRINGENT REQUIREMENT WILL PREVAIL.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER CONSTRUCTION DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES. THROUGHOUT THE PERIOD OF CONSTRUCTION, CONTRACTOR SHALL COMPLY WITH THE TERMS OF ALL PERMITS.
- THE CONTRACTOR MUST HAVE A FULL SET OF CITY CONTRACT DOCUMENTS ON THE SITE WHENEVER CONSTRUCTION IS IN PROGRESS CONSTRUCTION NOISE SHALL BE LIMITED TO BETWEEN 7 a.m. TO 8 p.m., MONDAY THROUGH FRIDAY
- UNLESS OTHERSIDE APPROVED. THE CONTRACTOR SHALL CONTACT THE UTILITIES UNDERGROUND LOCATION CENTER AT LEAST 72 HOURS PRIOR TO STARTING CONSTRUCTION. PHONE: 1-800-424-5555. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL OF THE VARIOUS UTILITY COMPANIES TO ARRANGE FOR FIELD LOCATIONS OF ALL EXISTING UTILITY FACILITIES. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR COSTS INCURRED BECAUSE OF DAMAGE DONE TO EXISTING FACILITIES BY THE CONTRACTOR'S WORK FORCE, INCLUDING COSTS FOR REPAIRS, WHICH WILL BE CONTRACTOR'S SOLE RESPONSIBILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF ALL EXISTING UTILITIES AND TO NOTIFY THE ENGINEER PROMPTLY OF ANY CONFLICT BETWEEN
- THE APPROVED PLANS AND THE LOCATION OF ANY EXISTING UTILITIES. THE CONTRACTOR SHALL PROTECT ALL PRIVATE AND PUBLIC UTILITIES FROM DAMAGE RESULTING FROM THE WORK. CONTRACTOR SHALL RESTORE ALL PRIVATE AND PUBLIC PROPERTY DISRUPTED BY THE PROJECT IMMEDIATELY AFTER CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL MEASURES THROUGHOUT THE DURATION OF THE PROJECT. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CLEARING OR GRADING IN CONFORMANCE WITH THE EROSION & SEDIMENTATION CONTROL PLAN AND THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP). THE SWPPP SHALL BE ONSITE AT ALL TIMES DURING CONSTRUCTION ACTIVITIES. SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL ABOVE GROUND AND BURIED
- DEBRIS AND WASTE THAT MAY BE PRESENT. THE CONTRACTOR SHALL OBTAIN REVOCABLE ENCROACHMENT PERMITS FROM THE CITY OF FERNDALE
- AND/OR WHATCOM COUNTY PRIOR TO COMMENCING WORK WITHIN THE PUBLIC RIGHT-OF-WAY. 10. THE CONTRACTOR SHALL ATTEND A PRE-CONSTRUCTION MEETING WITH REPRESENTATIVES OF THE CITY OF FERNDALE PUBLIC WORKS DEPARTMENT AND THE PROJECT ENGINEER A MINIMUM OF THREE
- (3) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION. THE CITY WILL SCHEDULE THE MEETING. ALL WORK AND MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE CITY OF FERNDALE PUBLIC WORKS DEPARTMENT, REPRESENTATIVES FROM THE CITY OF FERNDALE PUBLIC WORKS DEPARTMENT MUST INSPECT ALL WORK IDENTIFIED ON THE PLANS, BOTH PUBLIC AND PRIVATE. THE CONTRACTOR SHALL CALL AT LEAST 24 HOURS IN ADVANCE TO SCHEDULE INSPECTIONS AS FOLLOW: A. PLACEMENT OF TEMPORARY EROSION CONTROL MEASURES.
- B. CONSTRUCTION OF STORMWATER MANAGEMENT FACILITIES. . PLACEMENT OF WATER MAIN AND BACKFILLING OF WATER MAIN TRENCH WITHIN ROAD RIGHTS OF WAY OR IN WATERLINE EASEMENT TO BE DEDICATED TO THE D. PLACING OR BACKFILLING OF UNDERGROUND UTILITIES, STORM SEWER AND SANITARY SEWER WITHIN ROAD RIGHTS-OF-WAY, IN EASEMENTS TO BE DEDICATED TO THE CITY OF FERNDALE, OR
- OTHER PUBLICLY SHARED FACILITIES. . GRADING OF PUBLIC OR PRIVATE ROADWAY AT: . COMPLETION OF EXCAVATION TO SUBGRADE . COMPLETION OF BALLAST COURSE PLACEMENT
- 3. COMPLETION OF CRUSHED SURFACING COURSE PLACEMENT . POURING OF CURB AND GUTTER AND SIDEWALK IN PUBLIC ROADWAY.
- G. ASPHALT PAVING IN PROGRESS IN PUBLIC ROADWAY. H. OVERALL INSPECTION FOR FINISHED SHOULDERS, DITCHES, PERMANENT SEEDING AND MONUMENT PLACEMENT.
- I. END OF MAINTENANCE PERIOD 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE,
- HEALTH AND SAFETY OF THE PUBLIC, AND TO PROTECT PRIVATE & PUBLIC PROPERTY IN CONNECTION WITH THE PERFORMANCE AND WORK BY THE CONTRACTOR. ANY WORK WITHIN THE TRAVELED RIGHT-OF-WAY THAT MAY INTERRUPT NORMAL TRAFFIC FLOW SHALL REQUIRE AT LEAST ONE FLAGGER FOR EACH LANE OF TRAFFIC AFFECTED. A TRAFFIC CONTROL PLAN SHALL BE SUBMITTED TO THE CITY FOR APPROVAL PRIOR TO PERFORMING THE WORK. ALL SECTIONS OF THE WSDOT STANDARD SPECIFICATIONS 1-07.23- TRAFFIC CONTROL, SHALL APPLY.
- THE CONTRACTOR SHALL INFORM THE ENGINEER AND OBTAIN APPROVAL FROM THE CITY OF ERNDALE PUBLIC WORKS DIRECTOR OF ANY PROPOSED DEVIATION FROM THE APPROVED PLANS PRIOR TO CONSTRUCTION OF THE REVISED IMPROVEMENTS. THE CONTRACTOR SHALL KEEP RECORDS OF ALL DEVIATIONS AND SHALL FORWARD THEM TO THE ENGINEER AND TO THE CITY OF FERNDALE PUBLIC WORKS DEPARTMENT.
- AS-BUILT DATA SHALL BE PROVIDED TO THE CITY OF FERNDALE UPON COMPLETION OF CONSTRUCTION AND PROVIDED IN CITY OF FERNDALE DATUM - VERTICAL (NGVD 29) AND HORIZONTAL (NAD 83/91). CONTACT THE CITY FOR MORE INFORMATION ON SUBMITTAL REQUIREMENTS
- 15. THE CITY OF FERNDALE DOES NOT GUARANTEE THAT AS-BUILT INFORMATION ON RECORD FOR EXISTING UTILITIES ARE CORRECT. THE CITY REQUIRES THAT THE PROJECT OWNER/ENGINEER OF RECORD POTHOLE ALL EXISTING UTILITIES PRIOR TO DESIGN AND OR CONSTRUCTION TO AVOID COSTLY DELAYS OR DEVIATIONS FROM YOUR APPROVED PLANS. ALL COSTS ASSOCIATED TO THESE DELAYS AND OR DEVIATIONS FROM THE APPROVED PLANS DUE TO INACCURATE INFORMATION WILL BE THE RESPONSIBILITY OF THE PROJECT OWNER/CONTRACTOR NOT THE CITY OF FERNDALE.

UNDERGROUND UTILITIES CONSTRUCTION:

INCHES WITH A "HOE PACK, OR 8 INCHES WITH THE OPERATION OF THE PACK OF THE OPERATION OF THE

- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE ENGINEER TO ASSURE ACCURATE AND TIMELY COLLECTION OF ALL REQUIRED AS-BUILT DATA. THIS DATA MUST ACCURATELY REFLECT THE LOCATIONS OF ALL UNDERGROUND UTILITIES, BOTTOM OF PIPE ELEVATIONS, INVERT ELEVATIONS, MANHOLE LOCATIONS, WATER SERVICE TAPS, BLOW-OFF LOCATIONS AND INVERTS OF SERVICE CONNECTIONS (BOTH AT PIPE AND AT PROPERTY LINE), VERTICAL AND HORIZONTAL BENDS, SERVICE BOXES AND METERS, VALVES AND HYDRANTS. CALL THE PROJECT ENGINEER AT LEAST 48-HOURS BEFORE BURYING UNDERGROUND PIPE TO ASSURE FACILITATE REQUIRED AS-BUILT SURVEY.
- THE CONSTRUCTION OF UNDERGROUND UTILITY LINES SHALL BE SUBJECT TO THE FOLLOWING CRIT NO MORE THAN 500 FEET OF TRENCH SHALL BE OPENED AT ONE TIME. WHERE CONSISTENT WITH SAFETY AND SPACE CONSIDERATIONS, EXCAVATED MATERIAL SHAMBE UPHILL SIDE OF DITCHES.
- i. TRENCH DEWATERING DEVICES SHALL DISCHARGE INTO SEDIMENT TRAPS OR SEDIMENT . WHERE PRACTICAL, INSTALL GRAVITY PIPE UTILITIES PRIOR TO INSTALLATION OF THE WAY UTILITY CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENT TERNDALE
- DEVELOPMENT STANDARDS. ALL UTILITY TRENCHES IN THE RIGHT OF WAY SHALL BE BACKF
- WELL GRADED CRUSHED ROCK. TESTING OF NEW WATER LINES, STORM SEWER SYSTEMS SHAPE ADJACENT UTILITIES HAVE BEEN INSTALLED. ALL UTILITY TRENCHES SHALL BE BACKFILLED AND COMPANIED TO 958 DENSITY IN LIFTMAN
- TED ACTION THE THESE APPROVE TANDARD TRENCH THESE APPROVED OPEN CUTTING OF EXISTING ROADWAYS IS PLANS. ANY OPEN CUT SHALL BE RESTORED IN ACCOUND DETAIL(S). ALL UTILITY TRENCHES UNDE TATH AN ENTIRE PROPERTY TRENCHES UNDE TATH AN ENTIRE PROPERTY TO CONTROLLED DENSITY FILL.
- PUT INTO USE UNTIL IT HAS BEEN NO PART OF THE DRAINAGE SYSTEM MAY COVERED. INSPECTED, TESTED, AND ACCEPTED BY THE CITY INSPECTOR.

 A MINIMUM OF 5-FOOT SEPARATION IS RECOVED BETWEEN THE WET UTILITIES (WATER, SEWER, STORM) SHOWN ON THE PLANS AND THE DRY UTILITIES (GALLEOWER, AND POWER) THAT MAY OR MAY NOT BE SHOWN

EARTHWORK:

ON THE PLANS.

- THE CONTRACTOR SHALL REMOVE AND REPLACE ALL EXISTING UN-COMPACTED OR POORLY COMPACTED
- FILL SOILS WITHIN THE ROAD PRISM AT THE DIRECTION OF THE ENGINEER. THE CONTRACTOR SHALL EXCAVATE AND GRADE TO THE ALIGNMENT, GRADE AND CROSS-SECTIONS SHOWN IN THE PLANS OR ESTABLISHED BY THE ENGINEER.
- UNSUITABLE MATERIAL FOUND AND NOT FIT FOR USE AS A SUB-GRADE SHALL BE EXCAVATED TO THE BOUNDARIES SET BY THE ENGINEER AND REPLACED WITH A SUITABLE BACKFILL MATERIAL.
- THE ENGINEER IS REQUIRED TO CERTIFY SUBGRADE, IN WRITING, PRIOR TO PAVING.

BASE COURSES AND SURFACING:

- A. GRAVEL BASES AND BALLAST MATERIAL GRADATION SHALL MEET WSDOT STANDARD SPECIFICATIONS. BALLAST, GRAVEL BASE AND CRUSHED SURFACING SHALL BE COMPACTED TO AT LEAST 95% OF MAXIMUM DRY DENSITY.
- C. THE GRADED AND COMPACTED SURFACE OF THE CRUSHED SURFACING TOP COURSE SHALL BE WITHIN 1/2
- INCH OF FINISHED GRADE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MATERIAL AND COMPACTION TESTING. PRIOR TO IMPORTING OF MATERIAL FOR BASE AND CRUSHED SURFACING TOP COURSE THE CONTRACTOR SHALL PROVIDE EVIDENCE OF SATISFACTORY PASSING GRADING AND DEGRADATION TEST RESULTS TO THE ENGINEER.

STORM DRAINGAGE:

- 1. THE FOLLOWING STANDARD DETAILS SHALL BE USED FOR CONSTRUCTION OF STORM DRAIN IMPROVEMENTS: CATCH BASINS TYPE 1, 1L OR 2 WSDOT STD. DETAILS B-5.20, B-5.40 OR B-10.20 "RESIDENTIAL SERVICE LINE" COFSD ST-7 (CITY OF FERNDALE STD DETAIL) COFSD ST-16 (CITY OF FERNDALE STD DETAIL) CATCH BASINS
- 2. STORM SEWER PIPE HAVING DIAMETERS GREATER THAN 8" SHALL BE CORRUGATED POLYETHYLENE PIPE (CPEP); ALL OTHER STORM SEWER PIPE SHALL BE PVC.
- ALL CATCH BASIN GRATES SHALL INCLUDE THE STAMPING "OUTFALL TO STREAM, DUMP NO POLLUTANTS" 4. CONTROL DENSITY FILL SHALL BE USED IN AREAS WHERE LESS THAN 18" OF COVER IS MAINTAINED OVER THE PROPOSED STORM PIPES (PIPE IS IN ROAD BASE SECTION), AS SHOWN IN THE PLANS. DUCTILE IRON PIPE MAY BE
- USED FOR STORM PIPES WITH LESS THAN 18" OF COVER IF APPROVED BY THE CITY 5. COVER OVER PIPES SHALL BE MAINTAINED DURING CONSTRUCTION. DEPTH OF COVER REQUIRED SHALL CONFORM TO THE MANUFACTURER'S RECOMMENDATIONS AND WILL VARY WITH THE VEHICLE LOADS TRAVELING OVER THE PIPE. NO
- ADDITIONAL COMPENSATION SHALL BE PROVIDED FOR DAMAGE TO PIPE DURING CONSTRUCTION ACTIVITIES. 6. AT THE END OF ALL SITE CONSTRUCTION, THE CONTRACTOR SHALL CLEAN ALL DEBRIS FROM CATCH BASINS AND STORMWATER CONVEYANCES. DEBRIS SHALL NOT BE ALLOWED TO ENTER STREAMS OR OFF-SITE STORMWATER
- POSITIVE LOT DRAINS PER STANDARD DETAIL ST-16.
- 8. <u>CONDITIONAL USE LEVEL DESIGNATION (CULD) TREATMENT TECHNOLOGY</u>: THE FOLLOWING MUST BE SUBMITTED AND APPROVED BY THE CITY OF FERNDALE PRIOR TO INSTALLATION OF THE CULD TREATMENT TECHNOLOGY: -CONFIRMATION LETTER FROM THE TREATMENT TECHNOLOGY MANUFACTURER IDENTIFYING THAT THE PROJECT QUALIFIES AS ONE OF THE ALLOWED NUMBER OF INSTALLS. -CONTINGENCY MEMO FROM APPLICANT STATING:
 - UNTIL GENERAL USE LEVEL DESIGNATION (GULD) STATUS IS OBTAINED, OWNER SHALL SUBMIT ANNUAL SAMPLING RESULTS TO THE CITY (DUE BY DECEMBER 31 BEGINNING YEAR OF INSTALLATION) THAT PROVE THAT THE TECHNOLOGY IS MEETING ECOLOGY WATER QUALITY STANDARDS.
 - IF THE QUALITY STANDARDS ARE NOT BEING MET, OR IF THE TREATMENT TECHNOLOGY REPLACEMENT PARTS, FILTERS, ETC. ARE NO LONGER AVAILABLE, THE OWNER SHALL INSTALL AN EQUIVALENT TREATMENT TECHNOLOGY AT THEIR EXPENSE.
 - 3. IF AT ANY TIME, THE TREATMENT TECHNOLOGY IS NOT MEETING WATER QUALITY STANDARDS, THE CITY HAD THE RIGHT TO IMPLEMENT A NOTICE OF VIOLATION, AS THE OPERATION AND MAINTENANCE OF THE TREATMENT TECHNOLOGY IS THE RESPONSIBILITY OF THE OWNER.
 - 4. THIS MEMO SHALL ALSO BE INCLUDED IN THE STORMWATER MAINTENANCE MANUAL TO BE SUBMITTED AT THE COMPLETION OF THE PROJECT.

WATER:

THRUST BLOCKING

WATER SERVICE

THE FOLLOWING STANDARD DETAILS SHALL BE USED IN CONSTRUCTING WATER SUPPLY SYSTEM IMPROVEMENTS: PIPE BEDDING COFSD W-11 TRENCH BACKFILL COFSD W-11 FIRE HYDRANT ASSEMBLY COFSD W-1

COFSD W-2, W-3 & W-4

- ALL WORK AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF FERNDALE DEVELOPMENT STANDARDS, SECTIONS 702 AND 705 AND THE MOST RECENT VERSION OF WSDOT STANDARD SPECIFICATIONS. ALL WATER MAIN PIPE SHALL BE DUCTILE IRON, MINIMUM THICKNESS CLASS 50, PER AWWA STANDARDS H3-71
- AND C151-71, WITH CEMENT LINING PER AWWA STANDARD C104-71 MATERIAL FOR FITTINGS SUCH AS CROSSES, TEES, BENDS, REDUCERS AND SLEEVES SHALL BE DUCTILE IRON. JOINTS SHALL BE M.J., FLANGED OR PUSH-ON JOINTS AND SHALL CONFORM TO AWWA SPECIFICATIONS

COFSD W-5

- C-110-71 AND C-104-71. CONCRETE BLOCKING SHALL BE AS SPECIFIED IN CITY OF FERNDALE STANDARD DETAILS W-2, W-3 AND W-4, OR AS DIRECTED BY THE PROJECT ENGINEER. BLOCKS SHALL BE INSTALLED AS SPECIFIED IN SECTION 7-09.3(21) OF THE WASHINGTON STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR
- ROAD, BRIDGE OR MUNICIPAL CONSTRUCTION. NO PRE-CAST BLOCKS ARE ALLOWED. 6. CONNECTIONS TO EXISTING WATER MAINS - THE CONTRACTOR MUST NOTIFY THE CITY OF FERNDALE PUBLIC WORKS DIRECTOR OF A PROPOSED CONNECTION AT LEAST FOUR WORKING DAYS IN ADVANCE.
- 7. ALL HYDROSTATIC TESTING AND DISINFECTION OF WATER MAINS SHALL CONFORM TO SECTION 7-09.3(23) SECTION 7-09.3(24)OF THE WASHINGTON STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD, BRIDGE OR MUNICIPAL CONSTRUCTION - CURRENT EDITION. HYDROSTATIC TEST PRESSIMENT FOR WATER MAIN ACCEPTANCE SHALL BE 250 PSI AND SHALL BE DONE ACCORDING TO CITY OF FERNIL REQUIREMENTS. THE CITY OF FERNDALE LABORATORY SHALL CONDUCT ALL DISINFECTION TESTS BACTERIOLOGICAL TESTS. THE PIPE WILL NOT PASS TESTING UNLESS A ZERO BACTERIAL COUNT IN MANASUR ON TWO CONSECUTIVE TESTS, CONDUCTED 24 HOURS APART.
- BACKFILL SHALL BE GRAVEL BASE, CLASS B, IN ALL STREET RIGHTS-OF-WAYNING OPTIMUM DENSITY. IN UNIMPROVED AREAS, MINIMUM COMPACTION SHALL
- ALL PIPES SHALL HAVE A MINIMUM COVER OF 36". ALL VALVES SHALL BE EITHER GATE OR BUTTERFLY TYPE VALVES AND CAST IRON VALVE BOXES. GATE VALVES SHALL BE USED FOR LINES THE DIAMETER. SHORT—BODY VALVES SUITABLE FOR A NON THE SHUTH OF PROBLEM SUITABLE FOR DIRECT BURIAL ARE SPECIFIED. GATE VALVES SHALL BE SEEN BY THE SUITABLE FOR DIRECT BURIAL ARE SPECIFIED. FOR STANCE WITH THE TYPE

 MIND SHALL PEN

 OFFRATING NUMBER

 OFFRAT FULL-BRONZE MOUNTED VALVES CONFORMING TO AWAY C509 AND EUT AND CLASS OF PIPE USED. ALL VALVES SHALL HAVEN ON-RISING INCH SQUAR COUNTERCLOCKWISE AND SHALL BE EQUIPPED ITH
- FLANGE OR M.J. JOINTS. VALVE MARKEDS SEALL BE LOCATED OUTSIDE OF AVEMENT SECTIONS.

 11. WATER SERVICE TAP INSTALLATIONS WEST CONFORM TO SOFDS— SD VIEW (WSSOT B—19) AND THE FOLLOWING STANDARDS: NOW THE LLY LANGED 2-1/2" PORTS AND ONE 5-1/4" MAIN VALVE A. FIRE HYDRANTS SHALL HAND
- PORT WITH CAP AND AIRCRAFT CABLE SHALL OPENING. A 4-1/27 NST PUMPHIN BE SUPPLIED. 929T HYDRANTS ORZ PORT FACING THE REQUIRED ACCESS AND THE BASE FLANGE OF AN 1 FOOT IN ELEVATION FROM THE GRADE LEVEL OF THE REQUIRED THE HYDRANT ACCESS. THE MINIMUM OF 14" ABOVE THE GROUND. C. IF THE PUBLICA WINE MINES THAT FIRE HYDRANTS ARE VULNERABLE TO VEHICULAR LL BE PROVIDED. NO OBSTRUCTIONS SHALL EXIST WITHIN A DAMAGE, APPROP 3-FOOT WORKING EACH REMOTRED ACCESS. CRASH POSTS SHALL BE 4" CEMENT-FILLED PIPE A MIN. OF 3' IN HEICH A MIN. OF 2' OF PIPE BELOW GRADE. HYDRANT SHUTOFF VALVES SHALL BE
- OCATED BETWEEN THANK 20' FROM THE HYDRANT.

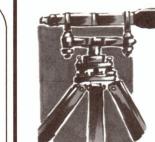
 UNDERGROUND SUPPLES TO FIRE HYDRANTS MUST BE INSPECTED. SUCH INSPECTION SHALL INCLUDE AL INSPECTION PIPING AND HYDROSTATIC PRESSURE TESTING TO A MIN. OF 250 PSI. A FLOW TEST BE REQUIRED WHEN INSTALLATION IS COMPLETE. FIRE HYDRANTS MUST BE MAINTAINED IN AN OPERABLE CONDITION AT ALL TIMES AND MUST BE REPAIRED REPLACED WHEN DEFECTIVE. HYDRANTS SHALL BE FULLY OPERABLE BEFORE CONSTRUCTION COMMENCES E GRADE LEVEL.

SANITARY SEWER SYSTEMS:

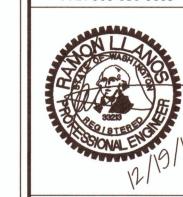
- ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF FERNDALE STANDARD SPECIFICATIONS AND DETAILS, A.P.W.A. STANDARD SPECIFICATIONS, AND WSDOT STANDARD SPECIFICATIONS, MOST RECENT EDITIONS. SANITARY SEWER SYSTEM INSTALLATION, BOTH PUBLIC AND PRIVATE, IS SUBJECT TO CITY REVIEW
- 2. ALL WORK MUST BE INSPECTED TO THE SATISFACTION OF THE CITY OF FERNDALE. 24 HOUR NOTICE MUST BE GIVEN PRIOR TO STARTING WORK. TESTING OF THE SEWER SYSTEM AND ALL CONNECTIONS TO EXISTING MAINS SHALL BE PERFORMED IN THE PRESENCE AND UNDER THE SUPERVISION OF A CITY OF FERNDALE REPRESENTATIVE.
- 3. SANITARY SEWER MAINS SHALL BE A MINIMUM 8 INCH DIAMETER PVC PIPE (SDR-35) CONFORMING TO THE PROVISIONS OF ASTM D 3034 AND INSTALLED TO CITY SPECIFICATIONS.
- 4. SANITARY SEWER PIPE BEDDING SHALL BE PEA GRAVEL PER COFSD SS-1. ALL TRENCHES SHALL BI BACKFILLED WITH CLASS B BANK RUN GRAVEL WITHIN CITY RIGHT OF WAY AND TRAVELED WAYS OUTSIDE OF RIGHT OF WAY (ACCESS EASEMENTS) AND SHALL BE COMPACTED TO A MINIMUM DENSITY OF 95% MODIFIED PROCTOR. USE OF SUITABLE NATIVE BACKFILL OUTSIDE OF TRAVELED WAY SHALL BE SUBJECT TO APPROVAL BY THE CITY.
- 5. ALL MANHOLES SHALL BE INSTALLED PER CITY OF FERNDALE STANDARD DETAILS AND SHALL BE PRE-CHANNELED. MANHOLE CONES ARE TO BE OFFSET SUCH THAT LADDER RUNGS ARE PARALLEL TO THE
- 6. ALL SIDE SEWERS SHALL BE INSTALLED PER CITY OF FERNDALE STANDARD DETAILS SS-6, SS-8 OR SS-13, EXCEPT THAT SINGLE SIDE SEWERS SHALL HAVE A MINIMUM DIAMETER OF 4". CONTRACTOR SHALL EXTEND SEWER STUBS 5 FT BEYOND UTILITY CORRIDOR OR 15 FEET BEYOND
- RIGHT-OF-WAY LINE 8. EACH SIDE SEWER STUB SHALL BE CAPPED WITH A WATERTIGHT PLUG. EACH STUB SHALL BE MARKED FOR LOCATION WITH A 2" DIA. PVC PIPE (MIN. SCHEDULE 40) WITH THE TOP 18" PAINTED GREEN AND STENCILED WITH THE WORD "SEWER" AND THE PIPE INVERT INDICATED. THE LOCATION MARKER SHALL BE CONNECTED
- TO THE SERVICE STUB BY A #12 COPPER WIRE. 9. ALL SANITARY SEWER MAINS WILL BE PRESSURE TESTED AND SCANNED BY CAMERA BY THE CITY PRIOR TO CITY APPROVAL THEREFORE. ALL STRUCTURES AND CONVEYANCE WILL BE JETTED AND CLEANED PRIOR TO CALLING FOR INSPECTION. EXCESSIVE DIRST AND MATERIALS WITHIN THE CONVEYANCE MAY REQUIRE ADDITIONAL INSPECTION WHICH WILL BE CHARGED TO THE PROJECT ACCORDINGLY.

ROAD:

- 1. THE FOLLOWING STANDARD DETAILS SHALL BE USED FOR CONSTRUCTION OF THE STANDARD STREET SECTION: TYPICAL STREET SECTION PER THESE PLANS PCC CURB AND GUTTER COFSD R-9
 - COFSD R-12 (SEE CONSTRUCTION DOCUMENTS TYPICAL SECTION) PCC SIDEWALKS PCC CURB RAMPS WSDOT STD. DETAIL F-40.
- 2. ROADWAY EXCAVATION WITHIN THE ROADWAY PRISM SHALL BE CUT TO A UNIFORM GRADE. THE COMPLETED SUBGRADE SURFACE SHALL NOT VARY MORE THAN 0.10-FOOT FROM THE LOWER EDGE OF A 15-FOOT STRAIGHTEDGE PLACED ON THE SUBGRADE PARALLEL TO THE CENTERLINE UNLESS APPROVED BY THE
- 3. THE OWNER SHALL PROVIDE TO THE ENGINEER A REPORT FROM A QUALIFIED GEOTECHNICAL FIRM CERTIFYING
- THE COMPACTION OF THE GRAVEL BASE UNDER ALL PAVING AREAS. 4. ASPHALT CONCRETE PAVEMENT SHALL BE CLASS "B" MATERIALS AND CONSTRUCTION METHODS SHALL BE IN
- ACCORDANCE WITH THE STANDARD SPECIFICATIONS, SECTION 5-04, EXCEPT AS MODIFIED HEREIN. CONNECTION TO EXISTING PAVEMENT SHALL BE TO A STRAIGHT NEATLY-TRIMMED LINE. 5. CRUSHED ROCK SURFACING FOR PAVEMENT SHALL BE IN ACCORDANCE WITH WSDOT STANDARD SPECIFICATION,
- SECTION 9-03.9(3); BALLAST PER SECTION 9-03.9(1). CEMENT CONCRETE SHALL BE CLASS 3000 (WITH AIR ENTRAINMENT) IN ACCORDANCE WITH WSDOT STANDARD
- SPECIFICATION, SECTION 6-02.3(2)B CEMENT CONCRETE SIDEWALK SHALL BE CONSTRUCTED AS SHOWN ON THE PLANS OR AS DESIGNATED BY THE ENGINEER IN ACCORDANCE WITH CITY STANDARDS, DRAWING NO. R-12.
- 8. CEMENT CONCRETE DRIVEWAYS SHALL BE 6 INCHES THICK AND CONSTRUCTED WHERE SHOWN ON THE PLANS OR DESIGNATED BY THE ENGINEER IN ACCORDANCE WITH THE CITY STANDARDS, DRAWING NO. R-15. INCH LATER OF 3/4 INCH DRAIN ROCK SHALL BE USED FOR DRIVEWAY BEDDING.
- CEMENT CONCRETE CURB AND GUTTER SHALL BE CONSTRUCTED WHERE SHOWN ON THE PLANS OR A DESIGNED BY THE ENGINEER, IN ACCORDANCE WITH WSDOT STANDARDS SPECIFICATIONS, SECTION 8-04 CITY OF FERNDALE STANDARDS, DRAWING R-8 AND R-9. HANDICAP RAMPS SHALL ME CONSTRUCTED I WSDOT STANDARD PLANS F-40. WHERE NEW CEMENT CONCRETE CURB AND GUTTER CONNECT TO EXISTING CURB AND GUTTER, ASSURE THAT NO ABRUPT OFFSETS IN LINE OR GRAND SHALL BE CONSTRUCTED WHICH WILL BE UNSIGHTLY OR IMPEDE FLOW IN THE GUTTER LINE.
- 10. PAVEMENT: A. SOIL RESIDUAL HERBICIDE SHALL BE PLACED WITHIN 24 HOURS PAVING
 - A TACK COAT OF ASPHALT SHALL BE APPLIED BETWEEN ALL ALL PAVEMENT REPAIR SHALL BE SAW-CUT BEFORE THE COLOR ALL EDGES OF EXISTING PAVEMENT. WHERE NEXT HAND THE
 - THE APPLICANT SHALL PROVIDE A SMOOTH TAXABLITION THOM CONTRACTOR SHALL COLD PLANE PER DIMENSIONS SPECIMEN MINIMUM 2-FOOT WIDE PETROTAC PAVING FATERIC, OR EQUILIBLE
- 11. THRU-CURB BASINS AND THRU-CURB INLETS CONFORMING TO THE CODO STANDARD SPECIFICATIONS, SECTION 7-05 SHALL BE CONSTRUCTED AT THE LOW COINT OF THE CURB TOWN LINES AND TO THE LOCATIONS, DIMENSIONS, AND DETAILS AS SHOWN ON THE PLANS OF DESIGNATED BY THE ENGINEER AND CITY STANDARDS, DRAWING NO. R-8.
- 12. TRENCH EXCAVATIONS, REDDING AND PIPE FOR STORMWANTER YING SHALL BE IN ACCORDANCE WITH THE WSDOT STANDARD SPECIAL ATIONS, ISLACTION 7-08. WHOUIREMENTS SHALL BE IN ACCORDANCE WITH WSDOT STANDARD 13. STORM SEWER PIPE (SPECIFICATION MANUAL SHALL BE HANCOR SURE-LOK F477 PIPE OR CITY APPROVED WARMICANNINE SHALL BE 6" PVC PER WSDOT STANDARD SPECIFICATION, SECTION
- ED UNDER ET THE WSDOT STANDARD SPECIFICATION 7-01.3(2)



LDES, INC. 5160 INDUSTRIAL PL. #10 FERNDALE, WA 98248 PHONE 360-383-0620 FAX 360-383-0639



JOB NO .: DWG. NAME: 1585-CIVIL-SITE 2 - AB.dwg DESIGNED BY:

TOMMY TRUONG 1863 MAIN ST FERNDALE, WA 98248

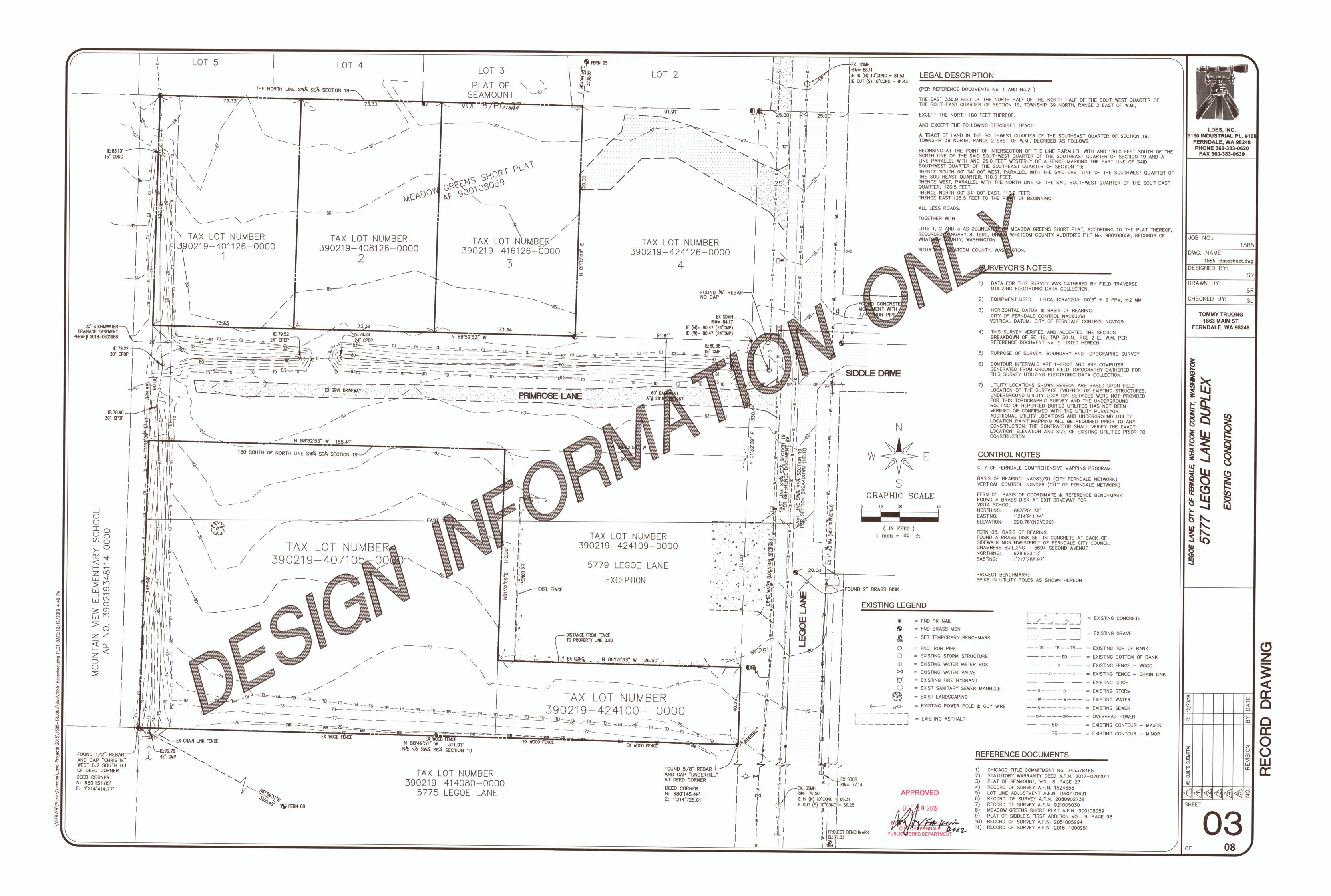
CHECKED BY:

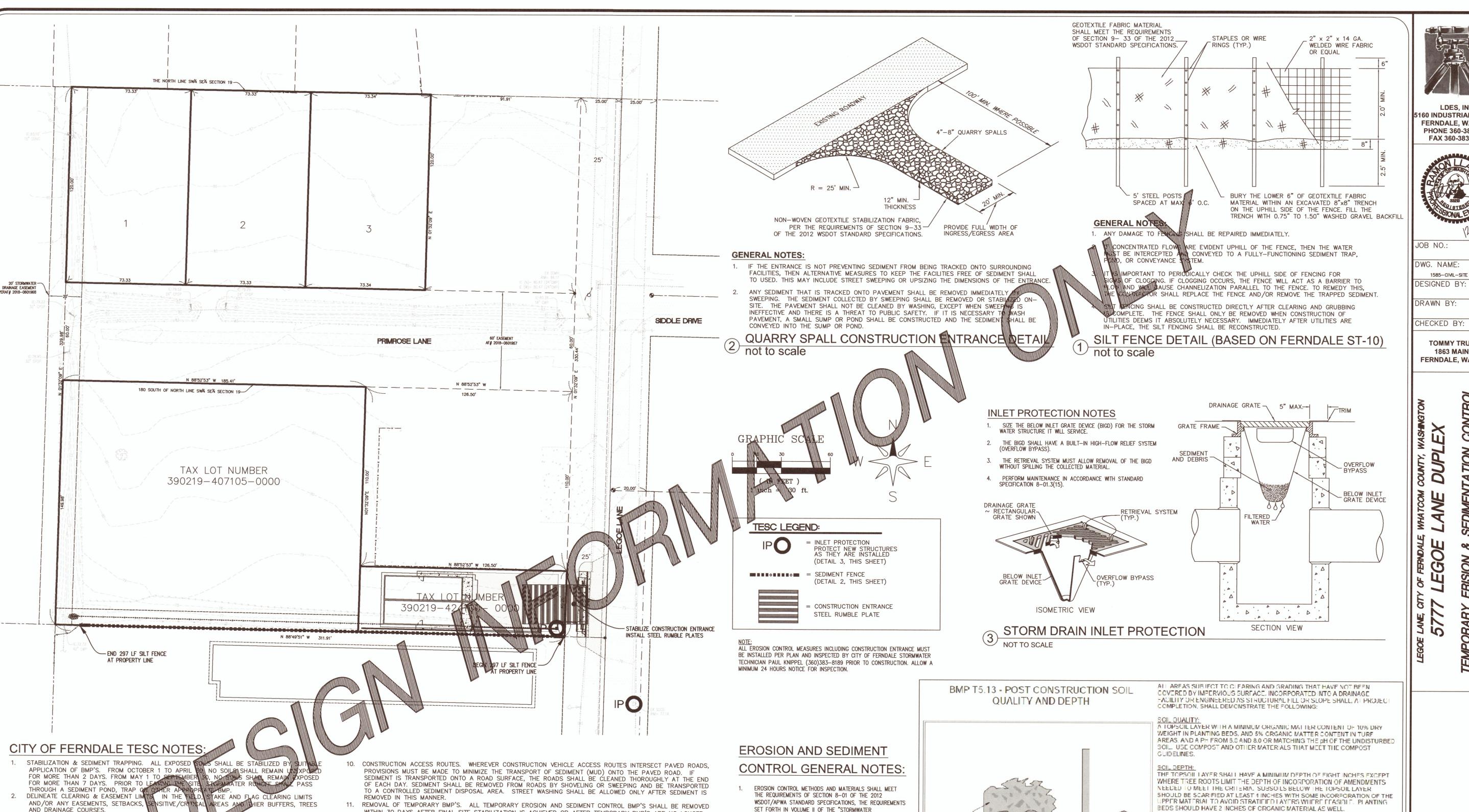
DRAWN BY

LANE,

APPROVED

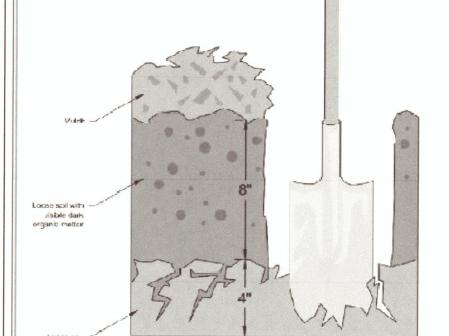
PUBLIC WORKS DEPARTMENT PCP2





- PROTECTION OF ADJACENT PROPERTIES. THE PROJECT SITE SHALL BE
- PROTECTED FROM SEDIMENT DEPOSITION TIMING & STABILIZATION OF SEDIMENT TRANSPING MEANURES. SEDIMENT PONDS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS, ALL OTHER MP'S INTENDED TO TRAP SEDIMENT ON-SITE SHALL BE CONSTRUCTED AS A PROPERTY IN GRADING. THESE BMP'S SHALL BE FUNCTIONAL BEFORE LAND DISTURBING ACTIONS TAKE PLACE. EARTH STRUCTURES SUCH AS DAMS, DIKES AND DIVERSIONS SHALL BE SEEDED AND MULCHED ACCORDING TO THE TIMING
- CUT & FILL SLOPES. CUT AND FILL SLOPES SHALL BE DESIGNED AND CONSTRUCTED IN A
- MANNER THAT WILL MINIMIZE EROSION. IN ADDITION, SLOPES SHALL BE STABILIZED IN ACCORDANCE WITH NO. 1 ABOVE. CONTROLLING OFF-SITE EROSION. PROPERTIES AND WATERWAYS DOWNSTREAM FROM THE DEVELOPMENT SITES SHALL BE PROTECTED FROM EROSION DUE TO INCREASES IN THE VOLUME,
- VELOCITY. AND PEAK FLOW RATE OF STORMWATER RUNOFF FROM THE PROJECT SITE. STABILIZATION OF TEMPORARY CONVEYANCE CHANNELS & OUTLETS. ALL TEMPORARY ON-SITE CONVEYANCE CHANNELS SHALL BE DESIGNED, CONSTRUCTED AND STABILIZED TO PREVENT EROSION FROM THE EXPECTED VELOCITY OF FLOW FROM A 2-YEAR, 24-HOUR FREQUENCY STORM FOR THE DEVELOPED CONDITION. STABILIZATION ADEQUATE TO PREVENT EROSION OF OUTLETS, ADJACENT STREAMBANKS, SLOPES AND DOWNSTREAM REACHES SHALL BE PROVIDED
- AT THE OUTLETS OF ALL CONVEYANCE SYSTEMS. STORM DRAIN INLET PROTECTION. ALL STORM DRAIN INLETS MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT STORMWATER RUNOFF SHALL NOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE
- UNDERGROUND UTILITY CONSTRUCTION. THE CONSTRUCTION OF UNDERGROUND UTILITY LINES SHALL BE SUBJECT TO THE FOLLOWING CRITERIA; WHERE FEASIBLE, NO MORE THAN 500 FEET OF TRENCH SHALL BE OPENED AT ONE TIME; WHERE CONSISTENT WITH SAFETY AND SPACE CONSIDERATIONS, EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES: AND TRENCH DEWATERING DEVICES SHALL DISCHARGE INTO A SEDIMENT TRAP OR SEDIMENT

- WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER TEMPORARY BMP'S ARE NO LONGER NEEDED. TRAPPED SEDIMENT SHALL BE REMOVED OR STABILIZED ON SITE. DISTURBED SOIL AREAS RESULTING FROM REMOVAL SHALL BE PERMANENTLY STABILIZED.
- 12. DEWATERING CONSTRUCTION SITES. DEWATERING DEVICES SHALL DISCHARGE INTO A SEDIMENT TRAP OR SEDIMENT 13. CONTROL OF POLLUTANTS OTHER THAN SEDIMENT ON CONSTRUCTION SITES. ALL POLLUTANTS OTHER THAN SEDIMENT THAT OCCUR ON-SITE DURING CONSTRUCTION SHALL BE HANDLED AND DISPOSED OF IN A MANNER
- THAT DOES NOT CAUSE CONTAMINATION OF STORMWATER. 14. MAINTENANCE. ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL BMP'S SHALL BE MAINTAINED AND REPAIRED AS NEEDED TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION.
- FINANCIAL LIABILITY. PERFORMANCE BONDING, OR OTHER APPROPRIATE FINANCIAL INSTRUMENTS, SHALL BE REQUIRED FOR ALL PROJECTS TO ENSURE COMPLIANCE WITH THE APPROVED TESC PLAN. 16. ALL SITE GRADING SHALL BE COMPLETED IN ACCORDANCE WITH APPENDIX J OF THE 2012, INTERNATIONAL
- 17. SITE GRADING SHALL BE MONITORED BY GEOTEST SERVICES TO ENSURE THE FILLS WERE PERFORMED AND RECORDED PER APPENDIX J NOTED IN THE ABOVE COMMENT.
- 18. WORK PERFORMED OUTSIDE CITY RIGHT-OF-WAY ON PRIVATE PROPERTY REQUIRES PROJECT CERTIFICATION BY THE ENGINEER OF RECORD. THE ENGINEER OR RECORD SHALL DETERMINE AN INSPECTION SCHEDULE TO BE CARRIED OUT BY HIMSELF OR HERSELF AND/OR QUALIFIED DESIGNEE INCLUDING GEOTECHNICAL INSPECTIONS AND DOCUMENTATION SUPPORT. 19. FOR PROJECT ACCEPTANCE THE ENGINEER OF RECORD IS REQUIRED TO SUBMIT A FINAL AS-BUILT GRADING PLAN
- FOR CITY REVIEW AND APPROVAL THAT INCLUDES THE FOLLOWING STATEMENT: AS THE ENGINEER OF RECORD, I HEREBY CERTIFY THAT THE IMPROVEMENTS COMPLETED AT 5445 PORTAL WAY FOR FLAX 4-LIFE AND 6407 PORTAL WAY FOR ALPINE INVESTMENTS HAVE BEEN CONSTRUCTED IN CONFORMANCE WITH THE PLANS APPROVED BY THE PUBLIC WORKS DIRECTOR AND IN ACCORDANCE WITH THE SPECIFICATIONS ADOPTED BY THE CITY OF FERNDALE.
- 20. A STORMWATER MAINTENANCE PLAN MUST BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL AT PROJECT COMPLETION INCLUDING AN 11X17 AS-BUILT DRAWING OF THE STORMWATER FACILITIES IN CONFORMANCE WITH THE ATTACHED STORMWATER MAINTENANCE MANUAL CHECKLIST FOR THE CONVEYANCE SYSTEM LOCATED OUTSIDE CITY R/W THAT MUST BE PRIVATELY MAINTAINED.
- SET FORTH IN VOLUME II OF THE "STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON BY THE WASHINGTON STATE DEPARTMENT OF ECOLOGY, CURRENT EDITION, THE CITY OF FERNDALE DEVELOPMENT STANDARDS, THE PROJECT SWPPP AND THIS PLAN, WITH THE MOST EFFECTIVE REQUIREMENTS TAKING PRECEDENCE. THE CONTRACTOR SHALL FOLLOW RECOMMENDATIONS MADE BY SUPPLIERS AND MANUFACTURERS FOR ALL MATERIALS AND EQUIPMENT USED.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO PREVENT SILTY STORMWATER FROM EXITING THE SITE. IF SILT LADEN STORMWATER EXITS THE SITE, THE ENGINEER SHALL STOP WORK ON THE JOB. IT IS THE CONTRACTOR'S RESPONSIBILITY TO WORK WITH THE PROJECT ENGINEER OR LOCAL JURISDICTION TO COORDINATE FURTHER EROSION CONTROL MEASURES, NOT SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN, THAT MAY BE NECESSARY TO CONTROL SITE RUNOFF.
- THE EXISTING AND PROPOSED STORM SYSTEMS SHALL BE CLEANED AND MAINTAINED THROUGHOUT CONSTRUCTION AND UNTIL ALL ON-SITE SOILS HAVE BEEN STABILIZED.
- 4. AT THE END OF ALL SITE CONSTRUCTION, THE CONTRACTOR SHALL FLUSH OUT ALL DEBRIS FROM THE STORM SYSTEM INSTALLED ON-SITE, MATERIAL FLUSHED FROM THE STORM SYSTEM SHALL BE DISPOSED OF BY THE CONTRACTOR AT AN APPROVED DISPOSAL SITE.



APPROVED Reprinted from *Guidelines and Resources For Implementing Soil Quality and*Depth BMP 15.13 in WIDGE Stormwaler Management Manual for Wastern
Washington, 2010, Washington Organic Recycling Council

Planting Bed Choss-Section Epartment Please see http://www.ecy.wa.gov/copyright.html for copyright notice including permissions,

MUST MEET THE DEFINITION OF "COMPOSTED MATERIAL" IN WAC 173-350-100

AND COMPLIES WITH TESTING PARAMETERS AND OTHER STANDARDS IN WAC 173 350 220. MUST BE PRODUCED AT A PERMITTED COMPOSTING FACILITY. ORGANIC MATTER CONTENT SHALL BE 40% TO 65%. CARBON TO NITROGEN RATIO OF MUST BE LESS THAN THAN 25:1. THE C:N RATIO MAY BE UP TO 35:1 FOR PLANTINGS COMPOSED ENTIRELY OF PUGET SOUND LOWLAND NATIVE SPECIES AND UP TO 40:1 FOR COARSE COMPOST TO BE USED AS A SURFACE MULCH (NOT IN A SOIL MIX).

IMPLEMENTATION OPTIONS

1) LEAVE AS MUCH NATIVE VEGETATION AND SCIL AS POSSIBLE AND PROTECT FROM COMPACTION DURING CONSTRUCTION.

2) AMEND EXISTING SITE TOPSOIL OR SUBSOIL EITHER AT DEFAULT RATES OR AT A CUSTOM CALCULATED RATES BASED ON TESTS OF THE SOIL AND

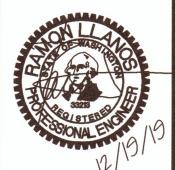
3) IN AREAS REQUIRING CLEARING AND GRADING REMOVE AND STOCKPILE THE DUFF LAYER AND TOPSOIL ON SITE IN A DESIGNATED, CONTROLLED AREA, NO ADJECT TO PUBLIC RESOURCES AND CRITICAL AREAS. REPLACE IT PRIOR TO PLANTING AND AMEND IF NEEDED TO MEET THE ORGANIC MATTER OR DEPTH

4) IMPORT TOPSOIL MIX OF SUFFICIENT ORGANIC CONTENT AND DEPTH TO MEET

MORE THAN ONE METHOD MAY BE USED ON DIFFERENT PORTIONS OF THE SAME



5160 INDUSTRIAL PL. #108 FERNDALE, WA 98248 PHONE 360-383-0620 FAX 360-383-0639

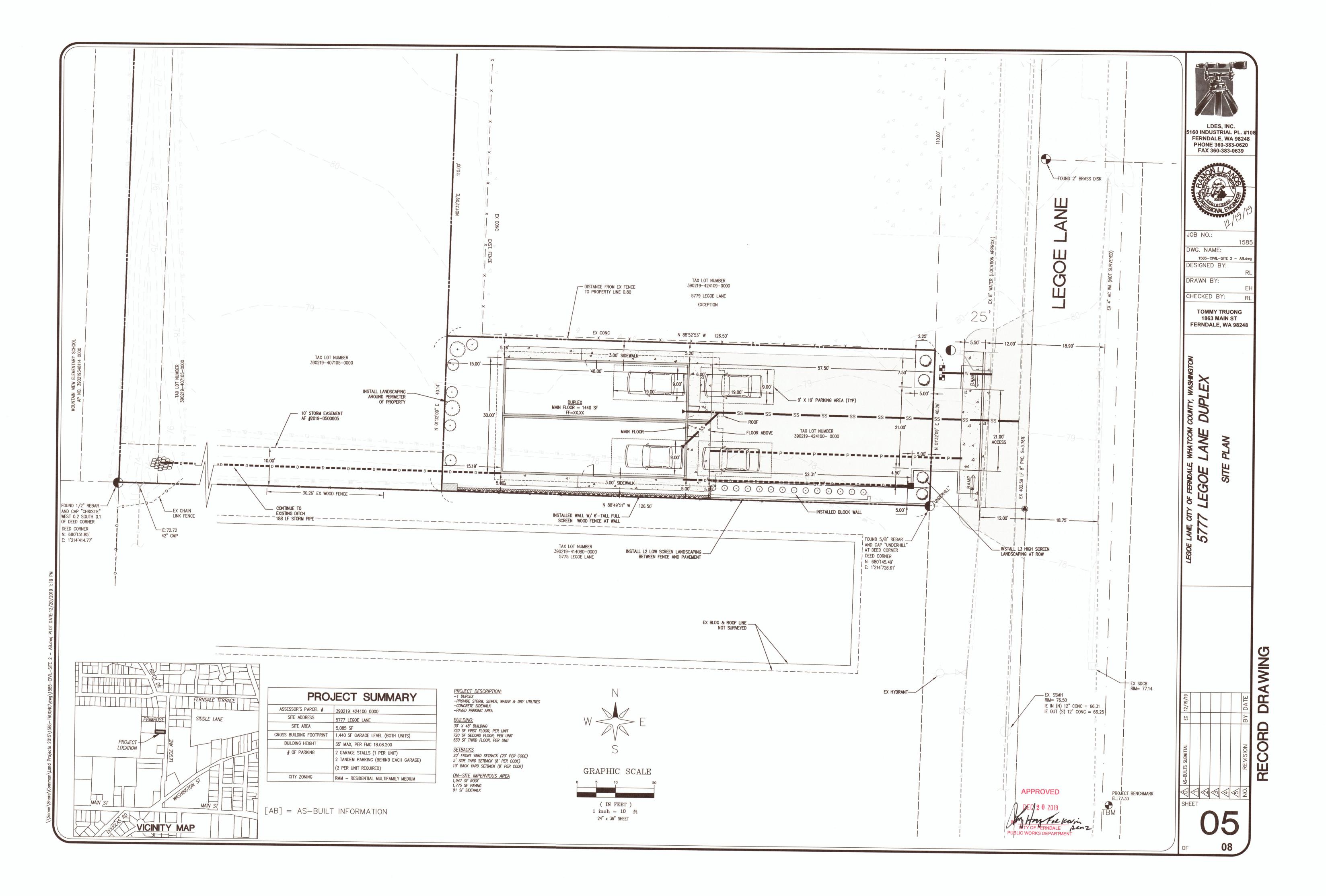


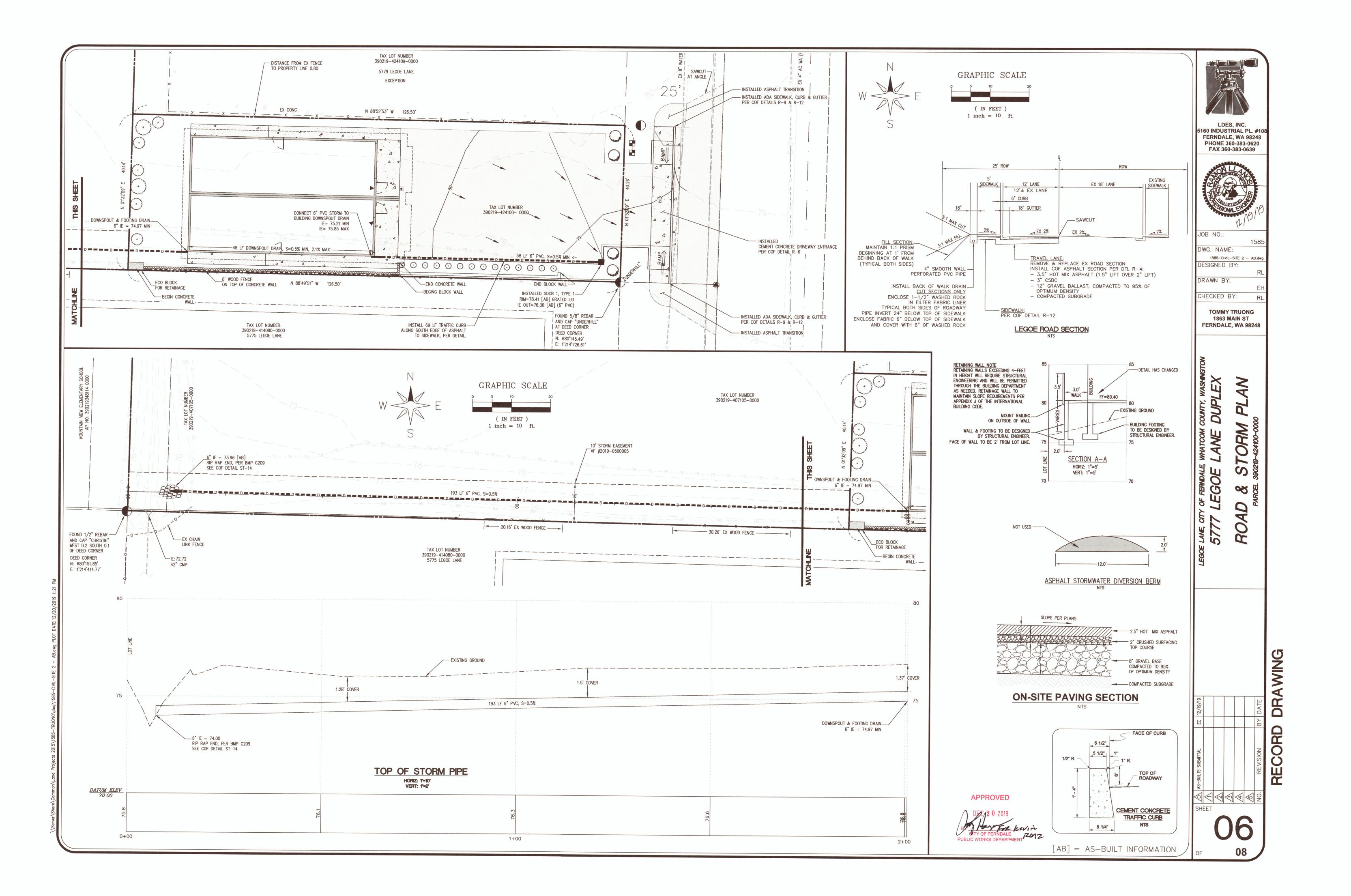
JOB NO.: DWG. NAME: 1585-CIVIL-SITE 2 - AB.dwg

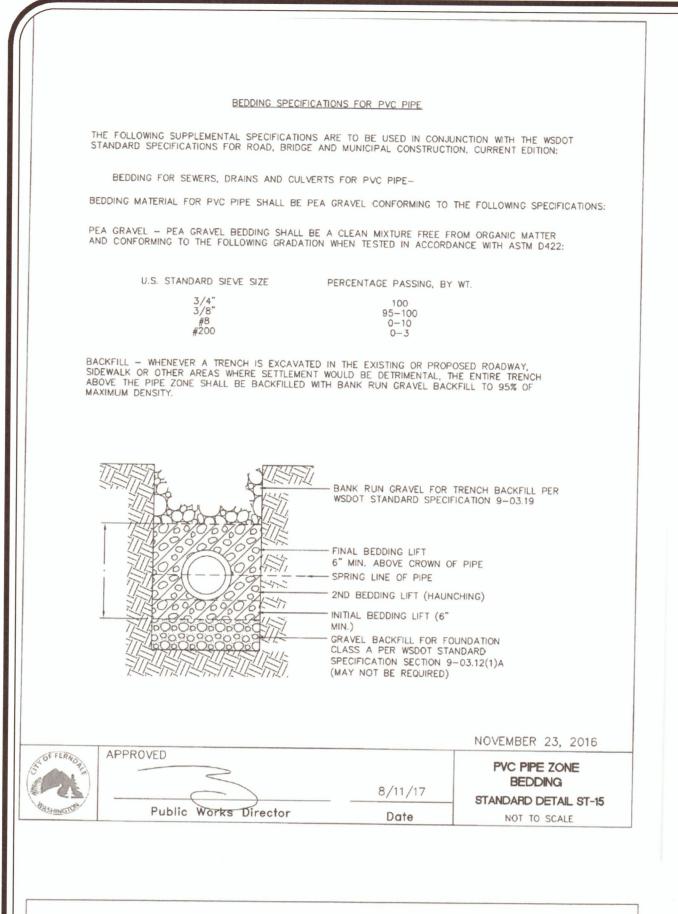
DESIGNED BY: DRAWN BY:

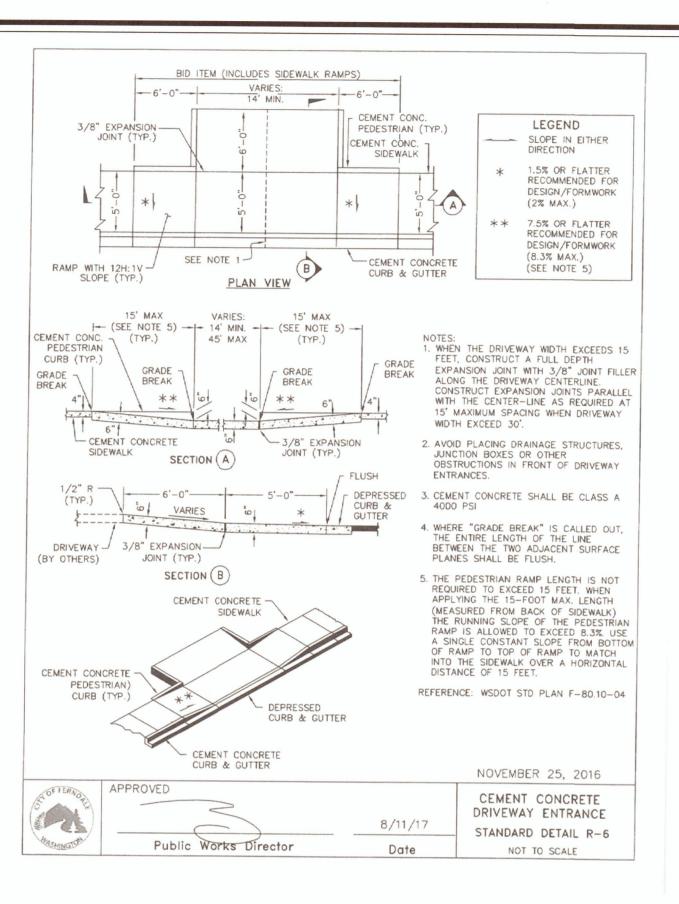
> **TOMMY TRUONG 1863 MAIN ST** FERNDALE, WA 98248

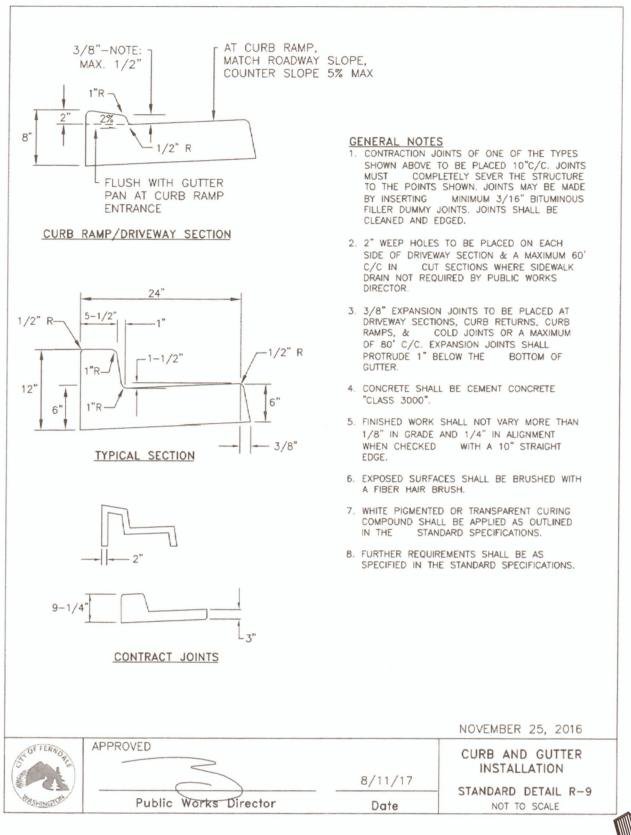
3566666



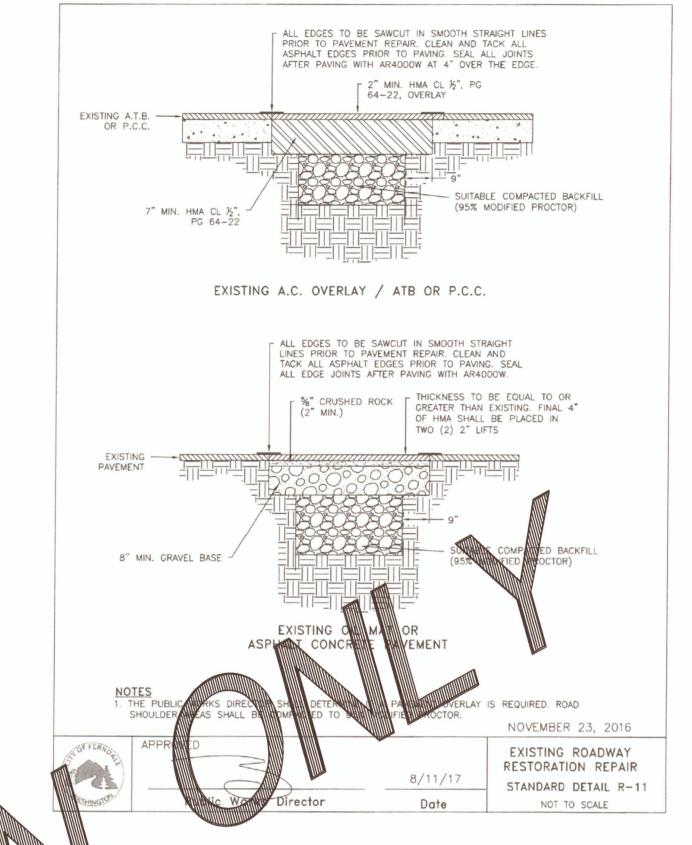


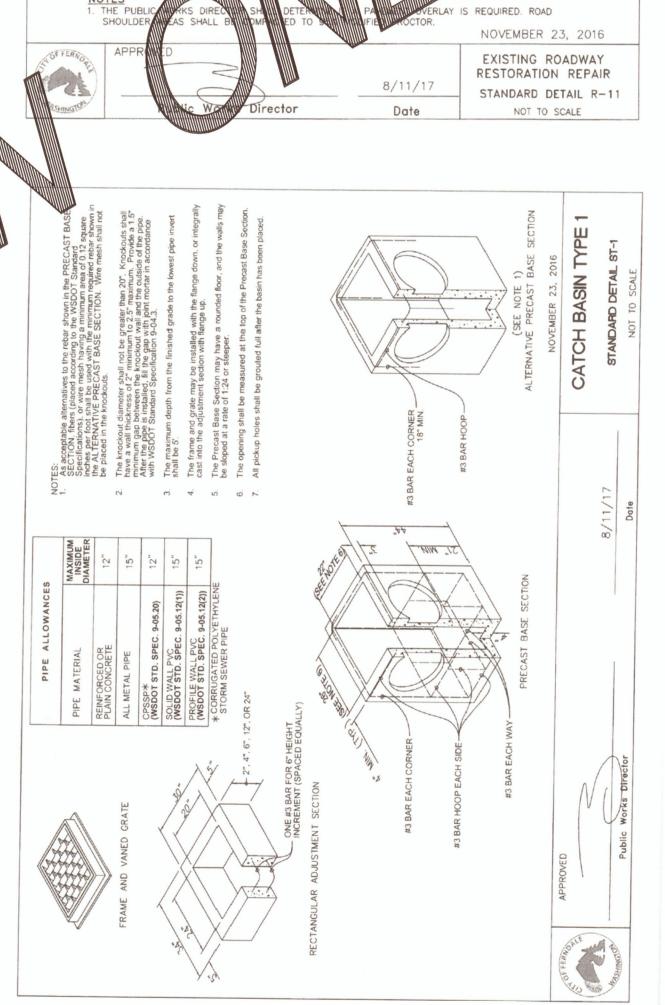


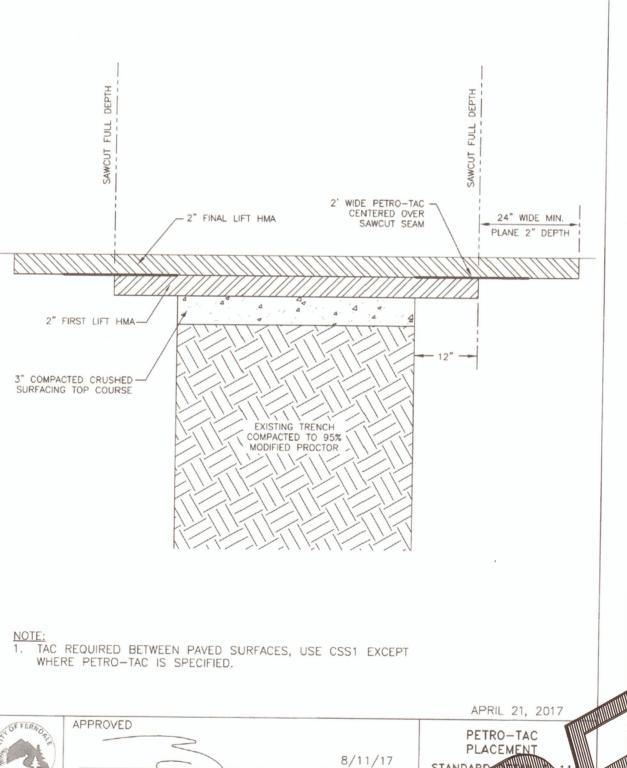




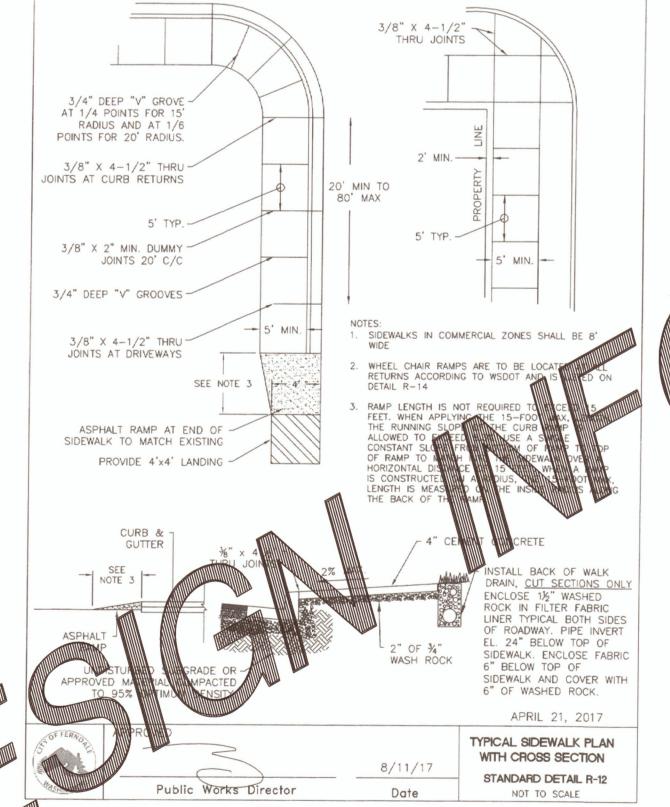
APPROVED

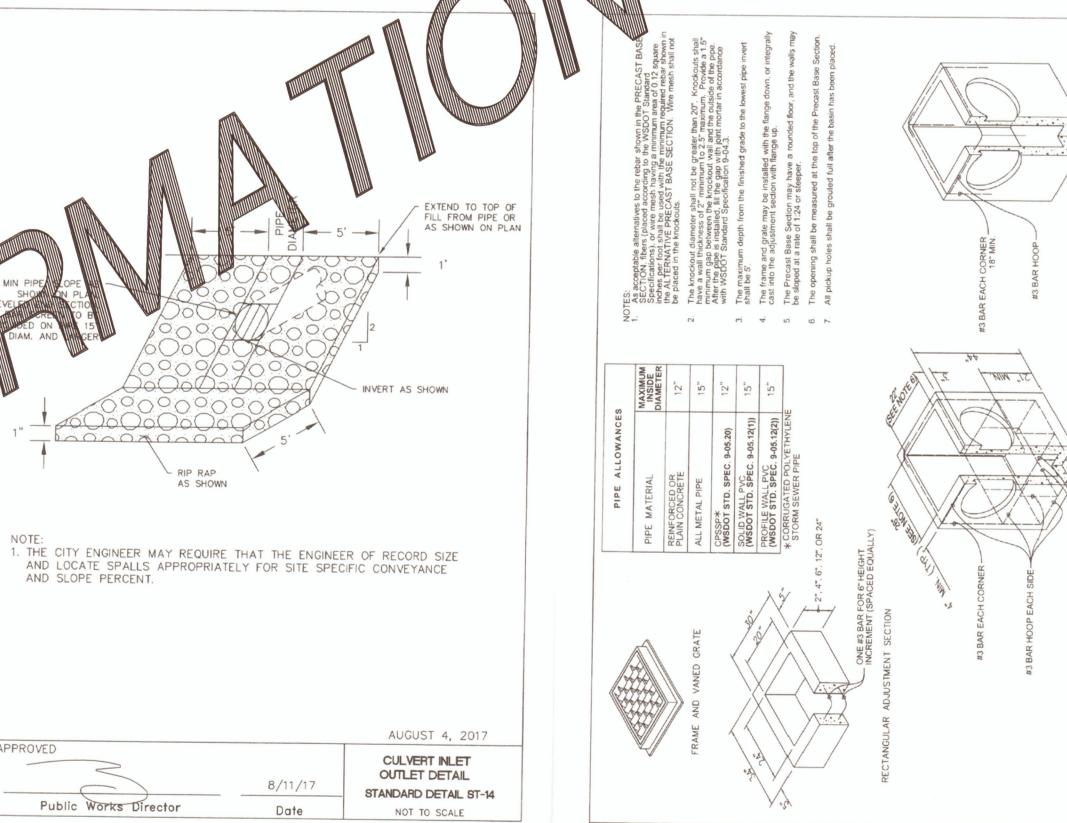






Public Works Director







LDES, INC.

5160 INDUSTRIAL PL. #108

FERNDALE, WA 98248

PHONE 360-383-0620

FAX 360-383-0639

JOB NO.:

DWG. NAME:

DESIGNED BY:

CHECKED BY:

TOMMY TRUONG

1863 MAIN ST

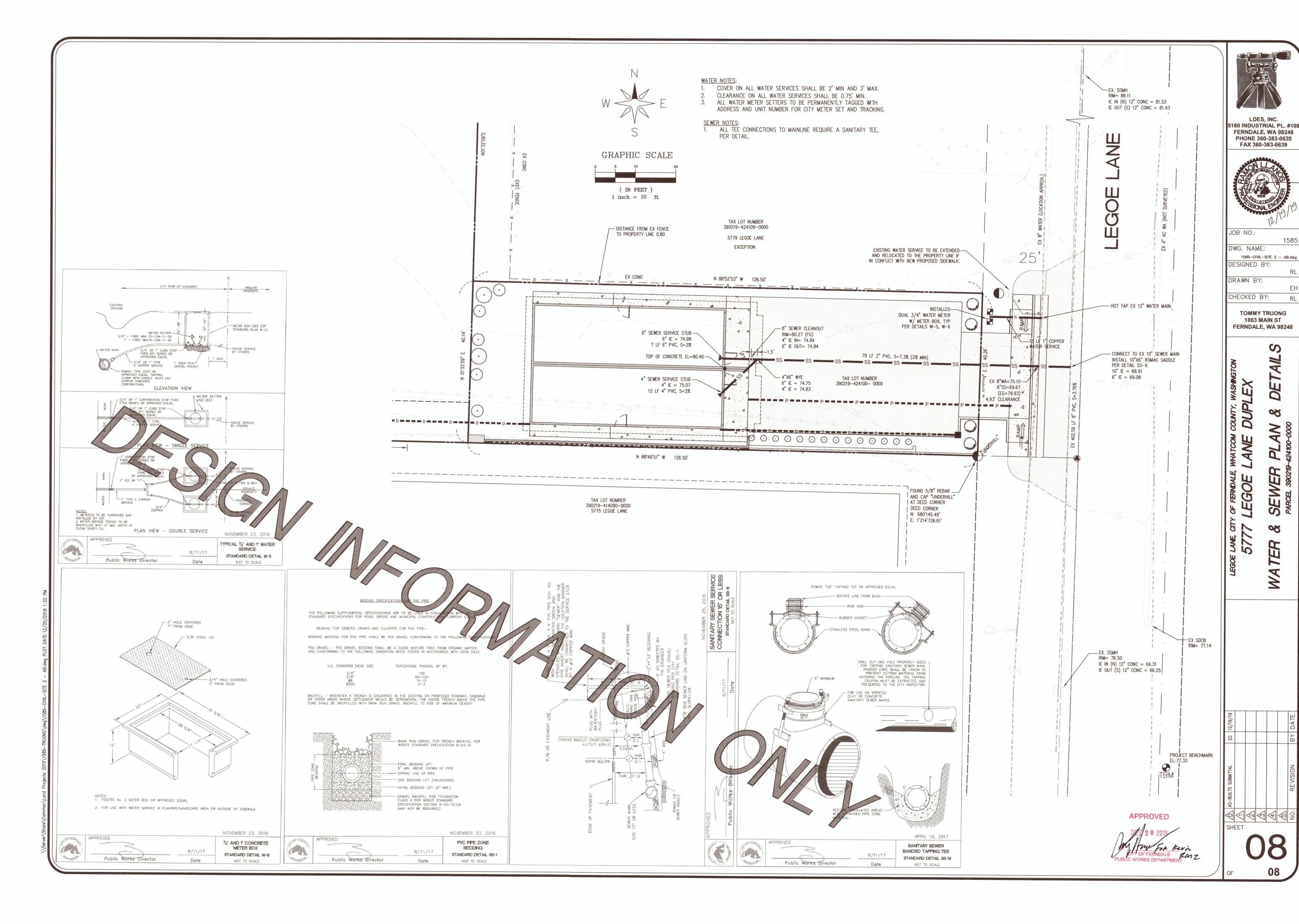
FERNDALE, WA 98248

DRAWN BY:

COUNTY, W

1585-CIVIL-SITE 2 - AB.dwg

DRAWING



ECORD DRAWING