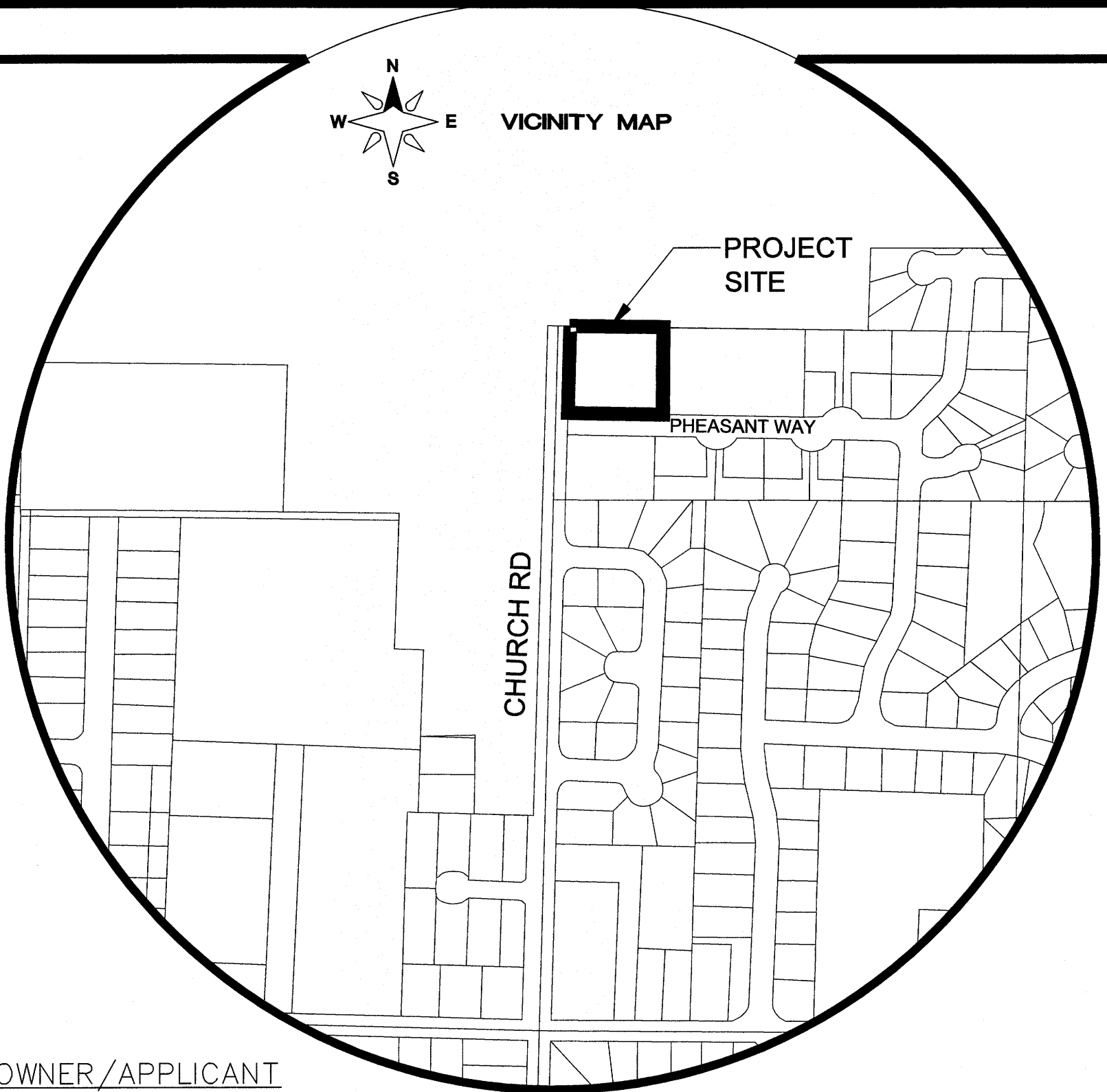


A PORTION OF THE SW 1/4 OF SECTION 18  
TOWNSHIP 39 N., RANGE 2 E. OF THE W.M.  
CITY OF FERNDALE, WHATCOM COUNTY, WASHINGTON

# LYNCH SHORT PLAT

## 6420 CHURCH RD, FERNDALE, WA

### RECORD DRAWING



**SHEET INDEX**

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**EXISTING LEGEND:**

	FOUND REBAR
	REBAR SET
	SURFACE BRASS CAP
	CONC. MONUMENT
	WATER METER
	WATER VALVE
	FIRE HYDRANT
	UTILITY POLE
	UTILITY POLE ANCHOR
	SAN. SEWER MANHOLE
	STORM DRAIN CB TYPE 1
	TREE (DECIDUOUS)
	FENCE LINE
	GRAVEL (EXIST.)
	ASPHALT (EXIST.)
	COMMUNICATIONS (BURIED)
	POWER (AERIAL)
	POWER (BURIED)
	GAS
	WATER
	SANITARY SEWER
	STORM DRAINAGE

**PROPOSED LEGEND:**

	= PROP. WATER METER
	= PROP. SEWER CLEANOUT
	= PROP. ROOF DRAIN CLEANOUT
	= PROP. CATCH BASIN
	= PROP. CONCRETE
	= PROP. SANITARY SEWER
	= PROP. WATER SERVICE LINE
	= PROP. STORM DRAIN LINE
	= PROP. INLET PROTECTION
	= PROP. SILT FENCING
	= PROP. SAW CUT

OWNER/APPLICANT  
RUBICON HOMES  
CHAD SCHMITT  
PO BOX 1065  
FERNDALE, WA 98248  
(360) 920-6389

ENGINEER  
LDES, INC.  
5160 INDUSTRIAL PL., SUITE 108  
FERNDALE, WA 98248  
CONTACT: RAMON LLANOS, P.E.  
(360) 383-0620

SURVEYOR  
LDES, INC.  
5160 INDUSTRIAL PL., SUITE 108  
FERNDALE, WA 98248  
CONTACT: KYLE HAGGITH, PLS.  
(360) 383-0620

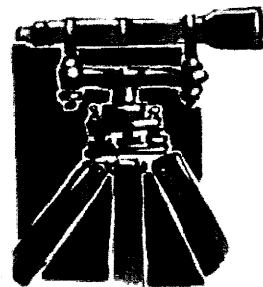
ENGINEER'S CERTIFICATION  
I HEREBY CERTIFY THAT THE IMPROVEMENTS IN "LYNCH SHORT PLAT" HAVE BEEN INSPECTED BY LDES AND TO THE BEST OF MY KNOWLEDGE, HAVE BEEN CONSTRUCTED IN CONFORMANCE WITH THE CITY OF FERNDALE DEVELOPMENT STANDARDS, THE CITY OF FERNDALE MUNICIPAL CODE, SUBSEQUENT STANDARDS ADOPTED BY REFERENCE THEREIN, AND STANDARD ENGINEERING PRACTICE.  
*[Signature]* 05/14/19  
RAMON LLANOS, P.E.

SURVEYOR'S CERTIFICATION  
I CERTIFY THAT THE LOCATIONS, ELEVATIONS, DEPTHS, AND AS-BUILT COMMENTS REFLECTING MATERIALS ACTUALLY USED DURING CONSTRUCTION ACCURATELY REFLECT EXISTING FIELD CONDITIONS AS DETERMINED BY ME OR UNDER MY DIRECT SUPERVISION ON THIS DATE: 05/14/2019  
*[Signature]*  
KYLE HAGGITH, P.L.S.



ABBREVIATION NOTE:  
AB = AS-BUILT DIMENSION, GRADE, ELEVATION, OR QUANTITY

△	SUBMITTAL 1	RS	5-06-2019
△	SUBMITTAL 2	RS	5-08-2019
△			
△			
△			
△			
NO.	REVISION	BY	DATE



LDES, INC.  
5160 INDUSTRIAL PL. #108  
FERNDALE, WA 98248  
PHONE 360-383-0620  
FAX 360-383-0639

JOB NO.:	1755
DWG. NAME:	
DESIGNED BY:	RS
DRAWN BY:	RS
CHECKED BY:	RL

RUBICON HOMES  
6240 CHURCH ROAD  
FERNDALE, WA 98248

APPROVED  
MAY 15 2019  
BY *[Signature]*  
CITY OF FERNDALE  
PUBLIC WORKS DEPARTMENT

**COVER SHEET**

LYNCH SHORT PLAT

6240 CHURCH ROAD, FERNDALE WA 98248  
WITHIN SECTION 18, TOWNSHIP 39N, RANGE 2E, W.M.

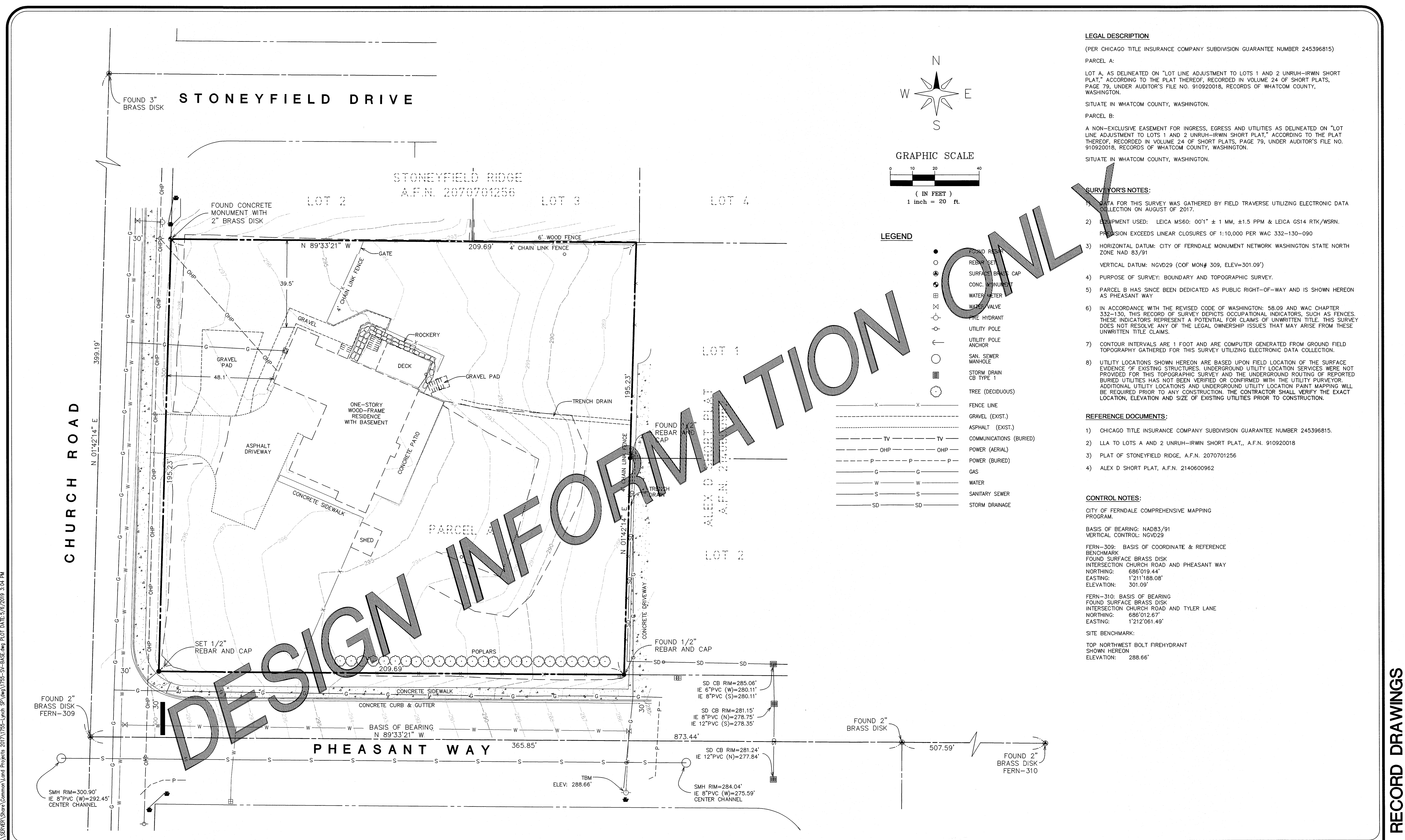
SHEET

01

OF

12

RECORD DRAWING



**LEGAL DESCRIPTION**  
(PER CHICAGO TITLE INSURANCE COMPANY SUBDIVISION GUARANTEE NUMBER 245396815)  
PARCEL A:  
LOT A, AS DELINEATED ON "LOT LINE ADJUSTMENT TO LOTS 1 AND 2 UNRUH-IRWIN SHORT PLAT," ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 24 OF SHORT PLATS, PAGE 79, UNDER AUDITOR'S FILE NO. 910920018, RECORDS OF WHATCOM COUNTY, WASHINGTON.  
SITUATE IN WHATCOM COUNTY, WASHINGTON.  
PARCEL B:  
A NON-EXCLUSIVE EASEMENT FOR INGRESS, EGRESS AND UTILITIES AS DELINEATED ON "LOT LINE ADJUSTMENT TO LOTS 1 AND 2 UNRUH-IRWIN SHORT PLAT," ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 24 OF SHORT PLATS, PAGE 79, UNDER AUDITOR'S FILE NO. 910920018, RECORDS OF WHATCOM COUNTY, WASHINGTON.  
SITUATE IN WHATCOM COUNTY, WASHINGTON.

- SURVEYOR'S NOTES:**
- 1) DATA FOR THIS SURVEY WAS GATHERED BY FIELD TRAVERSE UTILIZING ELECTRONIC DATA COLLECTION ON AUGUST OF 2017.
  - 2) EQUIPMENT USED: LEICA MS60: 00"1" ± 1 MM, ±1.5 PPM & LEICA GS14 RTK/WSRN. PRECISION EXCEEDS LINEAR CLOSURES OF 1:10,000 PER WAC 332-130-090
  - 3) HORIZONTAL DATUM: CITY OF FERNDALE MONUMENT NETWORK WASHINGTON STATE NORTH ZONE NAD 83/91  
VERTICAL DATUM: NGVD29 (COF MON# 309, ELEV=301.09')
  - 4) PURPOSE OF SURVEY: BOUNDARY AND TOPOGRAPHIC SURVEY.
  - 5) PARCEL B HAS SINCE BEEN DEDICATED AS PUBLIC RIGHT-OF-WAY AND IS SHOWN HEREON AS PHEASANT WAY
  - 6) IN ACCORDANCE WITH THE REVISED CODE OF WASHINGTON: 58.09 AND WAC CHAPTER 332-130, THIS RECORD OF SURVEY DEPICTS OCCUPATIONAL INDICATORS, SUCH AS FENCES. THESE INDICATORS REPRESENT A POTENTIAL FOR CLAIMS OF UNWRITTEN TITLE. THIS SURVEY DOES NOT RESOLVE ANY OF THE LEGAL OWNERSHIP ISSUES THAT MAY ARISE FROM THESE UNWRITTEN TITLE CLAIMS.
  - 7) CONTOUR INTERVALS ARE 1 FOOT AND ARE COMPUTER GENERATED FROM GROUND FIELD TOPOGRAPHY GATHERED FOR THIS SURVEY UTILIZING ELECTRONIC DATA COLLECTION.
  - 8) UTILITY LOCATIONS SHOWN HEREON ARE BASED UPON FIELD LOCATION OF THE SURFACE EVIDENCE OF EXISTING STRUCTURES. UNDERGROUND UTILITY LOCATION SERVICES WERE NOT PROVIDED FOR THIS TOPOGRAPHIC SURVEY AND THE UNDERGROUND ROUTING OF REPORTED BURIED UTILITIES HAS NOT BEEN VERIFIED OR CONFIRMED WITH THE UTILITY PURVEYOR. ADDITIONAL UTILITY LOCATIONS AND UNDERGROUND UTILITY LOCATION PAINT MAPPING WILL BE REQUIRED PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.

- REFERENCE DOCUMENTS:**
- 1) CHICAGO TITLE INSURANCE COMPANY SUBDIVISION GUARANTEE NUMBER 245396815.
  - 2) LLA TO LOTS A AND 2 UNRUH-IRWIN SHORT PLAT., A.F.N. 910920018
  - 3) PLAT OF STONEYFIELD RIDGE, A.F.N. 2070701256
  - 4) ALEX D SHORT PLAT, A.F.N. 2140600962

**CONTROL NOTES:**  
CITY OF FERNDALE COMPREHENSIVE MAPPING PROGRAM.  
BASIS OF BEARING: NAD83/91  
VERTICAL CONTROL: NGVD29  
FERN-309: BASIS OF COORDINATE & REFERENCE  
BENCHMARK  
FOUND SURFACE BRASS DISK  
INTERSECTION CHURCH ROAD AND PHEASANT WAY  
NORTHING: 686'019.44'  
EASTING: 1'211'188.08'  
ELEVATION: 301.09'  
FERN-310: BASIS OF BEARING  
FOUND SURFACE BRASS DISK  
INTERSECTION CHURCH ROAD AND TYLER LANE  
NORTHING: 686'012.67'  
EASTING: 1'212'061.49'  
SITE BENCHMARK:  
TOP NORTHWEST BOLT FIREHYDRANT  
SHOWN HEREON  
ELEVATION: 288.66'

\\SERVER\Share\Common\Land Projects\2017\1755-SV-BASE.dwg PLOT DATE:5/6/2019 3:04 PM

		<b>LDIES, INC.</b> 5160 INDUSTRIAL PL. #108 FERNDALE, WA 98248 PHONE 360-383-0620 FAX 360-383-0639		JOB NO.: 1755 DWG. NAME: DESIGNED BY: DRAWN BY: SL/NC CHECKED BY: KTH		RUBICON HOMES 6240 CHURCH ROAD FERNDALE, WA 98248		APPROVED MAY 15 2019 BY: [Signature] CITY OF FERNDALE PUBLIC WORKS DEPARTMENT		<b>EXISTING CONDITONS</b> LYNCH SHORT PLAT 6240 CHURCH ROAD, FERNDALE WA 98248 WITHIN SECTION 18, TOWNSHIP 39N, RANGE 2E, W.M.		SHEET <b>02</b> OF 11	
SUBMITTAL 1		KH 05/06/2018											
NO.		REVISION		BY		DATE							

RECORD DRAWINGS



GENERAL REQUIREMENTS:

1. ALL WORK AND MATERIALS SHALL CONFORM TO THESE PLANS AND TO THE REQUIREMENTS OF THE CURRENT EDITION OF THE "STATE OF WASHINGTON DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION" (WSDOT SPECS.), THE CITY OF FERNDALE DEVELOPMENT STANDARDS (COFDS) AND THE 2005 VERSION OF THE DEPARTMENT OF ECOLOGY STORM WATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON (DOE MANUAL). IN CASE OF A CONFLICT BETWEEN PLANS, REGULATORY STANDARDS OR SPECIFICATIONS, THE MORE STRINGENT REQUIREMENT WILL PREVAIL.
2. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER CONSTRUCTION DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES. THROUGHOUT THE PERIOD OF CONSTRUCTION, CONTRACTOR SHALL COMPLY WITH THE TERMS OF ALL PERMITS. THE CONTRACTOR MUST HAVE A FULL SET OF CITY CONTRACT DOCUMENTS ON THE SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
3. CONSTRUCTION NOISE SHALL BE LIMITED TO BETWEEN 7 a.m. TO 8 p.m., MONDAY THROUGH SATURDAY.
4. THE CONTRACTOR SHALL CONTACT THE UTILITIES UNDERGROUND LOCATION CENTER AT LEAST 72 HOURS PRIOR TO STARTING CONSTRUCTION. PHONE: 1-800-424-5555. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL OF THE VARIOUS UTILITY COMPANIES TO ARRANGE FOR FIELD LOCATIONS OF ALL EXISTING UTILITY FACILITIES. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR COSTS INCURRED BECAUSE OF DAMAGE DONE TO EXISTING FACILITIES BY THE CONTRACTOR'S WORK FORCE. INCLUDING COSTS FOR REPAIRS, WHICH WILL BE CONTRACTOR'S SOLE RESPONSIBILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF ALL EXISTING UTILITIES AND TO NOTIFY THE ENGINEER PROMPTLY OF ANY CONFLICT BETWEEN THE APPROVED PLANS AND THE LOCATION OF ANY EXISTING UTILITIES.
5. THE CONTRACTOR SHALL PROTECT ALL PRIVATE AND PUBLIC UTILITIES FROM DAMAGE RESULTING FROM THE WORK. CONTRACTOR SHALL RESTORE ALL PRIVATE AND PUBLIC PROPERTY DISRUPTED BY THE PROJECT IMMEDIATELY AFTER CONSTRUCTION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL MEASURES THROUGHOUT THE DURATION OF THE PROJECT. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CLEARING OR GRADING IN CONFORMANCE WITH THE EROSION & SEDIMENTATION CONTROL PLAN AND THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP). THE SWPPP SHALL BE ON-SITE AT ALL TIMES DURING CONSTRUCTION ACTIVITIES.
7. SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL ABOVE GROUND AND BURIED DEBRIS AND WASTE THAT MAY BE PRESENT.
8. THE CONTRACTOR SHALL OBTAIN REVOCABLE ENCROACHMENT PERMITS FROM THE CITY OF FERNDALE AND/OR WHATCOM COUNTY PRIOR TO COMMENCING WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL ATTEND A PRE-CONSTRUCTION MEETING WITH REPRESENTATIVES OF THE CITY OF FERNDALE PUBLIC WORKS DEPARTMENT AND THE PROJECT ENGINEER A MINIMUM OF THREE (3) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION. THE CITY WILL SCHEDULE THE MEETING.
10. ALL WORK AND MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE CITY OF FERNDALE PUBLIC WORKS DEPARTMENT. REPRESENTATIVES FROM THE CITY OF FERNDALE PUBLIC WORKS DEPARTMENT MUST INSPECT ALL WORK IDENTIFIED ON THE PLANS, BOTH PUBLIC AND PRIVATE. THE CONTRACTOR SHALL CALL AT LEAST 24 HOURS IN ADVANCE TO SCHEDULE INSPECTIONS.
11. INSPECTIONS AS FOLLOWS:
  - A. PLACEMENT OF TEMPORARY EROSION CONTROL MEASURES.
  - B. CONSTRUCTION OF STORMWATER MANAGEMENT FACILITIES.
  - C. PLACEMENT OF WATER MAIN AND BACKFILLING OF WATER MAIN TRENCH WITHIN ROAD RIGHTS OF WAY OR IN WATERLINE EASEMENT TO BE DEDICATED TO THE CITY OF FERNDALE.
  - D. PLACING OR BACKFILLING OF UNDERGROUND UTILITIES, STORM SEWER AND SANITARY SEWER WITHIN ROAD RIGHTS-OF-WAY, IN EASEMENTS TO BE DEDICATED TO THE CITY OF FERNDALE, OR OTHER PUBLICLY SHARED FACILITIES.
  - E. GRADING OF PUBLIC OR PRIVATE TOP COURSE OF ROAD OR DRIVE.
    - 1. COMPLETION OF EXCAVATION TO SUBGRADE.
    - 2. COMPLETION OF BALLAST COURSE PLACEMENT
    - 3. COMPLETION OF CRUSHED SURFACING COURSE PLACEMENT
  - F. POURING OF CURB AND GUTTER AND SIDEWALK IN PUBLIC ROADWAY.
  - G. ASPHALT PAVING IN PROGRESS IN PUBLIC ROADWAY.
  - H. OVERALL INSPECTION FOR FINISHED SHOULDERS, DITCHES, PERMANENT SEEDING AND MONUMENT PLACEMENT.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH AND SAFETY OF THE PUBLIC, AND TO PROTECT PRIVATE & PUBLIC PROPERTY IN CONNECTION WITH THE PERFORMANCE AND WORK BY THE CONTRACTOR. ANY WORK WITHIN THE TRAVELED RIGHT-OF-WAY THAT MAY INTERRUPT NORMAL TRAFFIC FLOW SHALL REQUIRE AT LEAST ONE FLAGGER FOR EACH LANE OF TRAFFIC AFFECTED. A TRAFFIC CONTROL PLAN SHALL BE SUBMITTED TO THE CITY FOR APPROVAL PRIOR TO PERFORMING THE WORK. ALL SECTIONS OF THE WSDOT STANDARD SPECIFICATIONS 1-07.23- TRAFFIC CONTROL, SHALL APPLY.
13. THE CONTRACTOR SHALL INFORM THE ENGINEER AND OBTAIN APPROVAL FROM THE CITY OF FERNDALE PUBLIC WORKS DIRECTOR OF ANY PROPOSED DEVIATION FROM THE APPROVED PLANS PRIOR TO CONSTRUCTION OF THE REVISED IMPROVEMENTS. THE CONTRACTOR SHALL KEEP RECORDS OF ALL DEVIATIONS AND SHALL FORWARD THEM TO THE ENGINEER AND TO THE CITY OF FERNDALE PUBLIC WORKS DEPARTMENT.
14. AS-BUILT DATA SHALL BE PROVIDED TO THE CITY OF FERNDALE UPON COMPLETION OF CONSTRUCTION AND PROVIDED IN CITY OF FERNDALE DATUM - VERTICAL (NGVD 29) AND HORIZONTAL (NAD 83/91). CONTACT THE CITY FOR MORE INFORMATION OR SUBMITTAL REQUIREMENTS.
15. WORK PERFORMED IN CITY ROW AND ON PRIVATE PROPERTY REQUIRES PROJECT CERTIFICATION BY ENGINEER OF RECORD IN CONFORMANCE WITH THE APPROVED PLANS AND SPECIFICATIONS IN ORDER FOR THE CITY TO PROVIDE PROJECT ACCEPTANCE. THE ENGINEER OF RECORD WILL NEED TO DETERMINE AN INSPECTION SCHEDULE TO BE CARRIED OUT BY THE ENGINEER OF RECORD OR THEIR QUALIFIED DESIGNEE INCLUDING GEOTECHNICAL SUPPORT FOR PROJECT CERTIFICATION.
16. POT HOUNG PUBLIC UTILITIES IS REQUIRED PRIOR TO CONSTRUCTION TO INSURE CITY UTILITY SEPARATION REQUIREMENTS CAN BE MET. AS-BUILT INFORMATION ON THE CITY'S DATA BASE IS NOT ALWAYS ACCURATE, THE CITY WILL NOT BE HELD RESPONSIBLE FOR CONTRACTOR NEGLIGENCE IN THIS REGARD THAT MAY RESULT IN HIGHER CONSTRUCTION COSTS OR LIMITED OPTION FOR MODIFICATION.

UNDERGROUND UTILITIES CONSTRUCTION:

- A. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE ENGINEER TO ASSURE ACCURATE AND TIMELY COLLECTION OF ALL REQUIRED AS-BUILT DATA. THIS DATA MUST ACCURATELY REFLECT THE LOCATIONS OF ALL UNDERGROUND UTILITIES, BOTTOM OF PIPE ELEVATIONS, INVERT ELEVATIONS, MANHOLE LOCATIONS, WATER SERVICE TAPS, BLOW-OFF LOCATIONS AND INVERTS OF SERVICE CONNECTIONS (BOTH AT PIPE AND AT PROPERTY LINE). VERTICAL AND HORIZONTAL BENDS, SERVICE BOXES AND METERS, VALVES AND HYDRANTS. CALL THE PROJECT ENGINEER AT LEAST 48-HOURS BEFORE BURYING UNDERGROUND PIPE TO ASSURE AND FACILITATE REQUIRED AS-BUILT SURVEY.
- B. THE CONSTRUCTION OF UNDERGROUND UTILITY LINES SHALL BE SUBJECT TO THE FOLLOWING CRITERIA:
  - i. NO MORE THAN 500 FEET OF TRENCH SHALL BE OPENED AT ONE TIME.
  - ii. WHERE CONSISTENT WITH SAFETY AND SPACE CONSIDERATIONS, EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF DITCHES.
  - iii. TRENCH DEWATERING DEVICES SHALL DISCHARGE INTO SEDIMENT TRAPS OR SEDIMENT PONDS.
  - iv. WHERE PRACTICAL, INSTALL GRAVITY PIPE UTILITIES PRIOR TO INSTALLATION OF OTHER UTILITIES.
- C. UTILITY CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF FERNDALE DEVELOPMENT STANDARDS.
- D. ALL UTILITY TRENCHES IN THE RIGHT OF WAY SHALL BE BACKFILLED WITH ¾-INCH MINUS OR 5/8-INCH MINUS WELL GRADED CRUSHED ROCK.
- E. TESTING OF NEW WATER LINES, STORM SEWER SYSTEMS SHALL NOT BE PERFORMED UNTIL ALL OTHER ADJACENT UTILITIES HAVE BEEN INSTALLED.
- F. ALL UTILITY TRENCHES SHALL BE BACKFILLED AND COMPACTED TO 95% DENSITY IN LOTS NOT TO EXCEED 24 INCHES WITH A "HOE PACK, OR 8 INCHES WITH HAND-OPERATED COMPACTION".
- G. OPEN CUTTING OF EXISTING ROADWAYS IS ONLY ALLOWED AS APPROVED AND NOTED ON THESE APPROVED PLANS. ANY OPEN CUT SHALL BE RESTORED IN ACCORDANCE WITH THE FERNDALE STANDARD TRENCH DETAIL(S). ALL UTILITY TRENCHES UNDERNEATH AN EXISTING ROADWAY SHALL BE BACKFILLED WITH 150 PSI CONTROLLED DENSITY FILL.
- H. NO PART OF THE DRAINAGE SYSTEM MAY BE COVERED, CONCEALED, OR PUT INTO USE UNTIL IT HAS BEEN INSPECTED, TESTED, AND ACCEPTED BY THE CITY INSPECTOR.
- I. A MINIMUM OF 5-FOOT SEPARATION IS REQUIRED BETWEEN THE WET UTILITIES (WATER, SEWER, STORM) SHOWN ON THE PLANS AND THE DRY UTILITIES (GAS, POWER, CABLE AND POWER) THAT MAY OR MAY NOT BE SHOWN ON THE PLANS.

EARTHWORK:

- A. THE CONTRACTOR SHALL REMOVE AND REPLACE ALL EXISTING UN-COMPACTED OR POORLY COMPACTED FILL SOILS WITHIN THE ROAD PRISM AT THE DIRECTION OF THE ENGINEER.
- B. THE CONTRACTOR SHALL EXCAVATE AND GRADE TO THE ALIGNMENT, GRADE AND CROSS-SECTIONS SHOWN IN THE PLANS OR ESTABLISHED BY THE ENGINEER.
- C. UNSUITABLE MATERIAL FOUND AND NOT FIT FOR USE AS A SUB-GRADE SHALL BE EXCAVATED TO THE BOUNDARIES SET BY THE ENGINEER AND REPLACED WITH A SUITABLE BACKFILL MATERIAL.
- D. THE ENGINEER IS REQUIRED TO CERTIFY SUBGRADE WRITING PRIOR TO PAVING.
- E. SITE GRADING SHALL BE COMPLETED IN ACCORDANCE WITH APPENDIX J OF THE 2012, INTERNATIONAL BUILDING CODE.

BASE COURSES AND SURFACING:

- A. GRAVEL BASES AND BALLAST MATERIAL GRADATION SHALL MEET WSDOT STANDARD SPECIFICATIONS.
- B. BALLAST, GRAVEL BASE AND CRUSHED SURFACING SHALL BE COMPACTED TO AT LEAST 95% OF MAXIMUM DRY DENSITY.
- C. THE GRADED AND COMPACTED SURFACE OF THE CRUSHED SURFACINGS TOP COURSE SHALL BE WITHIN ¾ INCH OF FINISHED GRADE.
- D. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MATERIAL AND COMPACTION TESTING PRIOR TO IMPORTING OF MATERIAL FOR BASE AND CRUSHED SURFACING TOP COURSE. THE CONTRACTOR SHALL PROVIDE EVIDENCE OF SATISFACTORY PASSING GRADING AND DEGRADATION TEST RESULTS TO THE ENGINEER.

STORM DRAINAGE:

1. THE FOLLOWING STANDARD DETAILS SHALL BE USED FOR CONSTRUCTION OF STORM DRAIN IMPROVEMENTS:
  - WSDOT STD. DETAILS B-5.20, B-5.40 OR B-10.20
  - CATCH BASINS TYPE 1, 1L OR 2
  - RESIDENTIAL SERVICE LINE
  - CATCH BASINS
2. STORM SEWER PIPE HAVING DIAMETERS GREATER THAN 8" SHALL BE CORRUGATED POLYETHYLENE PIPE (CPEP); ALL OTHER STORM SEWER PIPE SHALL BE PVC.
3. ALL CATCH BASIN GRATES SHALL INCLUDE THE STAMPING "OUTFALL TO STREAM, DUMP NO POLLUTANTS".
4. CONTROL DENSITY FILL SHALL BE USED IN AREAS WHERE LESS THAN 18" OF COVER IS MAINTAINED OVER THE PROPOSED STORM PIPES (PIPE IS IN ROAD BASE SECTION), AS SHOWN IN THE PLANS. DUCTILE IRON PIPE MAY BE USED FOR STORM PIPES WITH LESS THAN 18" OF COVER IF APPROVED BY THE CITY.
5. COVER OVER PIPES SHALL BE MAINTAINED DURING CONSTRUCTION. DEPTH OF COVER REQUIRED SHALL CONFORM TO CITY STANDARDS.
6. AT THE END OF ALL SITE CONSTRUCTION, THE CONTRACTOR SHALL CLEAN ALL DEBRIS FROM CATCH BASINS AND STORMWATER CONVEYANCES.
7. DEBRIS SHALL NOT BE ALLOWED TO ENTER STREAMS OR OFF-SITE STORMWATER SYSTEMS.
8. POSITIVE LOT DRAINS PER STANDARD DETAIL ST-16.
9. A STORMWATER MAINTENANCE PLAN MUST BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL AT PROJECT COMPLETION INCLUDING AN AS-BUILT DRAWING OF THE STORMWATER CONVEYANCE SYSTEM IN CONFORMANCE WITH THE CITY OF FERNDALE STORMWATER MAINTENANCE CHECKLIST FOR THE CONVEYANCE SYSTEM LOCATED OUTSIDE CITY R/W THAT MUST BE PRIVATELY MAINTAINED.

WATER SYSTEMS:

1. THE FOLLOWING STANDARD DETAILS SHALL BE USED IN CONSTRUCTING WATER SUPPLY SYSTEM IMPROVEMENTS:
  - PIPE BEDDING
  - TRENCH BACKFILL
  - FIRE HYDRANT ASSEMBLY
  - THRUST BLOCKING
  - WATER SERVICE
2. ALL WORK AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF FERNDALE DEVELOPMENT STANDARDS, SECTIONS 702 AND 705 AND THE MOST RECENT VERSION OF WSDOT STANDARD SPECIFICATIONS.
3. MATERIAL FOR FITTINGS SUCH AS CROSSES, TEES, BENDS, REDUCERS AND SLEEVES SHALL BE DUCTILE IRON. JOINTS SHALL BE M.J., FLANGED OR PUSH-ON JOINTS AND SHALL CONFORM TO AWWA SPECIFICATIONS C-110-71 AND C-104-71.
4. CONCRETE BLOCKING SHALL BE AS SPECIFIED IN CITY OF FERNDALE STANDARD DETAILS W-2, W-3 AND W-4, OR AS DIRECTED BY THE PROJECT ENGINEER. BLOCKS SHALL BE INSTALLED AS SPECIFIED IN SECTION 7-09.3(21) OF THE WASHINGTON STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD, BRIDGE OR MUNICIPAL CONSTRUCTION. NO PRE-CAST BLOCKS ARE ALLOWED.
5. CONNECTIONS TO EXISTING WATER MAINS - THE CONTRACTOR MUST NOTIFY THE CITY OF FERNDALE PUBLIC WORKS DIRECTOR OF A PROPOSED CONNECTION AT LEAST FOUR WORKING DAYS IN ADVANCE.
6. ALL HYDROSTATIC TESTING AND DISINFECTION OF WATER MAINS SHALL CONFORM TO SECTION 7-09.3(23) AND SECTION 7-09.3(24) OF THE WASHINGTON STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD, BRIDGE OR MUNICIPAL CONSTRUCTION - CURRENT EDITION. HYDROSTATIC TEST PRESSURE FOR WATER MAIN ACCEPTANCE SHALL BE 250 PSI AND SHALL BE DONE ACCORDING TO CITY OF FERNDALE REQUIREMENTS. THE CITY OF FERNDALE LABORATORY SHALL CONDUCT ALL DISINFECTION TESTS AND BACTERIOLOGICAL TESTS. THE PIPE WILL NOT PASS TESTING UNLESS A ZERO BACTERIAL COUNT IS MEASURED ON TWO CONSECUTIVE TESTS, CONDUCTED 24 HOURS APART.
7. BACKFILL SHALL BE GRAVEL BASE, CLASS B, IN ALL STREET RIGHTS-OF-WAY, COMPACTED TO MINIMUM 95% OPTIMUM DENSITY. IN UNIMPROVED AREAS, MINIMUM COMPACTION SHALL BE 90% OF OPTIMUM DENSITY.
8. ALL PIPES SHALL HAVE A MINIMUM COVER OF 36".
9. ALL VALVES SHALL BE EITHER GATE OR BUTTERFLY TYPE VALVES AND SHALL BE INSTALLED WITH SLP TYPE CAST IRON VALVE BOXES. GATE VALVES SHALL BE USED FOR LINES 2 INCHES THROUGH 10 INCHES IN DIAMETER. SHORT-BODY VALVES SUITABLE FOR A NON-SHOCK SHUT-OFF PRESSURE OF 130 PSI AND SUITABLE FOR DIRECT BURIAL ARE SPECIFIED. GATE VALVES SHALL BE RESILIENT SEATED IRON-BODY, FULL-BRONZE MOUNTED VALVES CONFORMING TO AWWA C508 AND SUITABLE FOR SERVICE WITH THE TYPE AND CLASS OF PIPE USED. ALL VALVES SHALL HAVE NON-REISING STEMS AND SHALL OPEN COUNTERCLOCKWISE AND SHALL BE EQUIPPED WITH A 2 INCH SQUARE OPERATING NUT. VALVES WILL BE FLANGE OR M.J. JOINTS. VALVE MARKERS SHALL BE LOCATED OUTSIDE OF PAVEMENT SECTIONS.
10. WATER SERVICE TAP INSTALLATIONS SHALL MEET THE REQUIREMENTS OF THE COFDS W-5.

ROAD:

1. THE FOLLOWING STANDARD DETAILS SHALL BE USED FOR CONSTRUCTION OF THE STANDARD STREET SECTION:
  - TYPICAL STREET SECTION
  - PCC CURB AND GUTTER
  - PCC SIDEWALKS
  - PCC CURB RAMPS
2. ROADWAY EXCAVATION WITHIN THE ROADWAY PRISM SHALL BE CUT TO A UNIFORM GRADE. THE COMPLETED SUBGRADE SURFACE SHALL NOT VARY MORE THAN 0.10-FOOT FROM THE LOWER EDGE OF A 15-FOOT STRAIGHTEDGE PLACED ON THE SUBGRADE PARALLEL TO THE CENTERLINE UNLESS APPROVED BY THE ENGINEER.
3. THE OWNER SHALL PROVIDE TO THE ENGINEER A REPORT FROM A QUALIFIED GEOTECHNICAL FIRM CERTIFYING THE COMPACTION OF THE GRAVEL BASE UNDER ALL PAWING AREAS.
4. ASPHALT CONCRETE PAVEMENT SHALL BE CLASS "B" MATERIALS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS, SECTION 5-04, EXCEPT AS MODIFIED HEREIN. CONNECTION TO EXISTING PAVEMENT SHALL BE TO A STRAIGHT NEATLY-TRIMMED LINE.
5. CRUSHED ROCK SURFACING FOR PAVEMENT SHALL BE IN ACCORDANCE WITH WSDOT STANDARD SPECIFICATION, SECTION 9-03.9(3); BALLAST PER SECTION 9-03.9(1).
6. CEMENT CONCRETE SHALL BE CLASS 3000 (WITH AIR ENTRAINMENT) IN ACCORDANCE WITH WSDOT STANDARD SPECIFICATION, SECTION 6-02.3(2)B.
7. CEMENT CONCRETE SIDEWALK SHALL BE CONSTRUCTED AS SHOWN ON THE PLANS OR AS DESIGNATED BY THE ENGINEER IN ACCORDANCE WITH CITY STANDARDS, DRAWING NO. R-12.
8. CEMENT CONCRETE DRIVEWAYS SHALL BE 6 INCHES THICK AND CONSTRUCTED WHERE SHOWN ON THE PLANS OR DESIGNATED BY THE ENGINEER IN ACCORDANCE WITH THE CITY STANDARDS, DRAWING NO. R-15. A 2- INCH LATER OF 3/4 INCH DRAIN ROCK SHALL BE USED FOR DRIVEWAY BEDDING.
9. CEMENT CONCRETE CURB AND GUTTER SHALL BE CONSTRUCTED WHERE SHOWN ON THE PLANS OR AS DESIGNATED BY THE ENGINEER, IN ACCORDANCE WITH WSDOT STANDARD SPECIFICATIONS, SECTION 8-04 AND CITY OF FERNDALE STANDARDS, DRAWING NO. R-8 AND R-9. HANDICAP RAMPS SHALL BE CONSTRUCTED PER WSDOT STANDARD PLANS F-40. WHERE NEW CEMENT CONCRETE CURB AND GUTTER IS CONSTRUCTED TO EXISTING PAVEMENT, THE CONTRACTOR SHALL ASSURE THAT NO ABRUPT OFFSETS IN LINE OR GRADE SHALL BE CONSTRUCTED WHICH WILL BE UNSAFE OR IMPEDE FLOW IN THE CUTTER LANE.
10. SOIL RESIDUAL HERBICIDES SHALL BE PLACED WITHIN 24 HOURS OF PAVING.
11. A TACK COAT OF ASPHALT SHALL BE APPLIED BETWEEN ALL COURSES OF ASPHALT.
12. ALL PAVEMENT REPAIR SHALL BE SAW-CUT BEFORE REMOVAL. AR-4000W SHALL BE APPLIED TO ALL EDGES OF EXISTING PAVEMENT. WHERE NEWLY CONSTRUCTED PAVING MEETS EXISTING PAVING, THE APPLICANT SHALL PROVIDE A SMOOTH TRANSITION EXISTING TO PROPOSED PAVING. CONTRACTOR SHALL COLD PLANE PER DIMENSIONS SPECIFIED ON THE PLANS.
13. INSTALL A MINIMUM 2-FOOT WIDE PETROTAC PAVING FABRIC, OR EQUIVALENT, OVER JOINT BETWEEN PAVING.
14. PERFORATED UNDERDRAIN PIPE SHALL MEET THE WSDOT STANDARD SPECIFICATION 7-01.3(2).

SANITARY SEWER SYSTEMS:

1. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF FERNDALE STANDARD SPECIFICATIONS AND DETAILS, A.P.W.A. STANDARD SPECIFICATIONS, AND WSDOT STANDARD SPECIFICATIONS, MOST RECENT EDITIONS. SANITARY SEWER SYSTEM INSTALLATION, BOTH PUBLIC AND PRIVATE, IS SUBJECT TO CITY REVIEW AND APPROVAL.
2. ALL WORK MUST BE INSPECTED TO THE SATISFACTION OF THE CITY OF FERNDALE. 24 HOUR NOTICE MUST BE GIVEN PRIOR TO STARTING WORK. TESTING OF THE SEWER SYSTEM AND ALL CONNECTIONS TO EXISTING MAINS SHALL BE PERFORMED IN THE PRESENCE AND UNDER THE SUPERVISION OF A CITY OF FERNDALE REPRESENTATIVE.
3. SANITARY SEWER MAINS SHALL BE A MINIMUM 8 INCH DIAMETER PVC PIPE (SDR-35) CONFORMING TO THE PROVISIONS OF ASTM D 3034 AND INSTALLED TO CITY SPECIFICATIONS.
4. SANITARY SEWER PIPE BEDDING SHALL BE PEA GRAVEL PER COFDS SS-1. ALL TRENCHES SHALL BE BACKFILLED WITH CLASS B BANK RUN GRAVEL WITHIN CITY RIGHT OF WAY AND TRAVELED WAYS OUTSIDE OF RIGHT OF WAY (ACCESS EASEMENTS) AND SHALL BE COMPACTED TO A MINIMUM DENSITY OF 95% MODIFIED PROCTOR. USE OF SUITABLE NATIVE BACKFILL OUTSIDE OF TRAVELED WAY SHALL BE SUBJECT TO APPROVAL BY THE CITY.
5. ALL MANHOLES SHALL BE INSTALLED PER CITY OF FERNDALE STANDARD DETAILS AND SHALL BE PRE-CHANNELLED. MANHOLE CONES ARE TO BE OFFSET SUCH THAT LADDER RUNGS ARE PARALLEL TO THE FLOW.
6. ALL SIDE SEWERS SHALL BE INSTALLED PER CITY OF FERNDALE STANDARD DETAILS SS-6, SS-8 OR SS-13, EXCEPT THAT SINGLE SIDE SEWERS SHALL HAVE A MINIMUM DIAMETER OF 4".
7. CONTRACTOR SHALL EXTEND SEWER STUBS 5 FT BEYOND UTILITY CORRIDOR OR 15 FEET BEYOND RIGHT-OF-WAY LINE.
8. EACH SIDE SEWER STUB SHALL BE CAPPED WITH A WATERTIGHT PLUG. EACH STUB SHALL BE MARKED FOR LOCATION WITH A 2" DIA. PVC PIPE (MIN. SCHEDULE 40) WITH THE TOP 18" PAINTED GREEN AND STENCILED WITH THE WORD "SEWER" AND THE PIPE INVERT INDICATED. THE LOCATION MARKER SHALL BE CONNECTED TO THE SERVICE STUB BY A #12 COPPER WIRE.
9. CURRENT SEPTIC SYSTEM MUST BE ABANDONED IN ACCORDANCE TO COUNTY / HEALTH DEPARTMENT REGULATIONS. PROOF OF HEALTH DEPARTMENT APPROVAL WILL BE REQUIRED PRIOR TO OBTAINING CITY SEWER SERVICE AND OR FINAL PLAT APPROVAL.

CITY OF FERNDAL TESC NOTES:

1. STABILIZATION & SEDIMENT TRAPPING. ALL EXPOSED SOILS SHALL BE STABILIZED BY SUITABLE APPLICATION OF BMP'S. FROM OCTOBER 1 TO APRIL 30, NO SOILS SHALL REMAIN UNEXPOSED FOR MORE THAN 2 DAYS. FROM MAY 1 TO SEPTEMBER 30, NO SOILS SHALL REMAIN EXPOSED FOR MORE THAN 7 DAYS. PRIOR TO LEAVING THE SITE, STORMWATER RUNOFF SHALL PASS THROUGH A SEDIMENT POND, TRAP OR OTHER APPROPRIATE BMP.
2. DELINEATE CLEARING & EASEMENT LIMITS. IN THE FIELD, STAKE AND FLAG CLEARING LIMITS AND/OR ANY EASEMENTS, SETBACKS, SENSITIVE CRITICAL AREAS AND THEIR BUFFERS, TREES AND DRAINAGE COURSE.
3. PROTECTION OF ADJACENT PROPERTIES. PROPERTIES ADJACENT TO THE PROJECT SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION.
4. TIMING & STABILIZATION OF SEDIMENT TRAPPING MEASURES. SEDIMENT PONDS AND TRAP PERIMETER SEDIMENT BARRIERS, AND OTHER BMP'S INTENDED TO TRAP SEDIMENT ON-SITE SHALL BE CONSTRUCTED AS A FIRST STEP IN GRADING. THESE BMP'S SHALL BE FUNCTIONAL BEFORE LAND DISTURBING ACTIVITIES TAKE PLACE. EARTH STRUCTURES SUCH AS DAMS, DAKES AND DIVERSIONS SHALL BE SEED AND MULCH PLANTED ACCORDING TO THE TIMING INDICATED IN NO. 1 ABOVE.
5. CUT & FILL SLOPES. CUT AND FILL SLOPES SHALL BE DESIGNED AND CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION. IN ADDITION, SLOPES SHALL BE STABILIZED IN ACCORDANCE WITH NO. 1 ABOVE.
6. CONTROLLING OFF-SITE EROSION. PROPERTIES AND WATERWAYS DOWNSTREAM FROM ANY DEVELOPMENT SHALL BE PROTECTED FROM EROSION DUE TO INCREASES IN THE VOLUME, VELOCITY AND PEAK PERCENTAGE OF STORMWATER RUNOFF FROM THE PROJECT SITE.
7. STABILIZATION OF TEMPORARY CONVEYANCE CHANNELS & OUTLETS. ALL TEMPORARY OFF-SITE CONVEYANCE CHANNELS SHALL BE DESIGNED, CONSTRUCTED AND STABILIZED TO PREVENT EROSION FROM THE EXPECTED VELOCITY OF FLOW FROM A 2-YEAR, 24-HOUR FREQUENCY STORM FOR THE DEVELOPED CONDITION. STABILIZATION ADEQUATE TO PREVENT EROSION OF OUTLETS, ADJACENT STREAMBANKS, SLOPES AND DOWNSTREAM REACHES SHALL BE PROVIDED AT THE OUTLETS OF ALL CONVEYANCE SYSTEMS.
8. STORM DRAIN INLET PROTECTION. ALL STORM DRAIN INLETS MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT STORMWATER RUNOFF SHALL NOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
9. UNDERGROUND UTILITY CONSTRUCTION. THE CONSTRUCTION OF UNDERGROUND UTILITY LINES SHALL BE SUBJECT TO THE FOLLOWING CRITERIA: WHERE FEASIBLE, NO MORE THAN 500 FEET OF TRENCH SHALL BE OPENED AT ONE TIME. WHERE CONSISTENT WITH SAFETY AND SPACE CONSIDERATIONS, EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF DITCHES; AND TRENCH DEWATERING DEVICES SHALL DISCHARGE INTO A SEDIMENT TRAP OR SEDIMENT POND.

10. CONSTRUCTION ACCESS ROADS. WHEREVER CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED ROADS, PROVISIONS MUST BE MADE TO MAINTAIN THE TRAVEL SURFACE OF SEDIMENT (MUD) ON THE PAVED ROAD. IF SEDIMENT IS TRANSPORTED ONTO A ROAD SURFACE, IT SHALL BE REMOVED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM ROADS BY SHOULDER CLEANING AND BE TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY IF SEDIMENT IS REMOVED IN THIS MANNER.
11. REMOVAL OF TEMPORARY BMP'S. ALL TEMPORARY EROSION AND SEDIMENT CONTROL BMP'S SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL STABILIZATION IS ACHIEVED OR AFTER TEMPORARY BMP'S ARE NO LONGER NEEDED. TRAPPED SEDIMENT SHALL BE REMOVED AND STABILIZED ON SITE. DISTURBED SOIL AREAS RESULTING FROM REMOVAL SHALL BE PERMANENTLY STABILIZED.
12. CONSTRUCTION SITES. DEWATERING DEVICES SHALL DISCHARGE INTO A SEDIMENT TRAP OR SEDIMENT POND.
13. CONTROL OF POLLUTANTS OTHER THAN SEDIMENT ON CONSTRUCTION SITES. ALL POLLUTANTS OTHER THAN SEDIMENT THAT OCCUR ON-SITE DURING CONSTRUCTION SHALL BE HANDLED AND DISPOSED OF IN A MANNER THAT DOES NOT CAUSE CONTAMINATION OF STORMWATER.
14. MAINTENANCE. ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL BMP'S SHALL BE MAINTAINED AND REPAIRED AS NEEDED TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION.
15. FINANCIAL LIABILITY. PERFORMANCE BONDING OR OTHER APPROPRIATE FINANCIAL INSTRUMENTS, SHALL BE REQUIRED FOR ALL PROJECTS TO ENSURE COMPLIANCE WITH THE APPROVED TESC PLAN.
16. ALL SITE GRADING SHALL BE COMPLETED IN ACCORDANCE WITH APPENDIX J OF THE 2012, INTERNATIONAL BUILDING CODE.
17. SITE GRADING SHALL BE MONITORED BY GEOTECH SERVICES TO ENSURE THE FILLS WERE PERFORMED AND RECORDED PER APPENDIX J NOTED IN THE ABOVE COMMENT.
18. WORK PERFORMED OUTSIDE CITY RIGHT-OF-WAY ON PRIVATE PROPERTY REQUIRES PROJECT CERTIFICATION BY THE ENGINEER OF RECORD. THE ENGINEER OF RECORD SHALL DETERMINE AN INSPECTION SCHEDULE TO BE CARRIED OUT BY HIMSELF OR HERSELF AND/OR QUALIFIED DESIGNEE INCLUDING GEOTECHNICAL INSPECTIONS AND DOCUMENTATION SUPPORT.
19. FOR PROJECT ACCEPTANCE THE ENGINEER OF RECORD IS REQUIRED TO SUBMIT A FINAL AS-BUILT GRADING PLAN FOR CITY REVIEW AND APPROVAL THAT INCLUDES THE FOLLOWING STATEMENTS:

AS THE ENGINEER OF RECORD, I HEREBY CERTIFY THAT THE IMPROVEMENTS COMPLETED AT 5445 PORTAL WAY FOR FLAX 4-LIFE AND 6407 PORTAL WAY FOR ALPINE INVESTMENTS HAVE BEEN CONSTRUCTED IN CONFORMANCE WITH THE PLANS APPROVED BY THE PUBLIC WORKS DIRECTOR AND IN ACCORDANCE WITH THE SPECIFICATIONS ADOPTED BY THE CITY OF FERNDALE.
20. A STORMWATER MAINTENANCE PLAN MUST BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL AT PROJECT COMPLETION INCLUDING AN 11X17 AS-BUILT DRAWING OF THE STORMWATER FACILITIES IN CONFORMANCE WITH THE ATTACHED STORMWATER MAINTENANCE MANUAL CHECKLIST FOR THE CONVEYANCE SYSTEM LOCATED OUTSIDE CITY R/W THAT MUST BE PRIVATELY MAINTAINED.

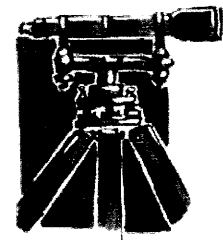
EROSION AND SEDIMENT CONTROL GENERAL NOTES:

EROSION CONTROL METHODS AND MATERIALS SHALL MEET THE REQUIREMENTS OF SECTION 8-01 OF THE 2012 WSDOT/APWA STANDARD SPECIFICATIONS, THE REQUIREMENTS SET FORTH IN VOLUME II OF THE "STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON BY THE WASHINGTON STATE DEPARTMENT OF ECOLOGY, CURRENT EDITION, THE CITY OF FERNDALE DEVELOPMENT STANDARDS, THE PROJECT SWPPP AND THIS PLAN, WITH THE MOST EFFECTIVE REQUIREMENTS TAKING PRECEDENCE. THE CONTRACTOR SHALL FOLLOW RECOMMENDATIONS MADE BY SUPPLIERS AND MANUFACTURERS FOR ALL MATERIALS AND EQUIPMENT USED.

THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO PREVENT SILTY STORMWATER FROM EXITING THE SITE. IF SILT LADEN STORMWATER EXITS THE SITE, THE ENGINEER SHALL STOP WORK ON THE JOB. IT IS THE CONTRACTOR'S RESPONSIBILITY TO WORK WITH THE PROJECT ENGINEER OR LOCAL JURISDICTION TO COORDINATE FURTHER EROSION CONTROL MEASURES, NOT SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN, THAT MAY BE NECESSARY TO CONTROL SITE RUNOFF. THE EXISTING AND PROPOSED STORM SYSTEMS SHALL BE CLEANED AND MAINTAINED THROUGHOUT CONSTRUCTION AND UNTIL ALL ON-SITE SOILS HAVE BEEN STABILIZED.

AT THE END OF ALL SITE CONSTRUCTION, THE CONTRACTOR SHALL FLUSH OUT ALL DEBRIS FROM THE STORM SYSTEM INSTALLED ON-SITE. MATERIAL FLUSHED FROM THE STORM SYSTEM SHALL BE DISPOSED OF BY THE CONTRACTOR AT AN APPROVED DISPOSAL SITE.

△	SUBMITTAL 1	RS	5-06-2019
△	SUBMITTAL 2	RS	5-08-2019
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△			
△			
△			
NO.	REVISION	BY	DATE



**LDES, INC.**  
5160 INDUSTRIAL PL. #108  
FERNDAL, WA 98248  
PHONE 360-383-0620  
FAX 360-383-0639

JOB NO.:	1795
DWG. NAME:	
DESIGNED BY:	RS
DRAWN BY:	RS
CHECKED BY:	RL

**RUBICON HOMES**  
6240 CHURCH ROAD  
FERNDAL, WA 98248

APPROVED

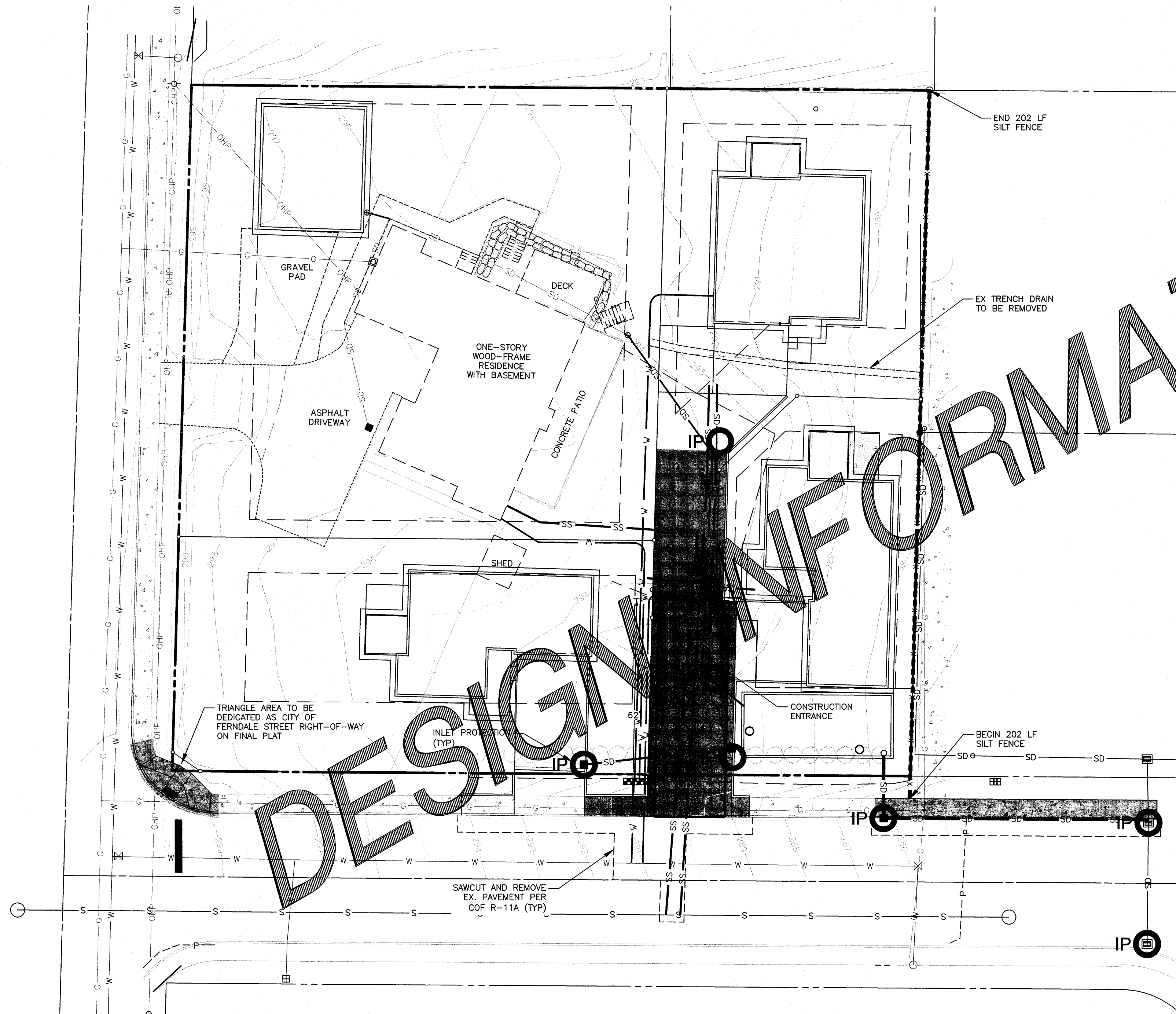
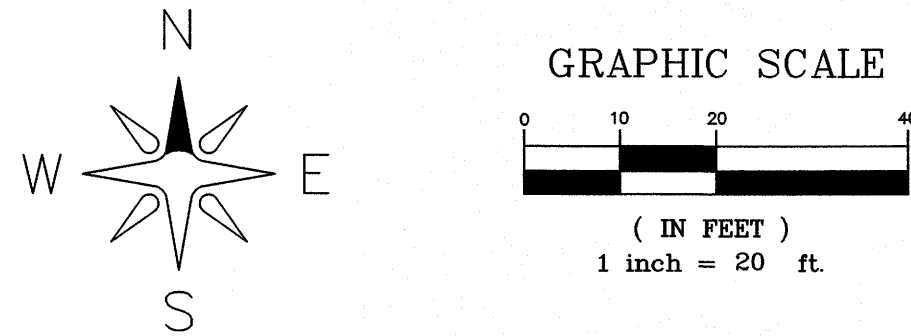
MAY 15 2019

BY CITY OF FERNDAL  
PUBLIC WORKS DEPARTMENT

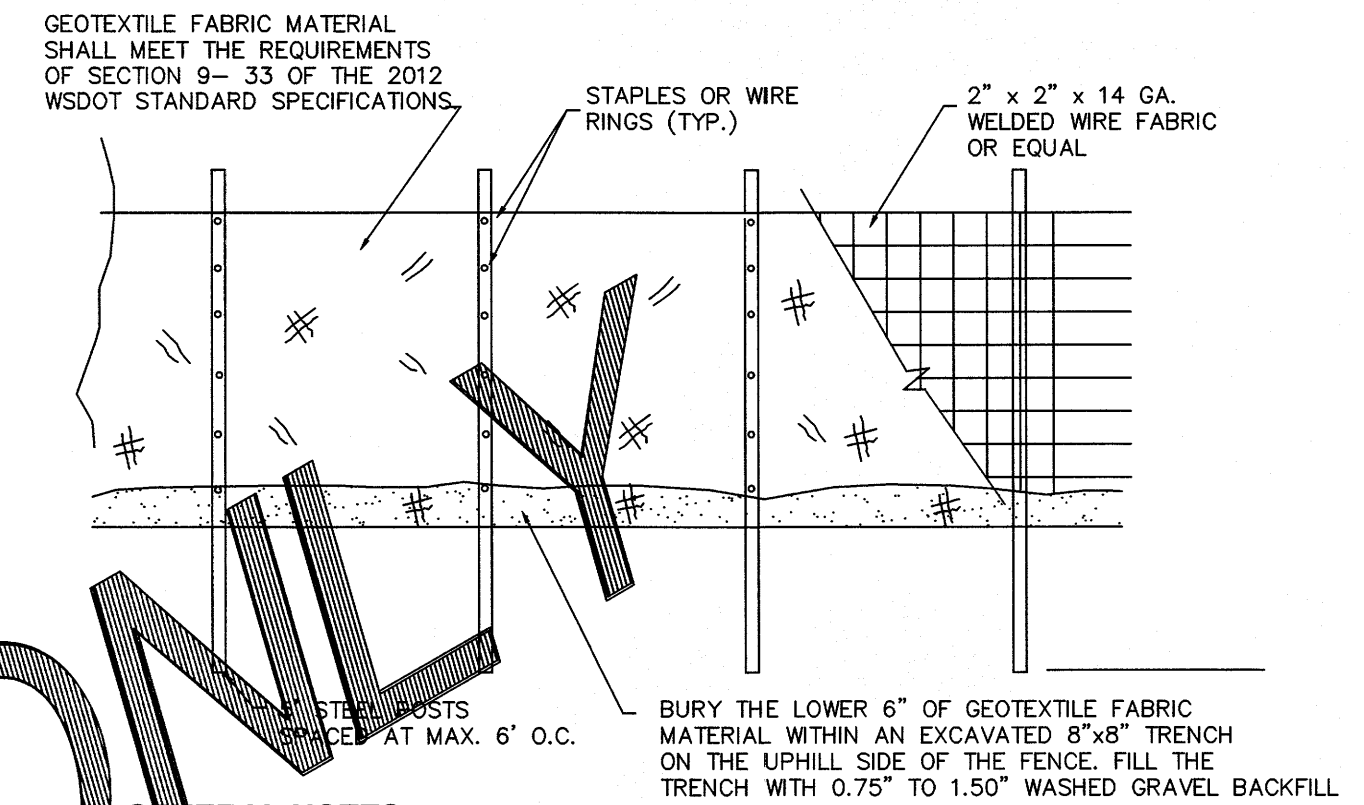
**CITY OF FERNDAL GENERAL  
NOTES AND TESC NOTES**  
LYNCH SHORT PLAT  
6240 CHURCH ROAD, FERNDAL WA 98248  
WITHIN SECTION 18, TOWNSHIP 39N, RANGE 2E, W.M.

SHEET  
**03**  
OF  
**12**





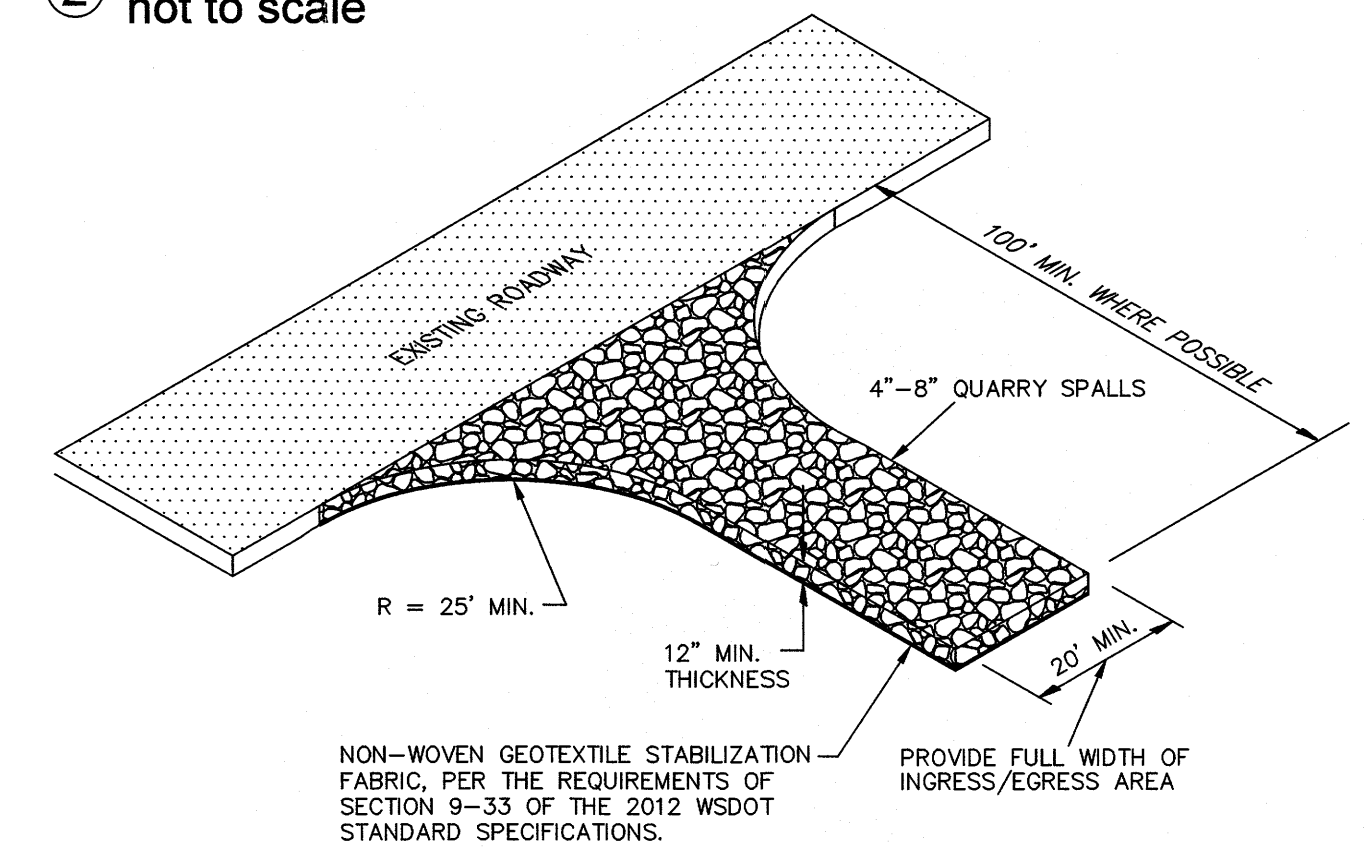
① SILT FENCE DETAIL (BASED ON FERNDAL ST-10)  
not to scale



GENERAL NOTES:

1. ANY DAMAGE TO FENCING SHALL BE REPAIRED IMMEDIATELY.
2. IF CONCENTRATED FLOWS ARE EVIDENT UPHILL OF THE FENCE, THEN THE WATER MUST BE INTERCEPTED AND CONVEYED TO A FULLY-FUNCTIONING SEDIMENT TRAP, POND, OR CONVEYANCE SYSTEM.
3. IT IS IMPORTANT TO PERIODICALLY CHECK THE UPHILL SIDE OF FENCING FOR SIGNS OF CLOGGING. IF CLOGGING OCCURS, THE FENCE WILL ACT AS A BARRIER TO FLOW AND WILL CAUSE CHANNELIZATION PARALLEL TO THE FENCE. TO REMEDY THIS, THE CONTRACTOR SHALL REPLACE THE FENCE AND/OR REMOVE THE TRAPPED SEDIMENT.
4. SILT FENCING SHALL BE CONSTRUCTED DIRECTLY AFTER CLEARING AND GRUBBING IS COMPLETE. THE FENCE SHALL ONLY BE REMOVED WHEN CONSTRUCTION OF UTILITIES DEEMS IT ABSOLUTELY NECESSARY. IMMEDIATELY AFTER UTILITIES ARE IN-PLACE, THE SILT FENCING SHALL BE RECONSTRUCTED.

② QUARRY SPALL CONSTRUCTION ENTRANCE DETAIL  
not to scale

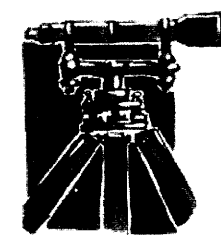
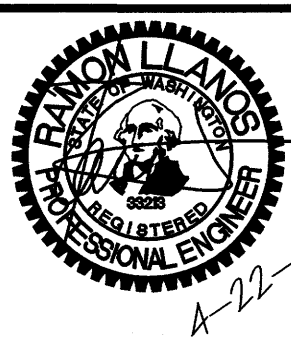


GENERAL NOTES:

1. IF THE ENTRANCE IS NOT PREVENTING SEDIMENT FROM BEING TRACKED ONTO SURROUNDING FACILITIES, THEN ALTERNATIVE MEASURES TO KEEP THE FACILITIES FREE OF SEDIMENT SHALL TO USED. THIS MAY INCLUDE STREET SWEEPING OR UPSIZING THE DIMENSIONS OF THE ENTRANCE.
2. ANY SEDIMENT THAT IS TRACKED ONTO PAVEMENT SHALL BE REMOVED IMMEDIATELY BY SWEEPING. THE SEDIMENT COLLECTED BY SWEEPING SHALL BE REMOVED OR STABILIZED ON-SITE. THE PAVEMENT SHALL NOT BE CLEANED BY WASHING, EXCEPT WHEN SWEEPING IS INEFFECTIVE AND THERE IS A THREAT TO PUBLIC SAFETY. IF IT IS NECESSARY TO WASH PAVEMENT, A SMALL SUMP OR POND SHALL BE CONSTRUCTED AND THE SEDIMENT SHALL BE CONVEYED INTO THE SUMP OR POND.

R:\Common\Land Projects\2017\Y755-Lynch SP.dwg V755 - CIVIL BASE-AB.dwg PLOT DATE:5/14/2019 2:00 PM

△	SUBMITTAL 1	RS	5-08-2019
△	SUBMITTAL 2	RS	5-08-2019
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NO.	REVISION	BY	DATE




**LDES, INC.**  
5160 INDUSTRIAL PL. #108  
FERNDAL, WA 98248  
PHONE 360-383-0620  
FAX 360-383-0639

JOB NO.:	1755
DWG. NAME:	
DESIGNED BY:	RS
DRAWN BY:	RS
CHECKED BY:	RL

**RUBICON HOMES**  
6240 CHURCH ROAD  
FERNDAL, WA 98248

APPROVED

MAY 15 2019

BY   
CITY OF FERNDAL  
PUBLIC WORKS DEPARTMENT

**TESC AND DEMOLITION PLAN**

LYNCH SHORT PLAT

6240 CHURCH ROAD, FERNDAL WA 98248  
WITHIN SECTION 18, TOWNSHIP 39N, RANGE 2E, W.M.

SHEET

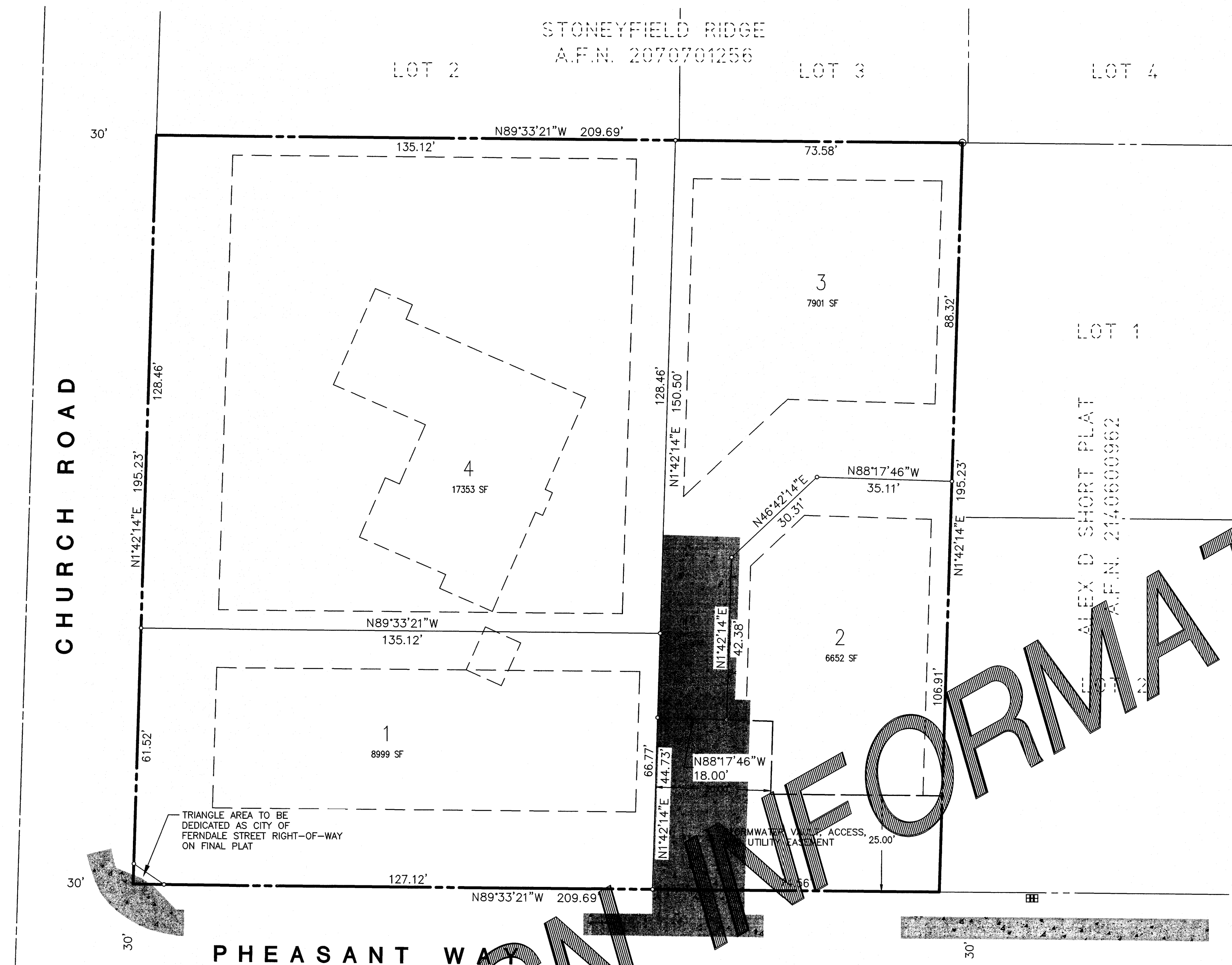
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OF

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RECORD DRAWING





OWNER:		
RUBICON HOMES		
6240 CHURCH ROAD		
FERNDAL, WA 98248		
(360) 920-6389		
ZONING: RS MEDIUM		
ACRES & SQUARE FOOTAGE		
OVERALL PARCEL AREA	0.94 AC 40,926 SF	100.0
PUBLIC & PRIVATE ROADS	X AC	X
TOTAL LOT AREA	0.94 AC 40,926 SF	100.0

LOT	IMPERVIOUS	LANDSCAPE	TOTAL
1	2,879	6,141	9,020
2	4,084	2,568	6,652
3	4,247	3,654	7,901
4	8,445	8,908	17,353
ROW	281	0	281
TOTAL	19,936	21,271	41,207

#### SURVEYOR'S NOTES:

- DATA FOR THIS SURVEY WAS GATHERED BY FIELD TRAVERSE UTILIZING ELECTRONIC DATA COLLECTION ON AUGUST OF 2017.
- EQUIPMENT USED: LEICA MS60: 001" ± 2.0 MM + 5 PPM & LEICA GS14 RTK/WSRN. PRECISION EXCEEDS LINEAR CLOSURES OF 1:10,000 PER WAC 332-130-090
- HORIZONTAL DATA BASED ON THE FERNDAL MONUMENT NETWORK WASHINGTON STATE NORTH ZONE NAD 83/91
- VERTICAL DATUM: NGVD29 (COF MON# 309, ELEV=301.09')
- PURPOSE OF SURVEY: BOUNDARY AND TOPOGRAPHIC SURVEY.
- PARCEL B HAS SINCE BEEN DEDICATED AS PUBLIC RIGHT-OF-WAY AND IS SHOWN HEREON AS PHEASANT WAY.
- IN ACCORDANCE WITH THE REVISED CODE OF WASHINGTON: 58.09 AND WAC CHAPTER 332-130, THIS RECORD OF SURVEY DEPICTS OCCUPATIONAL INDICATORS, SUCH AS FENCES. THESE INDICATORS REPRESENT A POTENTIAL FOR CLAIMS OF UNWRITTEN TITLE. THIS SURVEY DOES NOT RESOLVE ANY OF THE LEGAL OWNERSHIP ISSUES THAT MAY ARISE FROM THESE UNWRITTEN TITLE CLAIMS.
- CONTOUR INTERVALS ARE 1 FOOT AND ARE COMPUTER GENERATED FROM GROUND FIELD TOPOGRAPHY GATHERED FOR THIS SURVEY UTILIZING ELECTRONIC DATA COLLECTION.
- UTILITY LOCATIONS SHOWN HEREON ARE BASED UPON FIELD LOCATION OF THE SURFACE EVIDENCE OF EXISTING STRUCTURES. UNDERGROUND UTILITY LOCATION SERVICES WERE NOT PROVIDED FOR THIS TOPOGRAPHIC SURVEY AND THE UNDERGROUND ROUTING OF REPORTED BURIED UTILITIES HAS NOT BEEN VERIFIED OR CONFIRMED WITH THE UTILITY PURVEYOR. ADDITIONAL UTILITY LOCATIONS AND UNDERGROUND UTILITY LOCATION PAINT MAPPING WILL BE REQUIRED PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.

#### REFERENCE DOCUMENTS:

- CHICAGO TITLE INSURANCE COMPANY SUBDIVISION GUARANTEE NUMBER 245396815.
- LLA TO LOTS A AND 2 UNRUH-IRWIN SHORT PLAT, A.F.N. 910920018
- PLAT OF STONEYFIELD RIDGE, A.F.N. 2070701256
- ALEX D SHORT PLAT, A.F.N. 2140600962

#### LEGAL DESCRIPTION

(PER CHICAGO TITLE INSURANCE COMPANY SUBDIVISION GUARANTEE NUMBER 245396815)

##### PARCEL A:

LOT A, AS DELINEATED ON "LOT LINE ADJUSTMENT TO LOTS 1 AND 2 UNRUH-IRWIN SHORT PLAT," ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 24 OF SHORT PLATS, PAGE 79, UNDER AUDITOR'S FILE NO. 910920018, RECORDS OF WHATCOM COUNTY, WASHINGTON.

SITUATE IN WHATCOM COUNTY, WASHINGTON.

##### PARCEL B:

A NON-EXCLUSIVE EASEMENT FOR INGRESS, EGRESS AND UTILITIES AS DELINEATED ON "LOT LINE ADJUSTMENT TO LOTS 1 AND 2 UNRUH-IRWIN SHORT PLAT," ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 24 OF SHORT PLATS, PAGE 79, UNDER AUDITOR'S FILE NO. 910920018, RECORDS OF WHATCOM COUNTY, WASHINGTON.

SITUATE IN WHATCOM COUNTY, WASHINGTON.

#### CONTROL NOTES:

CITY OF FERNDAL COMPREHENSIVE MAPPING PROGRAM.

BASIS OF BEARING: NAD83/91  
VERTICAL CONTROL: NGVD29

FERN-309: BASIS OF COORDINATE & REFERENCE  
BENCHMARK  
FOUND SURFACE BRASS DISK  
INTERSECTION CHURCH ROAD AND PHEASANT WAY  
NORTHING: 686'019.44'  
EASTING: 1'211'188.08'  
ELEVATION: 301.09'

FERN-310: BASIS OF BEARING  
FOUND SURFACE BRASS DISK  
INTERSECTION CHURCH ROAD AND TYLER LANE  
NORTHING: 686'012.67'  
EASTING: 1'212'061.49'

##### SITE BENCHMARK:

TOP NORTHWEST BOLT FIREHYDRANT  
SHOWN HEREON  
ELEVATION: 288.66'

DESIGN

APPROVED

MAY 15 2019

BY: [Signature]  
CITY OF FERNDAL  
PUBLIC WORKS DEPARTMENT

PRELIMINARY PLAT

LYNCH SHORT PLAT

6240 CHURCH ROAD, FERNDAL WA 98248  
WITHIN SECTION 18, TOWNSHIP 39N, RANGE 2E, WM.

SHEET

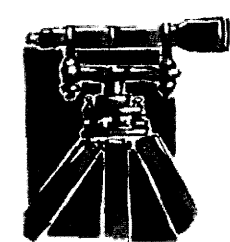
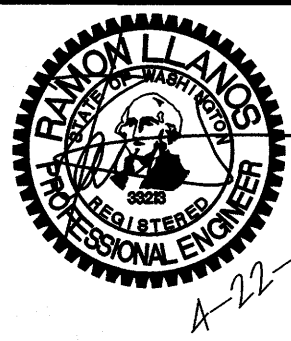
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OF

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RECORD DRAWING

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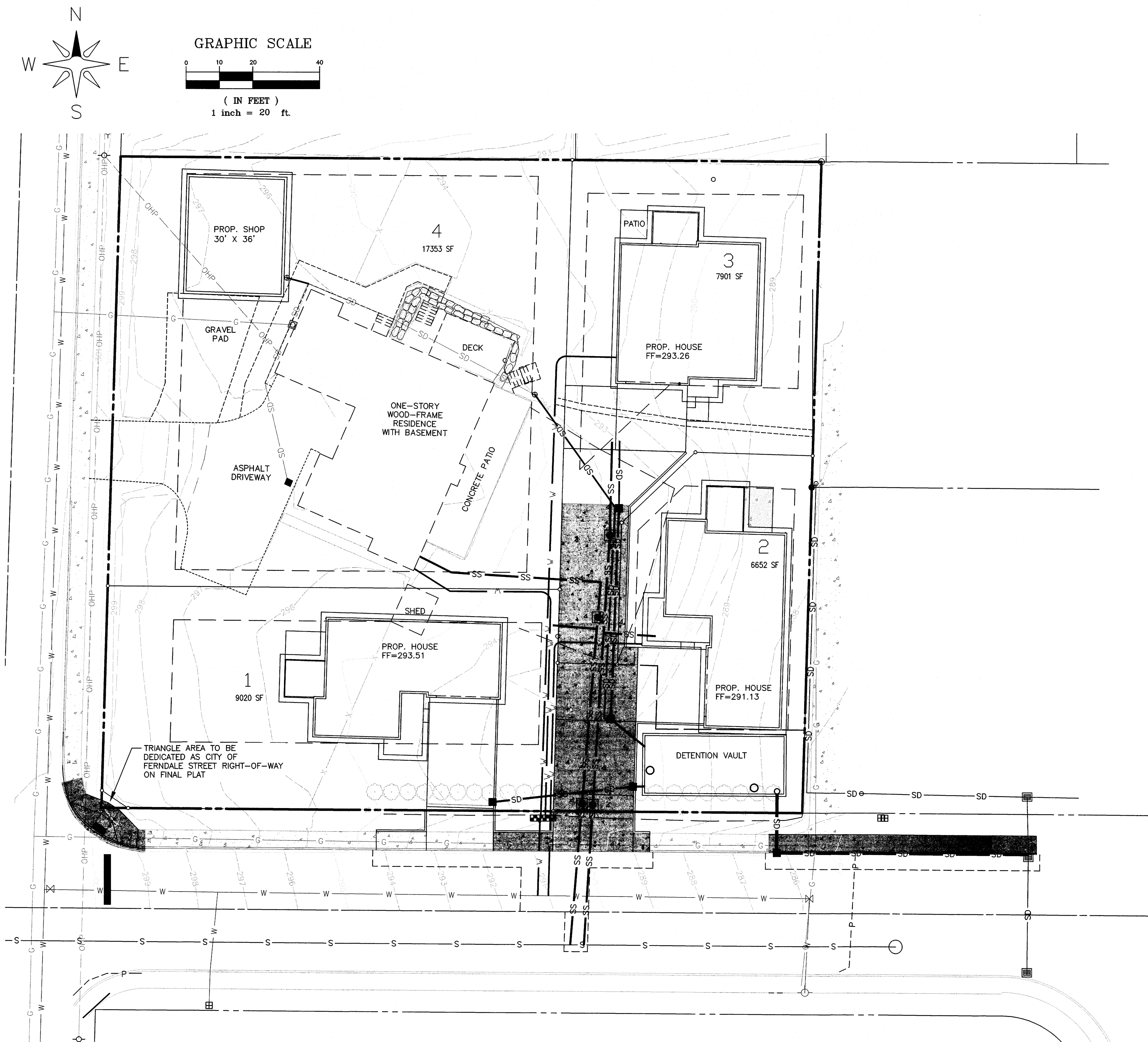


LDES, INC.  
5160 INDUSTRIAL PL. #108  
FERNDAL, WA 98248  
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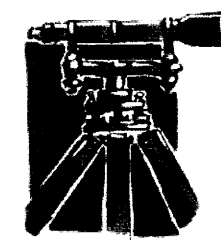
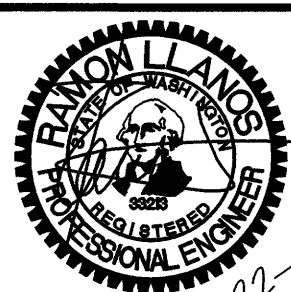
RUBICON HOMES  
6240 CHURCH ROAD  
FERNDAL, WA 98248





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NO.	REVISION	BY	DATE
1	SUBMITTAL 1	RS	5-06-2019
2	SUBMITTAL 2	RS	5-08-2019
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5			



**LDES, INC.**  
5160 INDUSTRIAL PL. #108  
FERNDAL, WA 98248  
PHONE 360-383-0620  
FAX 360-383-0639

JOB NO.:	1755
DWG. NAME:	
DESIGNED BY:	RS
DRAWN BY:	RS
CHECKED BY:	RL

**RUBICON HOMES**  
6240 CHURCH ROAD  
FERNDAL, WA 98248

APPROVED

MAY 15 2019

BY: CITY OF FERNDAL  
PUBLIC WORKS DEPARTMENT

## COMPOSITE UTILITY PLAN

LYNCH SHORT PLAT

6240 CHURCH ROAD, FERNDAL WA 98248  
WITHIN SECTION 18, TOWNSHIP 39N, RANGE 2E, W.M.

SHEET

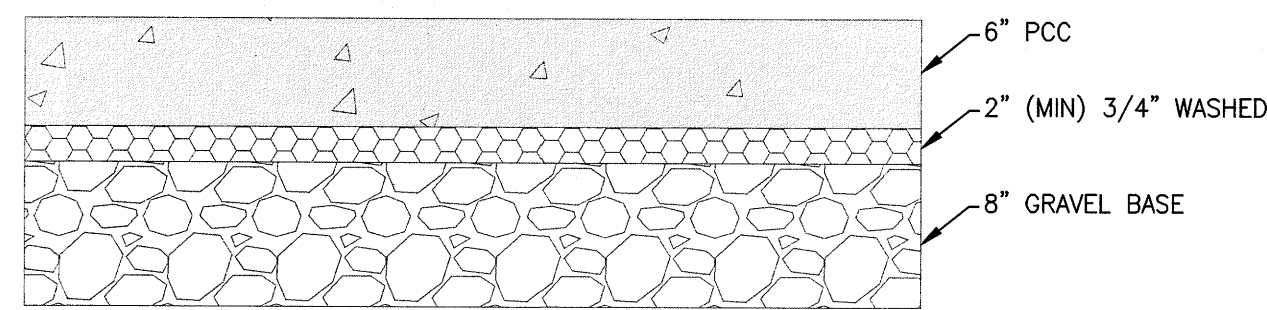
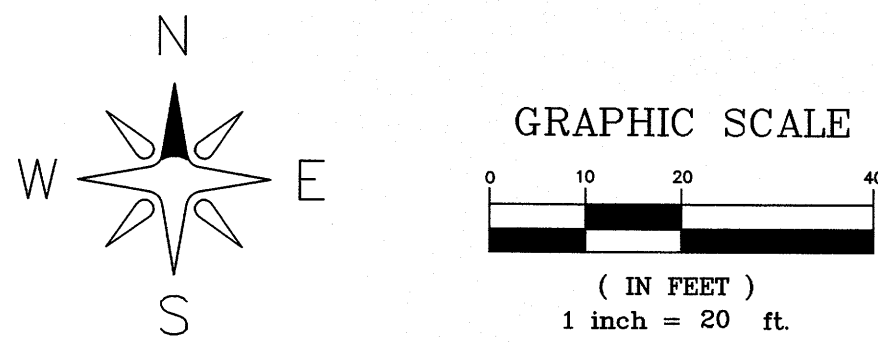
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OF

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RECORD DRAWING





ON-SITE PAVEMENT SECTION  
NTS

BMP T5.13 - POST CONSTRUCTION SOIL  
QUALITY AND DEPTH

ALL AREAS SUBJECT TO CLEARING AND GRADING THAT HAVE NOT BEEN COVERED BY IMPERVIOUS SURFACE, INCORPORATED INTO A DRAINAGE FACILITY OR ENGINEERED AS STRUCTURAL FILL OR SLOPE SHALL, AT PROJECT COMPLETION, SHALL DEMONSTRATE THE FOLLOWING:

**SOIL QUALITY:**  
A TOPSOIL LAYER WITH A MINIMUM ORGANIC MATTER CONTENT OF 10% DRY WEIGHT IN PLANTING BEDS, AND 5% ORGANIC MATTER CONTENT IN TURF AREAS, AND A PH FROM 6.0 AND 8.0 OR MATCHING THE PH OF THE UNDISTURBED SOIL. USE COMPOST AND OTHER MATERIALS THAT MEET THE COMPOST GUIDELINES.

**SOIL DEPTH:**  
THE TOPSOIL LAYER SHALL HAVE A MINIMUM DEPTH OF EIGHT INCHES EXCEPT WHERE TREE ROOTS LIMIT THE DEPTH OF INCORPORATION OF AMENDMENTS NEEDED TO MEET THE CRITERIA. SUBSOILS BELOW THE TOPSOIL LAYER SHOULD BE SCARIFIED AT LEAST 4 INCHES WITH SOME INCORPORATION OF THE UPPER MATERIAL TO AVOID STRATIFIED LAYERS WHERE FEASIBLE. PLANTING BEDS SHOULD HAVE 2 INCHES OF ORGANIC MATERIAL AS WELL.

**COMPOST GUIDELINES:**  
MEET THE DEFINITION OF "COMPOSTED MATERIAL" IN WAC 173-350-100 AND COMPLIES WITH TESTING PARAMETERS AND OTHER STANDARDS IN WAC 173-350-100. MUST BE PRODUCED AT A PERMITTED COMPOSTING FACILITY. ORGANIC MATTER CONTENT SHALL BE 40% TO 65%. CARBON TO NITROGEN RATIO MUST BE LESS THAN 25:1. THE C:N RATIO MAY BE UP TO 35:1 FOR PLANTINGS COMPOSED ENTIRELY OF PUGET SOUND LOWLAND NATIVE SPECIES AND UP TO 40:1 FOR COARSE COMPOST TO BE USED AS A SURFACE MULCH (NOT IN A SOIL MIX).

**IMPLEMENTATION OPTIONS**

- 1) LEAVE AS MUCH NATIVE VEGETATION AND SOIL AS POSSIBLE AND PROTECT FROM COMPACTION DURING CONSTRUCTION.
- 2) AMEND EXISTING SITE TOPSOIL OR SUBSOIL EITHER AT DEFAULT RATES OR AT A CUSTOM CALCULATED RATES BASED ON TESTS OF THE SOIL AND AMENDMENT.
- 3) IN AREAS REQUIRING CLEARING AND GRADING REMOVE AND STOCKPILE THE DUFF LAYER AND TOPSOIL ON SITE IN A DESIGNATED, CONTROLLED AREA. NOT ADJACENT TO PUBLIC RESOURCES AND CRITICAL AREAS. REPLACE IT PRIOR TO PLANTING AND AMEND IF NEEDED TO MEET THE ORGANIC MATTER OR DEPTH REQUIREMENTS.
- 4) IMPORT TOPSOIL MIX OF SUFFICIENT ORGANIC CONTENT AND DEPTH TO MEET THE REQUIREMENTS.

MORE THAN ONE METHOD MAY BE USED ON DIFFERENT PORTIONS OF THE SAME SITE.

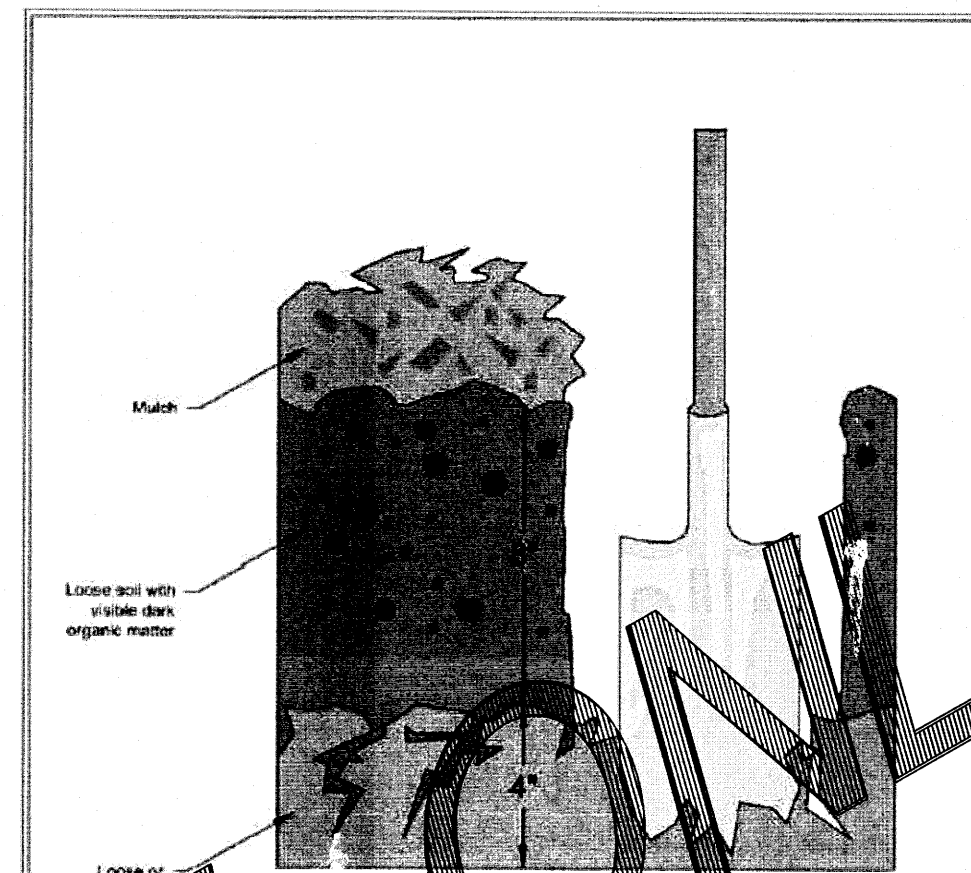
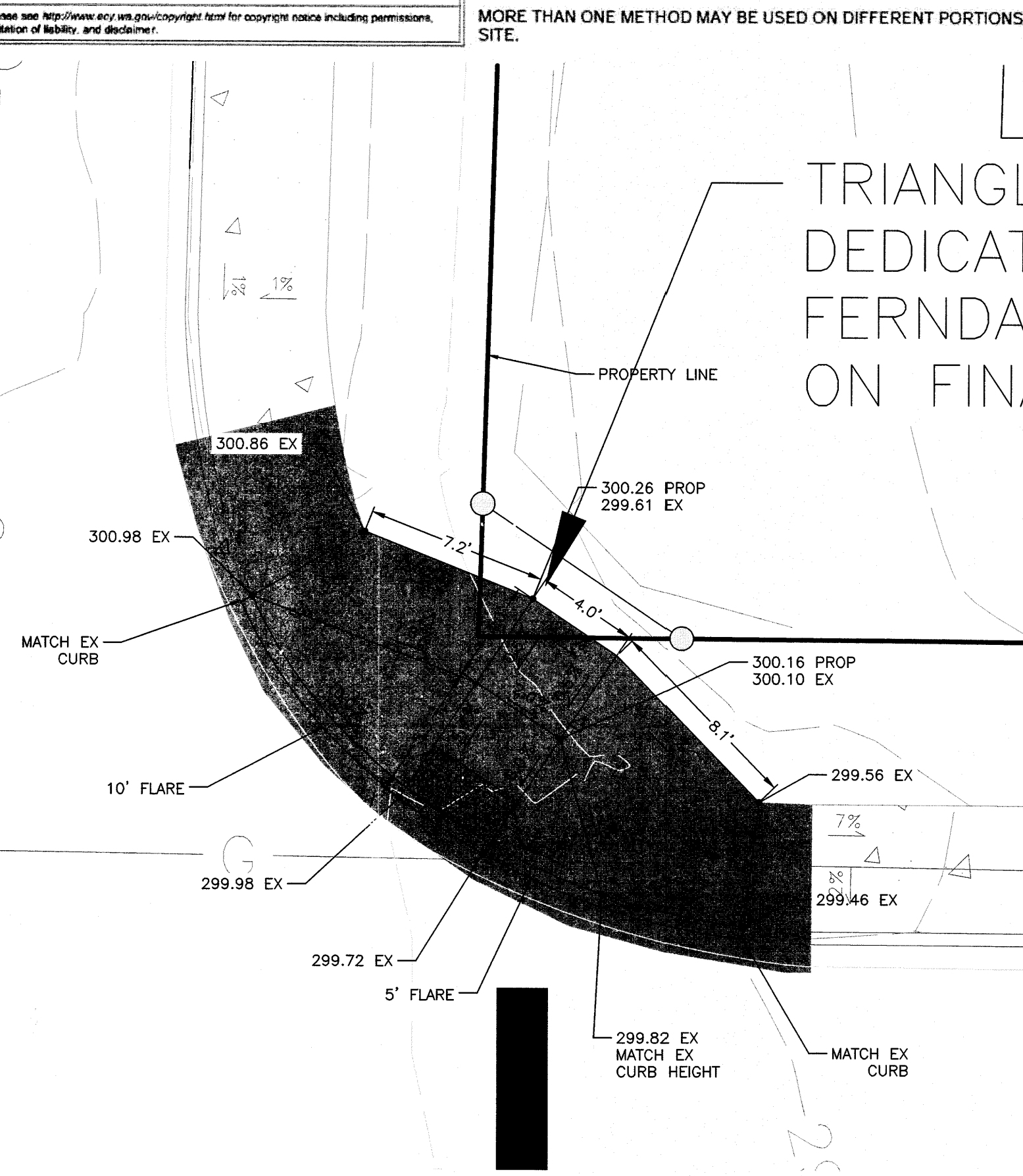


Figure V-5.3.3  
Planting Bed Cross-Section  
Revised January 2018

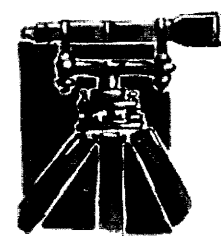


CURB RAMP GRADING

1"=5'

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**LDES, INC.**  
5160 INDUSTRIAL PL. #108  
FERNDAL, WA 98248  
PHONE 360-383-0620  
FAX 360-383-0639

JOB NO.:	1795
DWG. NAME:	
DESIGNED BY:	RS
DRAWN BY:	RS
CHECKED BY:	RL

**RUBICON HOMES**  
6240 CHURCH ROAD  
FERNDAL, WA 98248

APPROVED

MAY 16 2019

BY: CITY OF FERNDAL  
PUBLIC WORKS DEPARTMENT

**GRADING PLAN**

LYNCH SHORT PLAT

6240 CHURCH ROAD, FERNDAL WA 98248  
WITHIN SECTION 18, TOWNSHIP 39N, RANGE 2E, W.M.

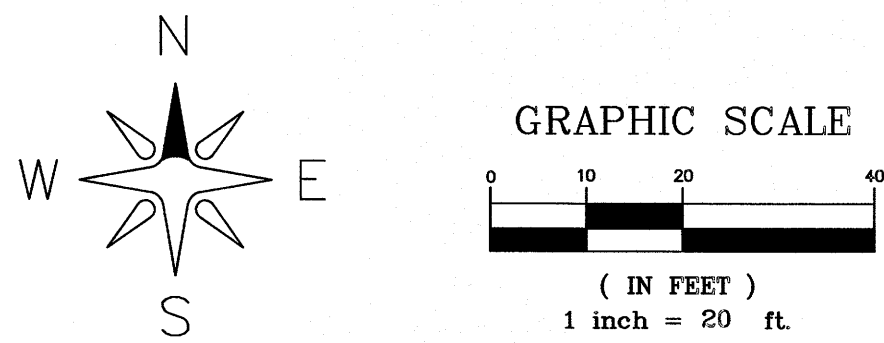
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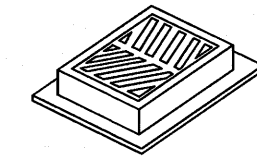
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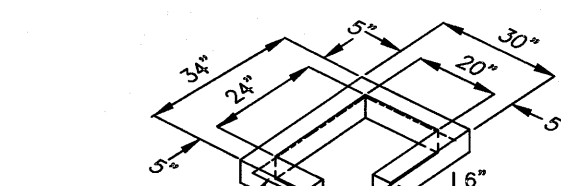




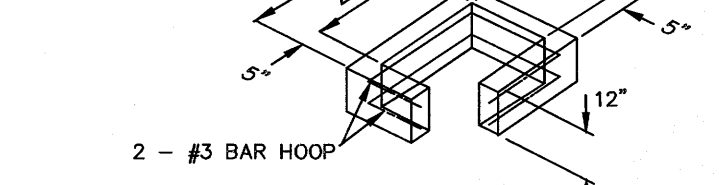
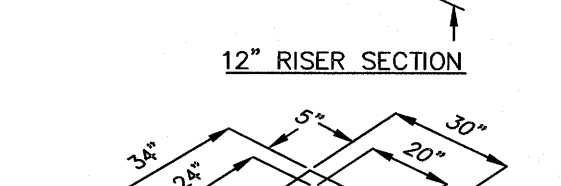
CATCH BASIN TYPE 1  
FRAME GRATE  
(SEE STANDARD PLAN FOR DETAILS)



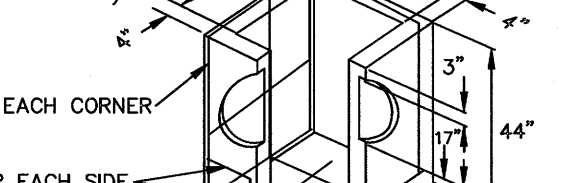
6" RISER SECTION



12" RISER SECTION



PRECAST BASE SECTION  
(MEASUREMENT AT THE TOP OF THE BASE)



#3 BAR EACH CORNER  
#3 BAR EACH SIDE  
#3 BAR EACH WAY

CATCH BASIN

NTS

NOTES:

CONCRETE CATCH BASINS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH ASTM C 478 (ASHTO M 199) & ASTM B90 UNLESS OTHERWISE SHOWN ON PLANS OR NOTED IN THE STANDARD SPECIFICATION.

AS AN ACCEPTABLE ALTERNATE TO REBAR, WELDED WIRE FABRIC HAVING A MINIMUM AREA OF 0.12 SQ. INCHES PER FOOT MAY BE USED. WELDED WIRE FABRIC SHALL COMPLY TO ASTM A 497 (ASHTO M 221). WIRE FABRIC SHALL NOT BE PLACED IN THE KNOCKOUTS.

THE BOTTOM OF THE PRECAST BASE SECTION MAY BE ROUNDED.

PRECAST BASES SHALL BE FURNISHED WITH CUTOOTS OR KNOCKOUTS. KNOCKOUTS SHALL HAVE A WALL THICKNESS OF 2" MIN.

KNOCKOUTS MAY BE ON ALL 4 SIDES WITH MAX. DIAMETER OF 17" FOR CONCRETE INLETS, 20" FOR CATCH BASINS TYPE 1L. KNOCKOUTS MAY EITHER BE ROUND OR D SHAPE. PIPE IS TO BE INSTALLED IN FACTORY SUPPLIED KNOCKOUTS.

CONCRETE INLET/CATCH BASIN FRAME AND GRATE SHALL BE IN ACCORDANCE WITH STANDARD SPECIFICATIONS AND MEET THE STRENGTH REQUIREMENTS OF FEDERAL SPECIFICATION RR-62ID. MATCHING SURFACES SHALL BE FINISHED TO NON-ROCKING FIT.

THE TAPER ON THE SIDES OF THE PRECAST BASE SECTION AND RISER SHALL NOT EXCEED 1/2"-FT.

FRAME AND GRATE MAY BE INSTALLED WITH FLANGE DOWN OR CAST INTO RISER.

THE MAXIMUM DEPTH FROM THE FINISHED GRADE TO THE PIPE INVERT IS 5 FT.

BEDDING SPECIFICATIONS FOR PVC PIPE

THE FOLLOWING SUPPLEMENTAL SPECIFICATIONS ARE TO BE USED IN CONJUNCTION WITH THE WSDOT STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION, CURRENT EDITION:

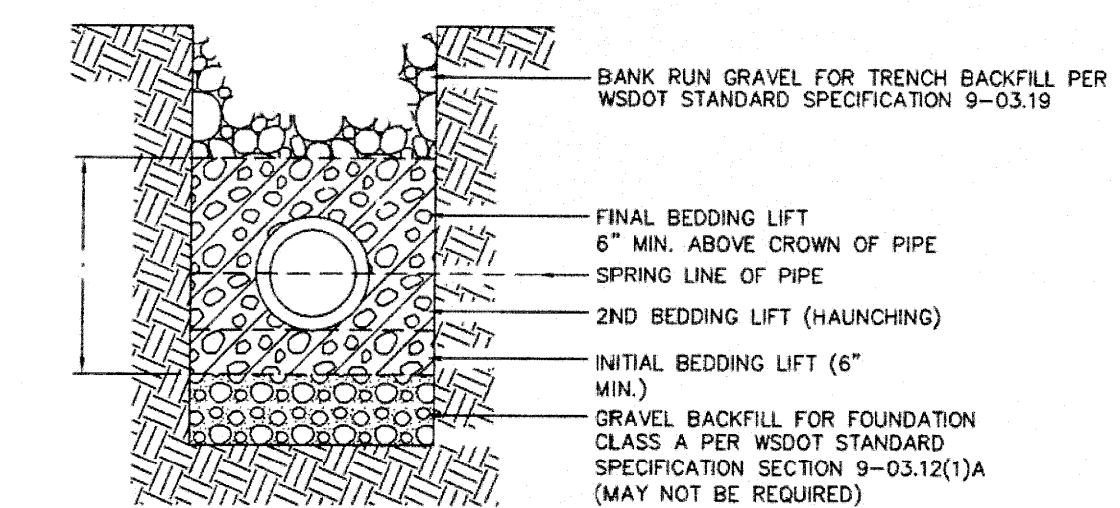
BEDDING FOR SEWERS, DRAINS AND CULVERTS FOR PVC PIPE-

BEDDING MATERIAL FOR PVC PIPE SHALL BE PEA GRAVEL CONFORMING TO THE FOLLOWING SPECIFICATIONS:

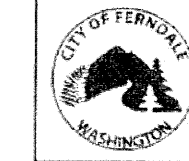
PEA GRAVEL - PEA GRAVEL BEDDING SHALL BE A CLEAN MIXTURE FREE FROM ORGANIC MATTER AND CONFORMING TO THE FOLLOWING GRADATION WHEN TESTED IN ACCORDANCE WITH ASTM D422:

U.S. STANDARD SIEVE SIZE	PERCENTAGE PASSING, BY WT.
3/4"	100
3/8"	95-100
#8	0-10
#200	0-3

BACKFILL - WHENEVER A TRENCH IS EXCAVATED IN THE EXISTING OR PROPOSED ROADWAY, SIDEWALK OR OTHER AREAS WHERE SETTLEMENT WOULD BE DETRIMENTAL, THE ENTIRE TRENCH ABOVE THE PIPE ZONE SHALL BE BACKFILLED WITH BANK RUN GRAVEL BACKFILL TO 95% OF MAXIMUM DENSITY.



NOVEMBER 23, 2016



APPROVED

Public Works Director

8/11/17

Date

PVC PIPE ZONE  
BEDDING  
STANDARD DETAIL ST-15  
NOT TO SCALE

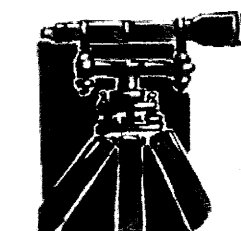
STORM GENERAL NOTES:

- THE ENGINEER OF RECORD HAS ASSESSED THE ESTIMATED FINISH GRADE TOPOGRAPHY AND FEELS A CUTOFF TRENCH IS NOT NECESSARY TO CONTROL POTENTIAL SHEET FLOW DRAINAGE ONTO THE PAVED SHARED DRIVEWAY SURFACE.

RECORD DRAWING

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5160 INDUSTRIAL PL. #108  
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DWG. NAME:	
DESIGNED BY:	RS
DRAWN BY:	RS
CHECKED BY:	RL

RUBICON HOMES  
6240 CHURCH ROAD  
FERNDALE, WA 98248

APPROVED

MAY 15 2019

CITY OF FERNDALE  
PUBLIC WORKS DEPARTMENT

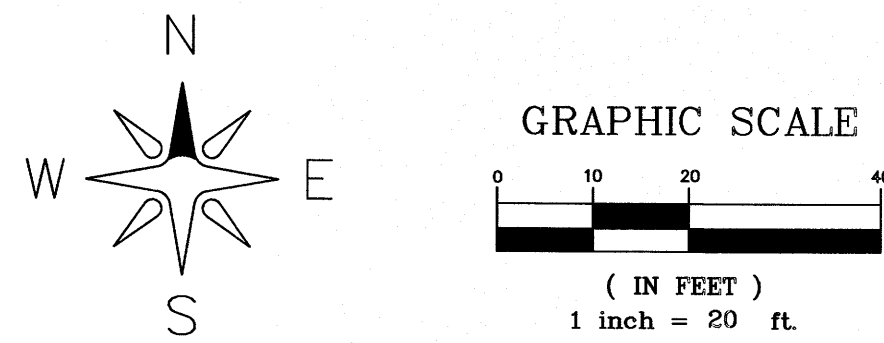
STORM DRAINAGE PLAN

LYNCH SHORT PLAT

6240 CHURCH ROAD, FERNDALE WA 98248  
WITHIN SECTION 18, TOWNSHIP 39N, RANGE 2E, W.M.

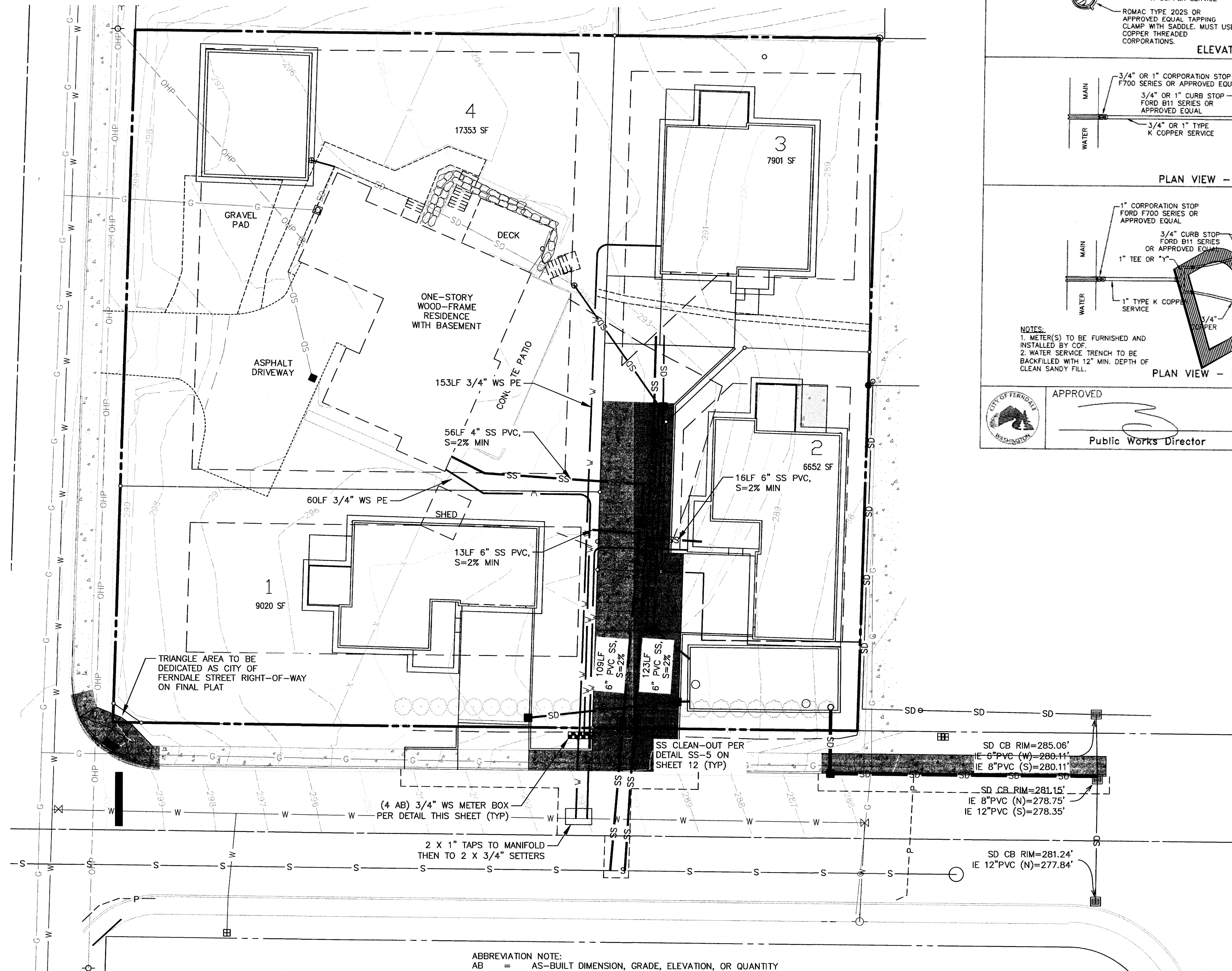
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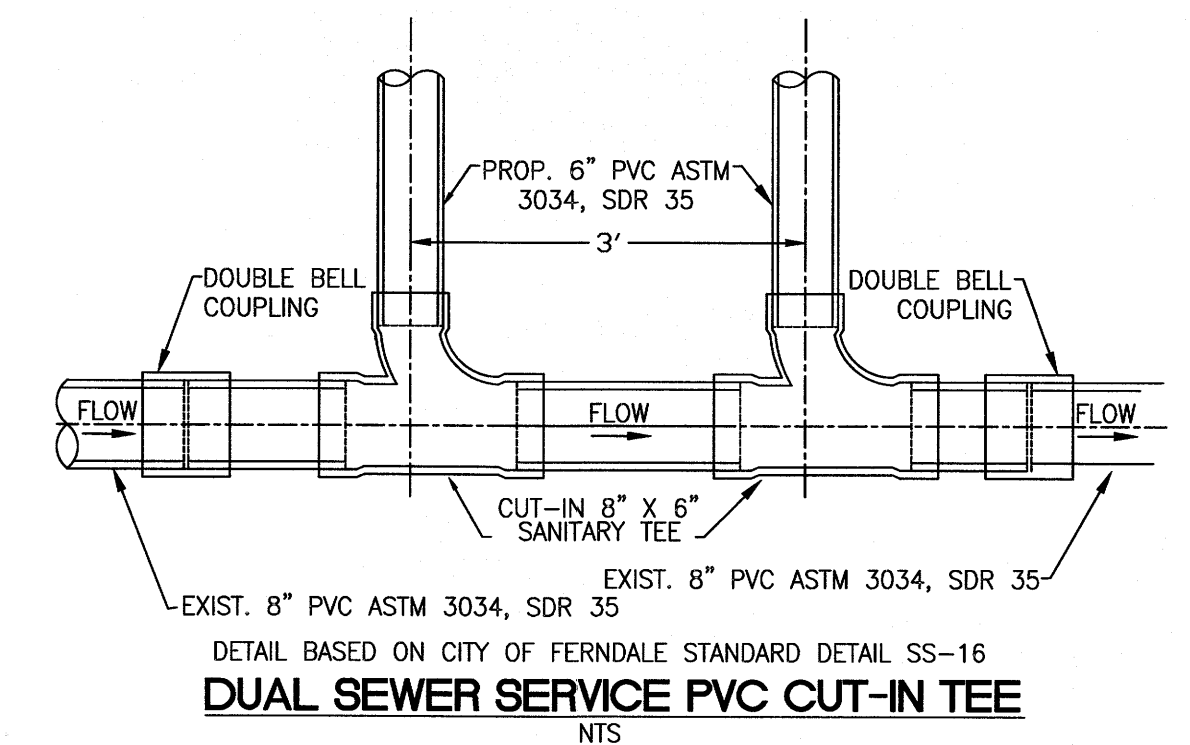
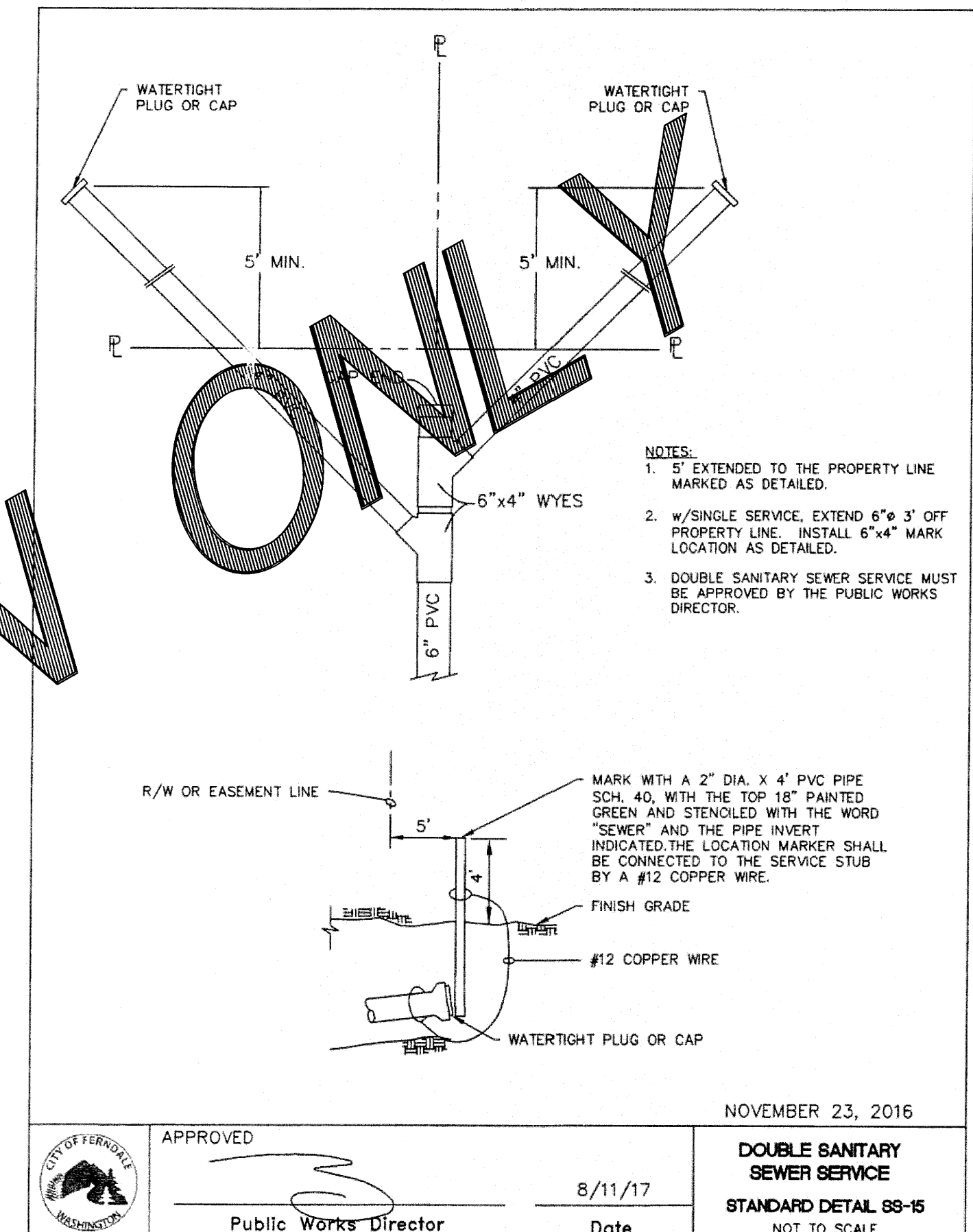
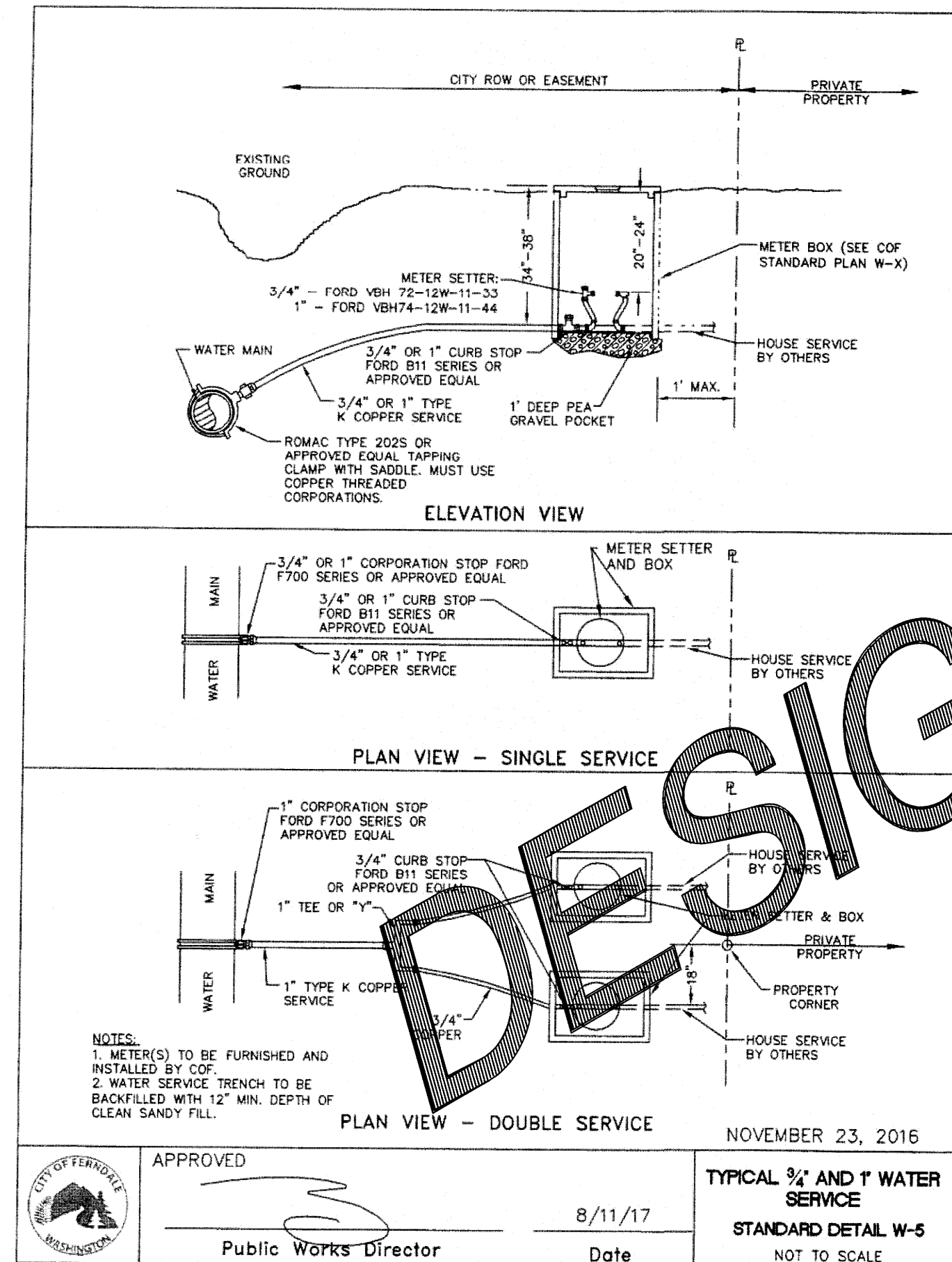


GENERAL NOTES:

1. CURRENT SEPTIC SYSTEM FOR THE EXISTING HOUSE MUST BE ABANDONED IN ACCORDANCE TO COUNTY/HEALTH DEPARTMENT REGULATIONS. PROOF OF HEALTH DEPARTMENT APPROVAL WILL BE REQUIRED PRIOR TO OBTAINING CITY SEWER SERVICE AND OR FINAL PLAT APPROVAL.
2. PRESSURE TESTING REQUIRED FOR 6" SEWER SERVICE EXTENSIONS REQUIRED. INSPECTOR MAY ENTERTAIN ENTIRE LINE AND JOINT CONNECTION IN LIEU OF PRESSURE TEST IF SCHEDULE ALLOWS.



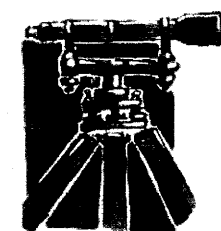
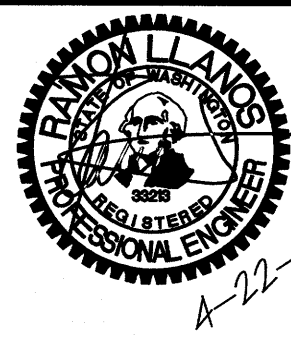
ABBREVIATION NOTE:  
AB = AS-BUILT DIMENSION, GRADE, ELEVATION, OR QUANTITY



RECORD DRAWING

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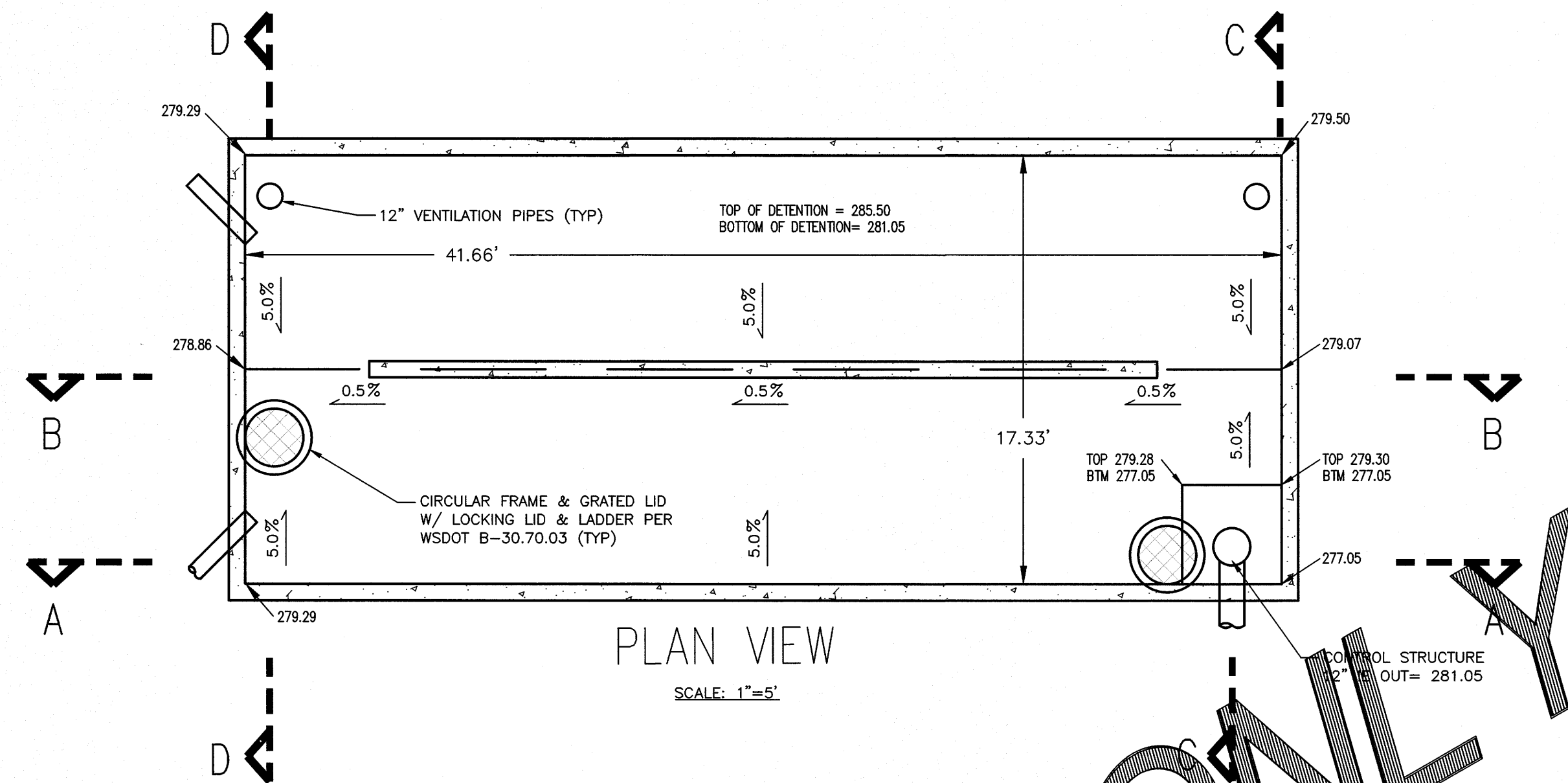
JOB NO.:	1755
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**RUBICON HOMES**  
6240 CHURCH ROAD  
FERNDAL, WA 98248

APPROVED  
MAY 15 2019  
BY [Signature]  
CITY OF FERNDAL  
PUBLIC WORKS DEPARTMENT

**WATER AND SEWER PLAN**  
LYNCH SHORT PLAT  
6240 CHURCH ROAD, FERNDAL WA 98248  
WITHIN SECTION 18, TOWNSHIP 39N, RANGE 2E, W.M.

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OF  
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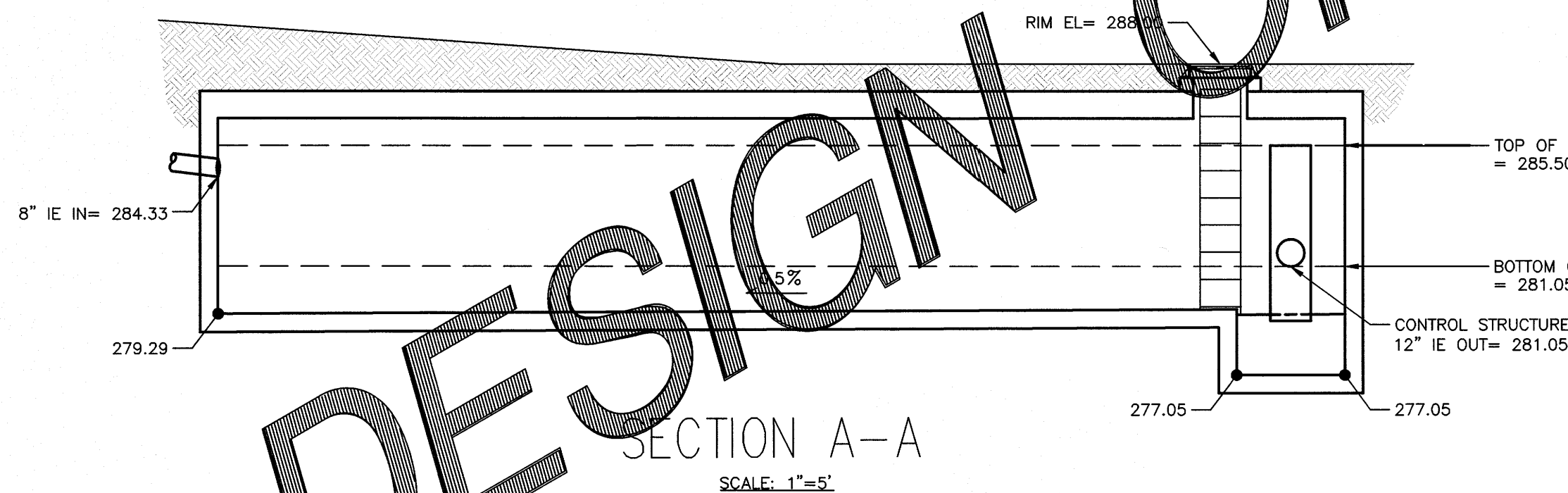


PLAN VIEW

SCALE: 1"=5'

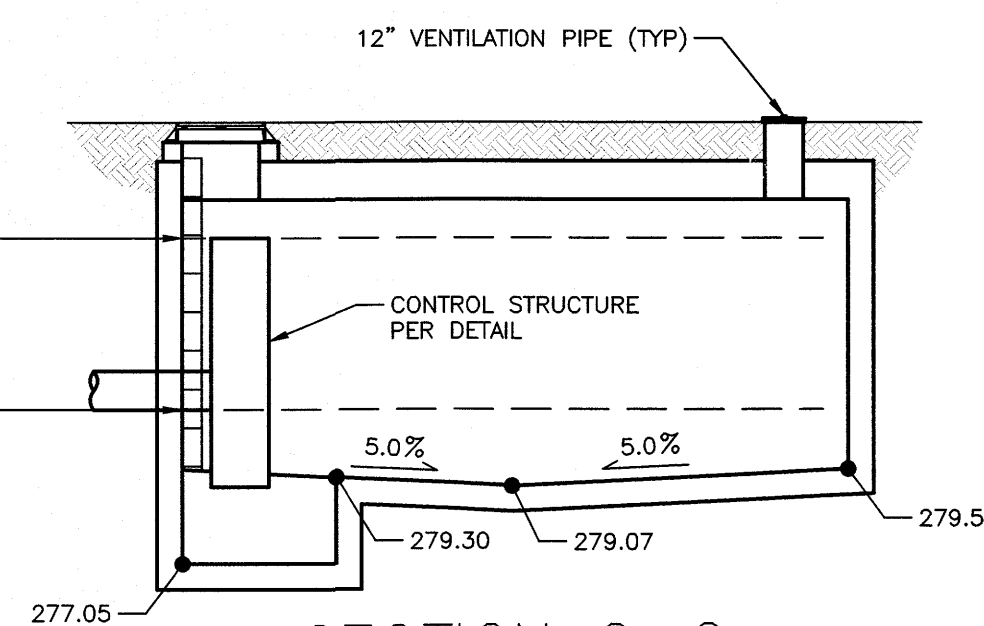
STORMWATER VAULT  
TOP OF DETENTION: 285.50  
BOTTOM OF DETENTION: 281.05  
16.67' WIDE x 41.66' LONG  
4.45' DETENTION

NOTE:  
INSTALL HANGING REMOVABLE CONFINED  
SPACE SIGN UNDER EACH ACCESS LID,  
PER OSHA REQUIREMENTS (TYP).



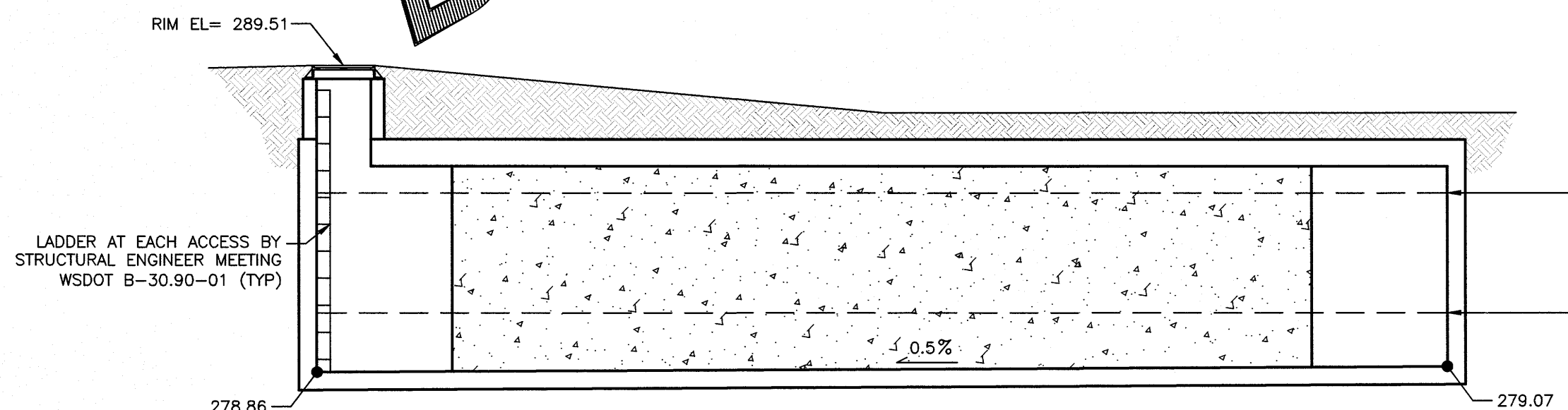
SECTION A-A

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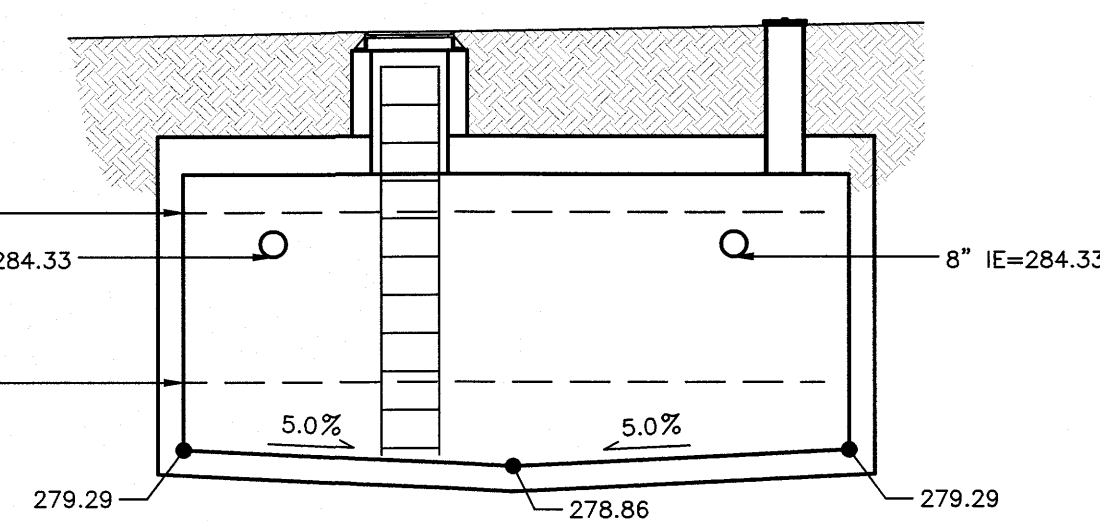
SECTION C-C

SCALE: 1"=5'



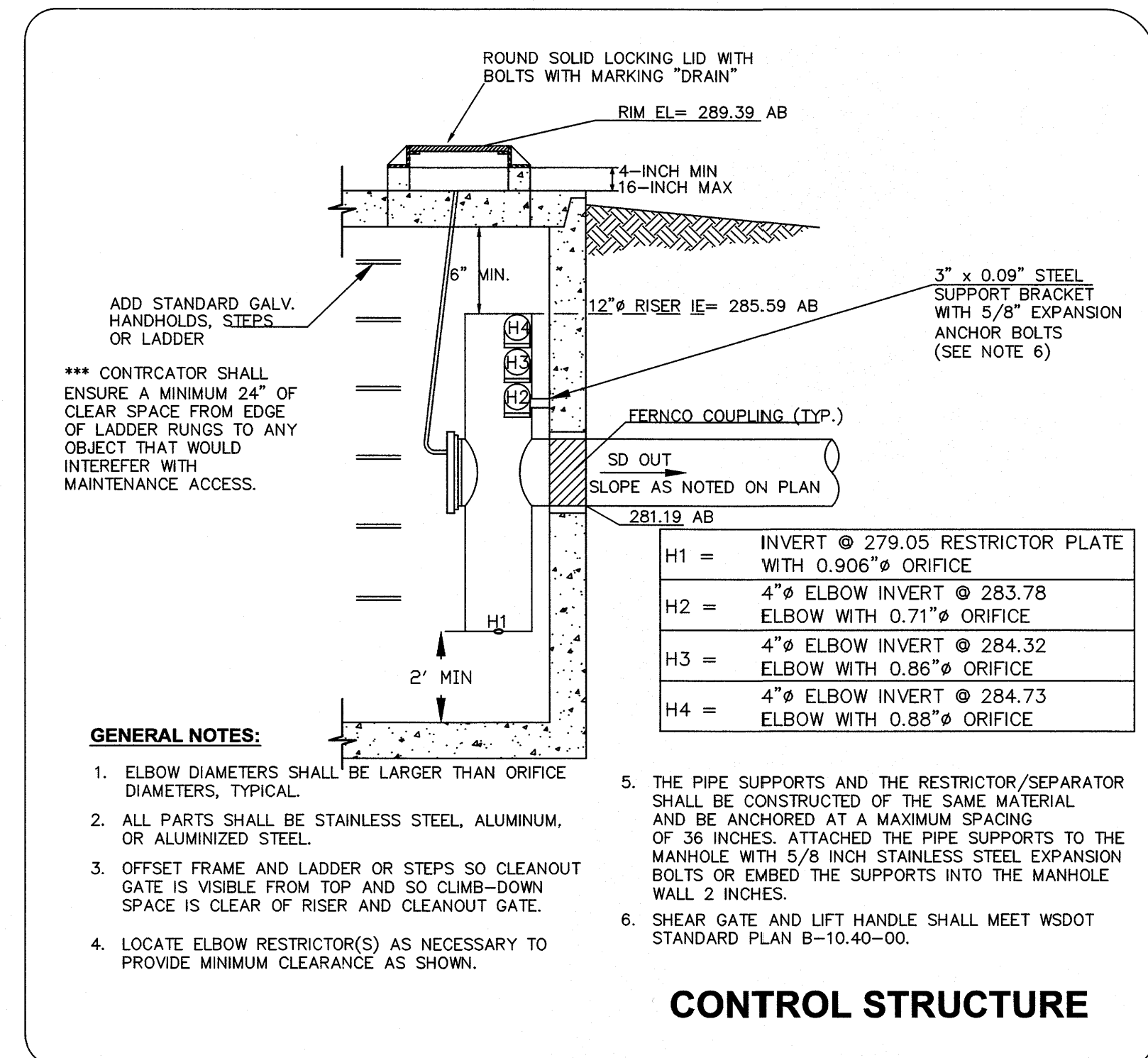
SECTION B-B

SCALE: 1"=5'



SECTION D-D

SCALE: 1"=5'



CONTROL STRUCTURE

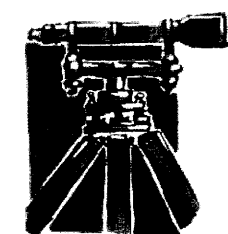
DETENTION VAULT NOTES:

1. CONCRETE DETENTION VAULTS MUST BE DESIGNED AND STAMPED BY A STRUCTURAL ENGINEER OR CIVIL ENGINEER WITH EXPERTISE IN STRUCTURAL DESIGN.
2. VAULT CONSTRUCTION REQUIRES AN APPROVED COF BUILDING PERMIT AND COF LAND DISTURBANCE PERMIT ISSUED.
3. CONCRETE VAULTS MUST BE DESIGNED IN CONFORMANCE WITH VOLUME III, PAGE 3-48 OF THE 2005 OR APPLICABLE VERSION OF THE SWMM.
4. COVERED VAULTS: PROVIDE CALCULATIONS TO DEMONSTRATE THE VAULT WILL SUPPORT A MINIMUM 70,000 LB MAINTENANCE/FIRE APPARATUS LOADING.
5. PROVIDE CONCRETE SPECIFICATIONS.
6. THE ENGINEER OF RECORD WILL BE REQUIRED TO CERTIFY THE VAULT IS CONSTRUCTED IN CONFORMANCE WITH THE APPLICABLE SWMM, THE APPROVED STRUCTURAL DESIGN AND THE APPROVED CIVIL PLAN FOR THE CITY TO PROVIDE PROJECT ACCEPTANCE.
7. THE ENGINEER OF RECORD SHALL PROVIDE THE STRUCTURAL ENGINEER WITH APPLICABLE CIVIL LAN SHEETS APPROVED BY THE COF IN ORDER FOR THE STRUCTURAL ENGINEER TO BE AWAY OF THE ABOVE DESIGN CONDITIONS.
8. BUILDING SETBACK REQUIREMENTS WILL BE ADDRESSED DURING THE CITY'S BUILDING DEPARTMENT REVIEW PROCESS. PUBLIC WORKS IS NOT APPROVING THE BUILDING SETBACKS AS PROPOSED. BOTH HOMES TO PROPERTY LINES AND HOUSE TO VAULT AS PROPOSED APPLY.

RECORD DRAWING

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6240 CHURCH ROAD  
FERNDAL, WA 98248

APPROVED

MAY 15 2019

BY  
CITY OF FERNDAL  
PUBLIC WORKS DEPARTMENT

**VAULT - PLANS, CROSS SECTION  
AND DETAILS**

LYNCH SHORT PLAT  
6240 CHURCH ROAD, FERNDAL WA 98248  
WITHIN SECTION 18, TOWNSHIP 39N, RANGE 2E, W.M.

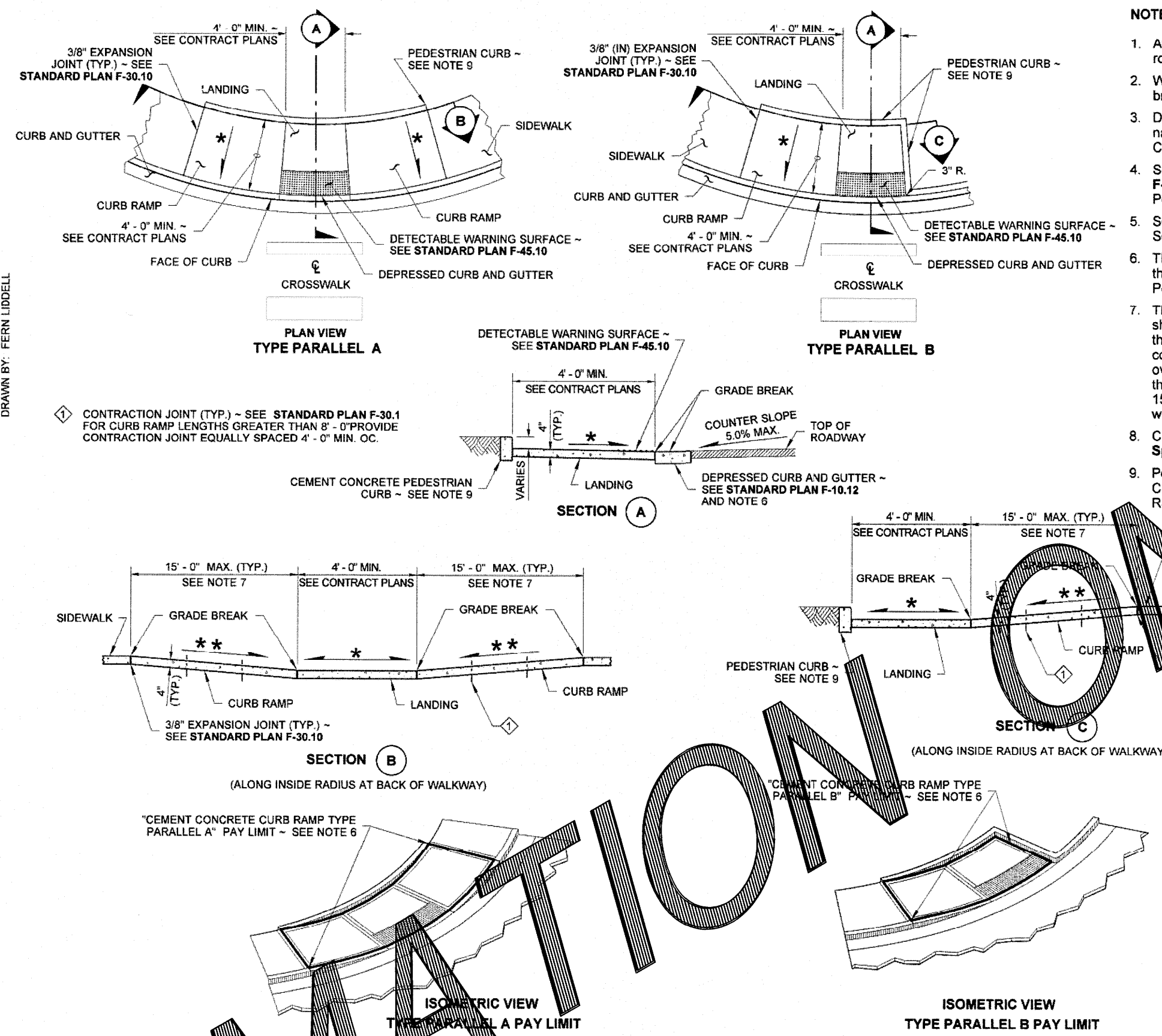
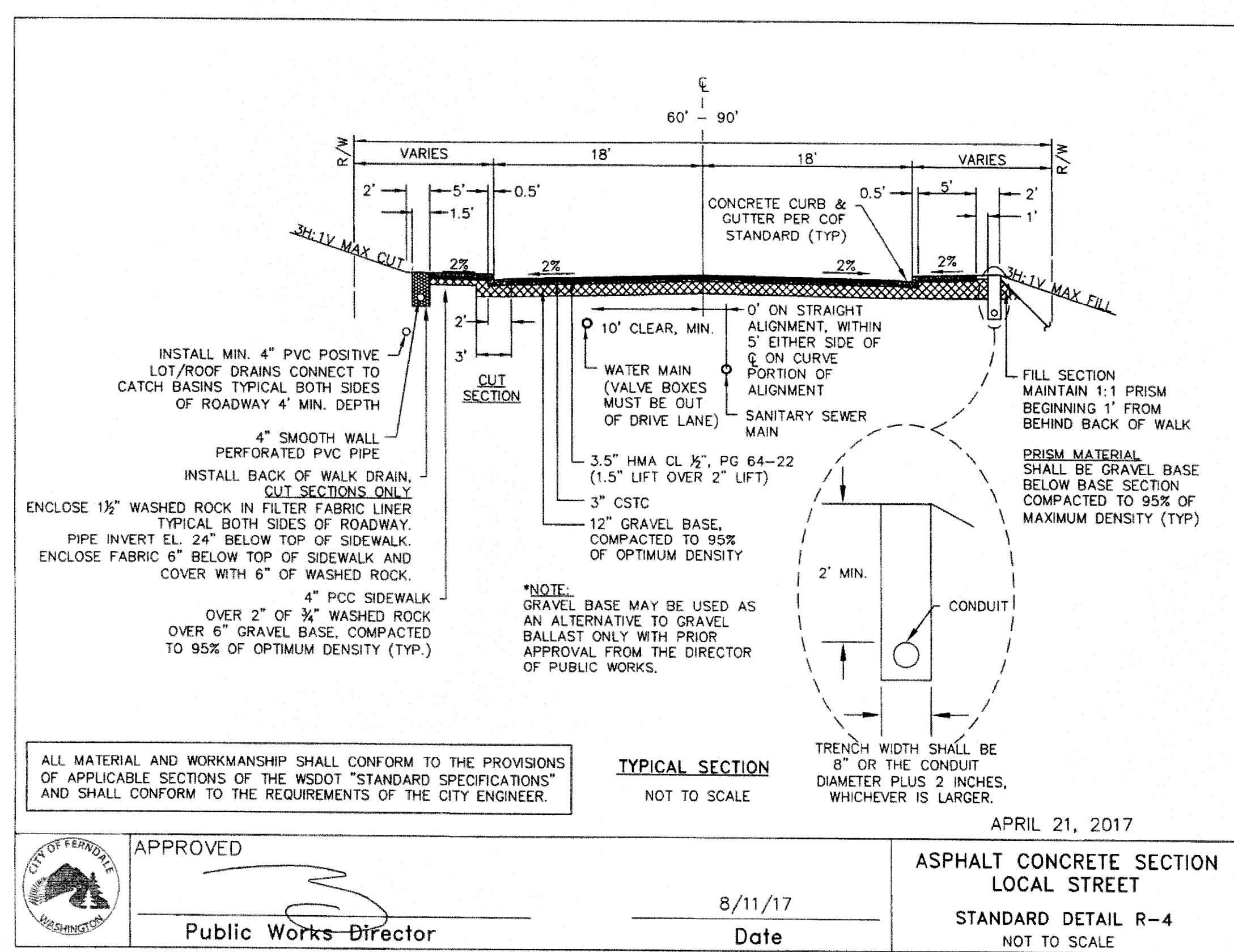
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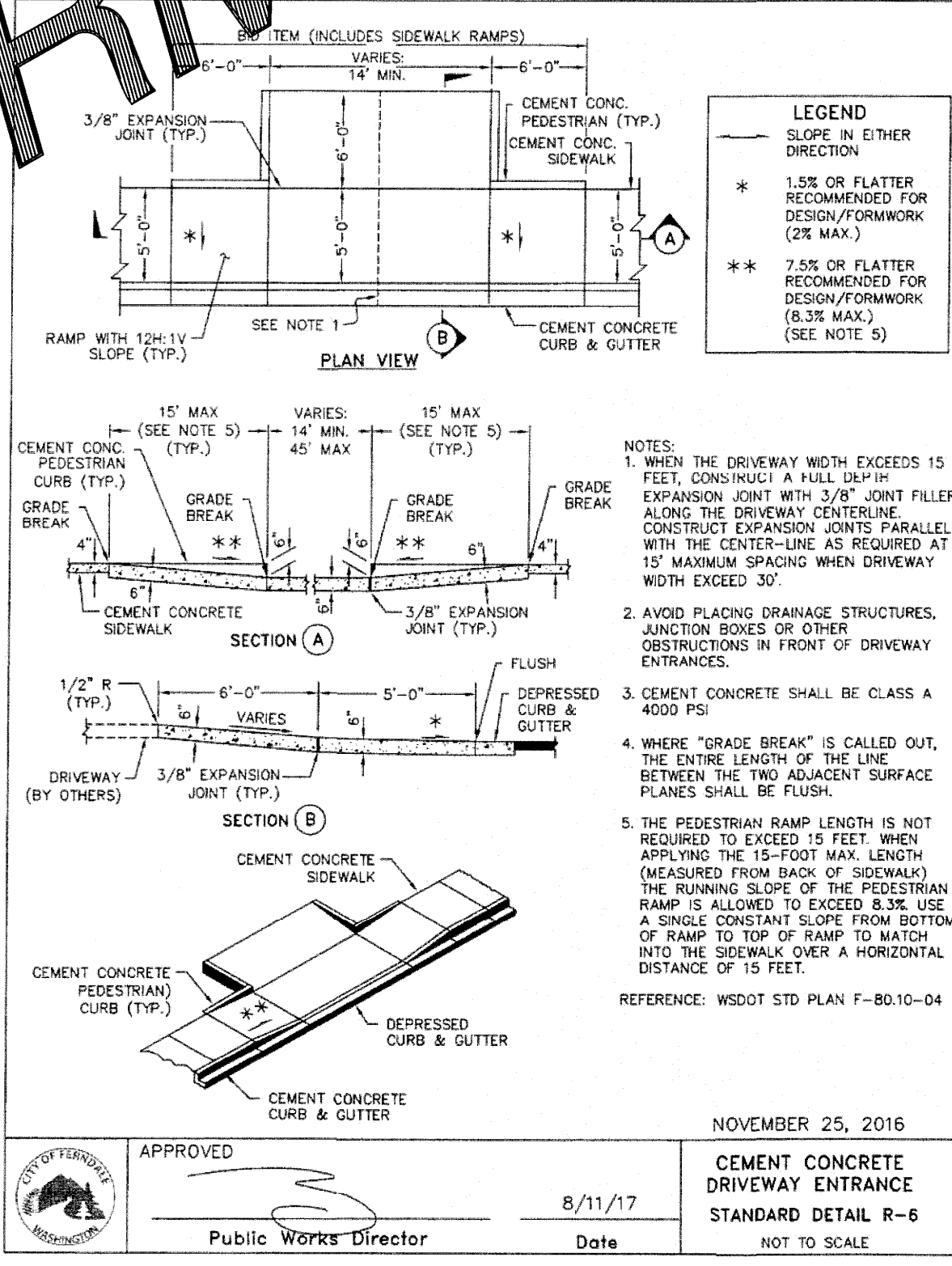
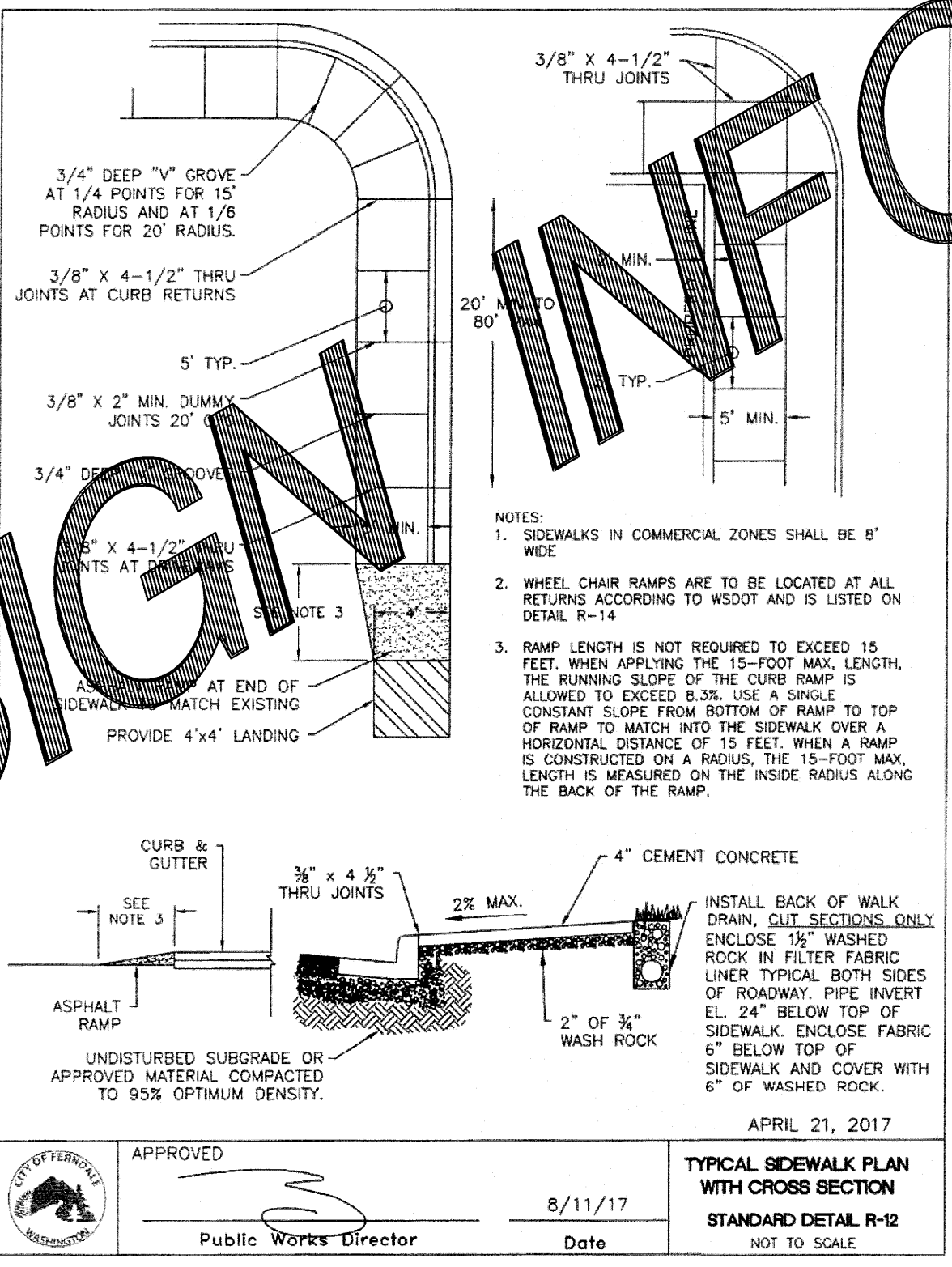
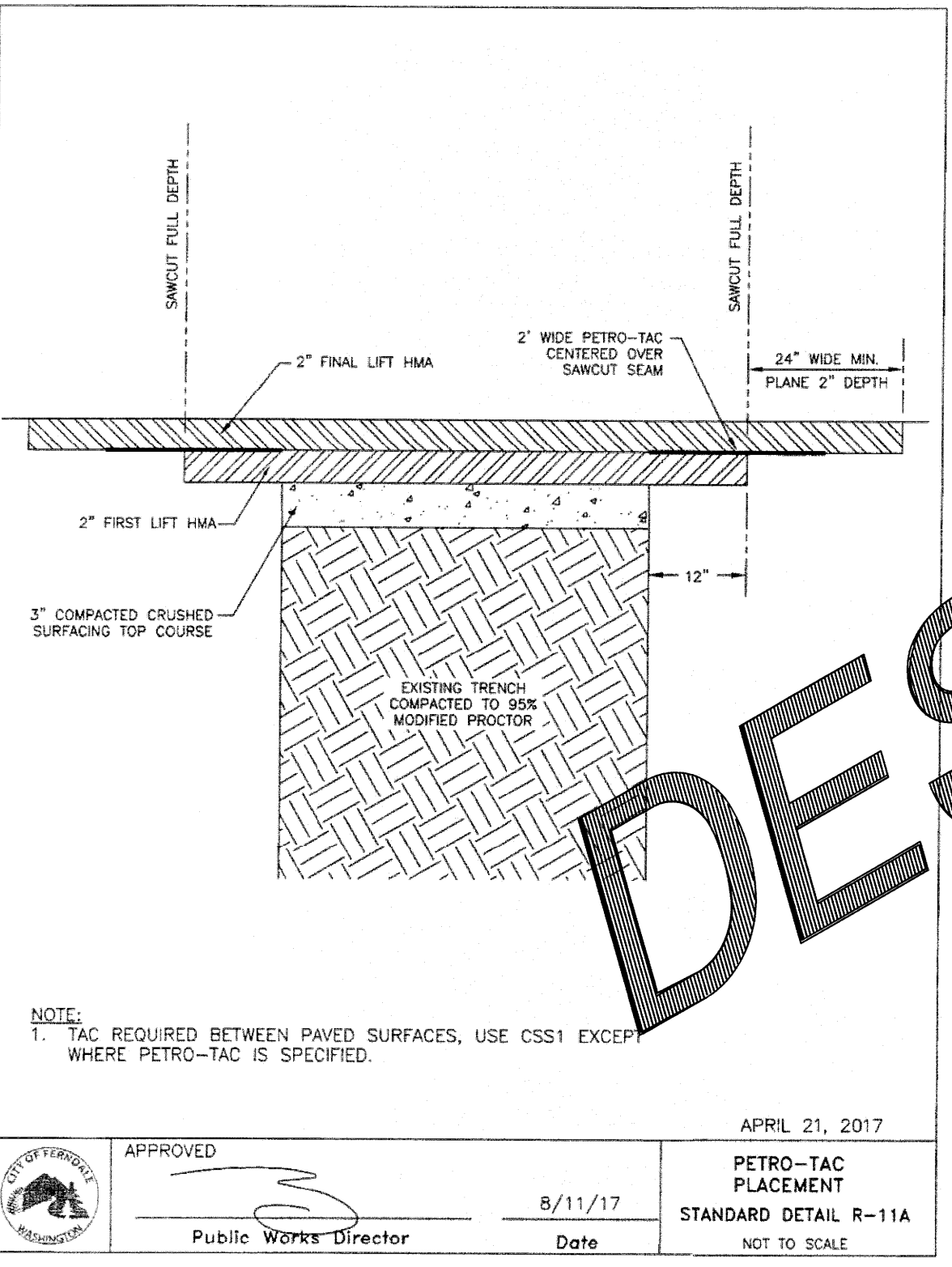




**NOTES**

- At marked crosswalks, the connection between the landing and the roadway must be contained within the width of the crosswalk markings.
- Where "GRADE BREAK" is called out, the entire length of the grade break between the two adjacent surface planes shall be flush.
- Do not place Gratings, Junction Boxes, Access Covers, or other appurtenances on any part of the Curb Ramp or Landing, or in the Depressed Curb and Gutter where the Landing connects to the roadway.
- See Contract Plans for the curb design specified. See **Standard Plan F-10.12** for Curb, Curb and Gutter, Depressed Curb and Gutter, and Pedestrian Curb details.
- See **Standard Plan F-30.10** for Cement Concrete Sidewalk Details. See Contract Plans for width and placement of sidewalk.
- The Bid Item "Cement Concrete Curb Ramp Type A" does not include the adjacent Curb, Curb and Gutter, Depressed Curb and Gutter, Pedestrian Curb, or Sidewalks.
- The Curb Ramp length is not required to exceed 15 feet (unless otherwise shown in the Contract Plans). When applying the 15-foot max. length, the running slope of the curb ramp is allowed to exceed 8.3%. Use a single constant slope from bottom of ramp to top of ramp to match into the sidewalk over a horizontal distance of 15 feet. Do not include abutting landing(s) in the 15-foot max. measurement when a ramp is constructed on a radius, the 15-foot max. length is measured along the inside radius along the back of the roadway.
- Curb Ramps and Landings shall receive broom finish. See **Standard Specifications 8-14**.
- Pedestrian Curb may be omitted if the ground surface at the back of the Curb Ramp and/or Landing will be at the same elevation as the Curb Ramp and/or Landing and there will be no material to retain.

**SCOTT ZELLER**  
Professional Engineer  
Zeller, Scott  
Jun 24 2016 7:19 AM  
**PARALLEL CURB RAMP**  
**STANDARD PLAN F-40.12-03**  
SHEET 1 OF 1 SHEET  
APPROVED FOR PUBLICATION  
Carpenter, Jeff  
Jun 29 2016 2:37 PM  
Washington State Department of Transportation



**LEGEND**

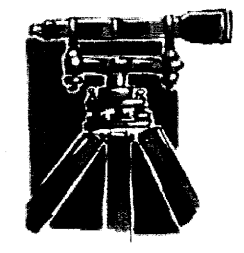
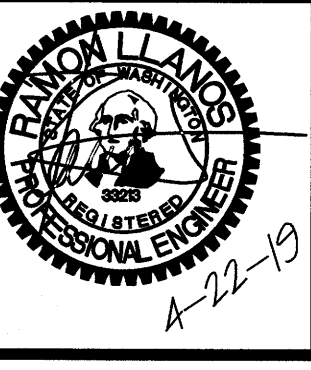
- SLOPE IN EITHER DIRECTION
- 1.5% OR FLATTER RECOMMENDED FOR DESIGN/FORMWORK (2% MAX.)
- 7.5% OR FLATTER RECOMMENDED FOR DESIGN/FORMWORK (8.3% MAX.) (SEE NOTE 5)

**NOTES**

- WHEN THE DRIVEWAY WIDTH EXCEEDS 15 FEET, CONSTRUCT A FULL 30\"/>

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5160 INDUSTRIAL PL. #108  
FERNDAL, WA 98248  
PHONE 360-383-0620  
FAX 360-383-0639

JOB NO.:	1755
DWG. NAME:	
DESIGNED BY:	RS
DRAWN BY:	RS
CHECKED BY:	RL

**RUBICON HOMES**  
6240 CHURCH ROAD  
FERNDAL, WA 98248

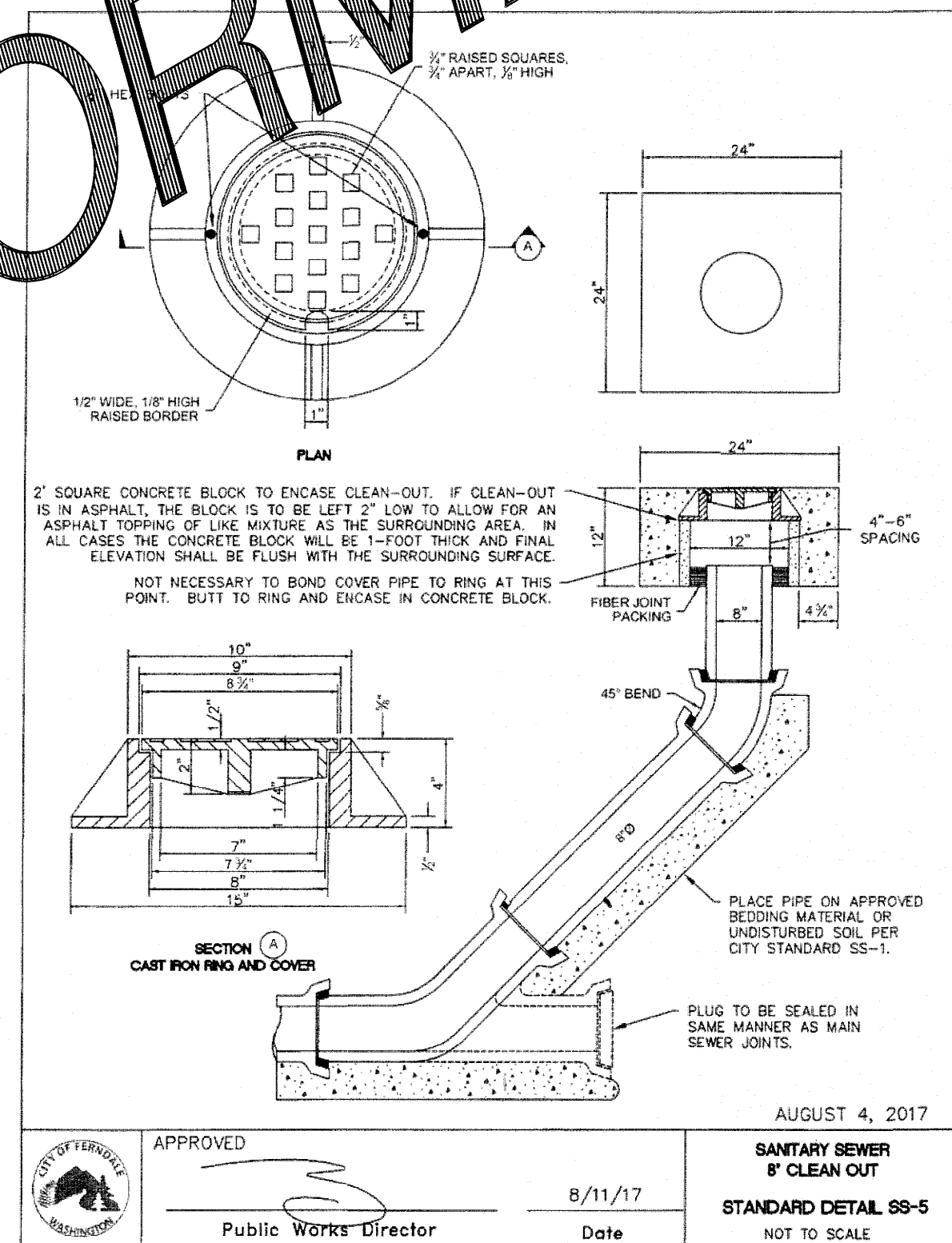
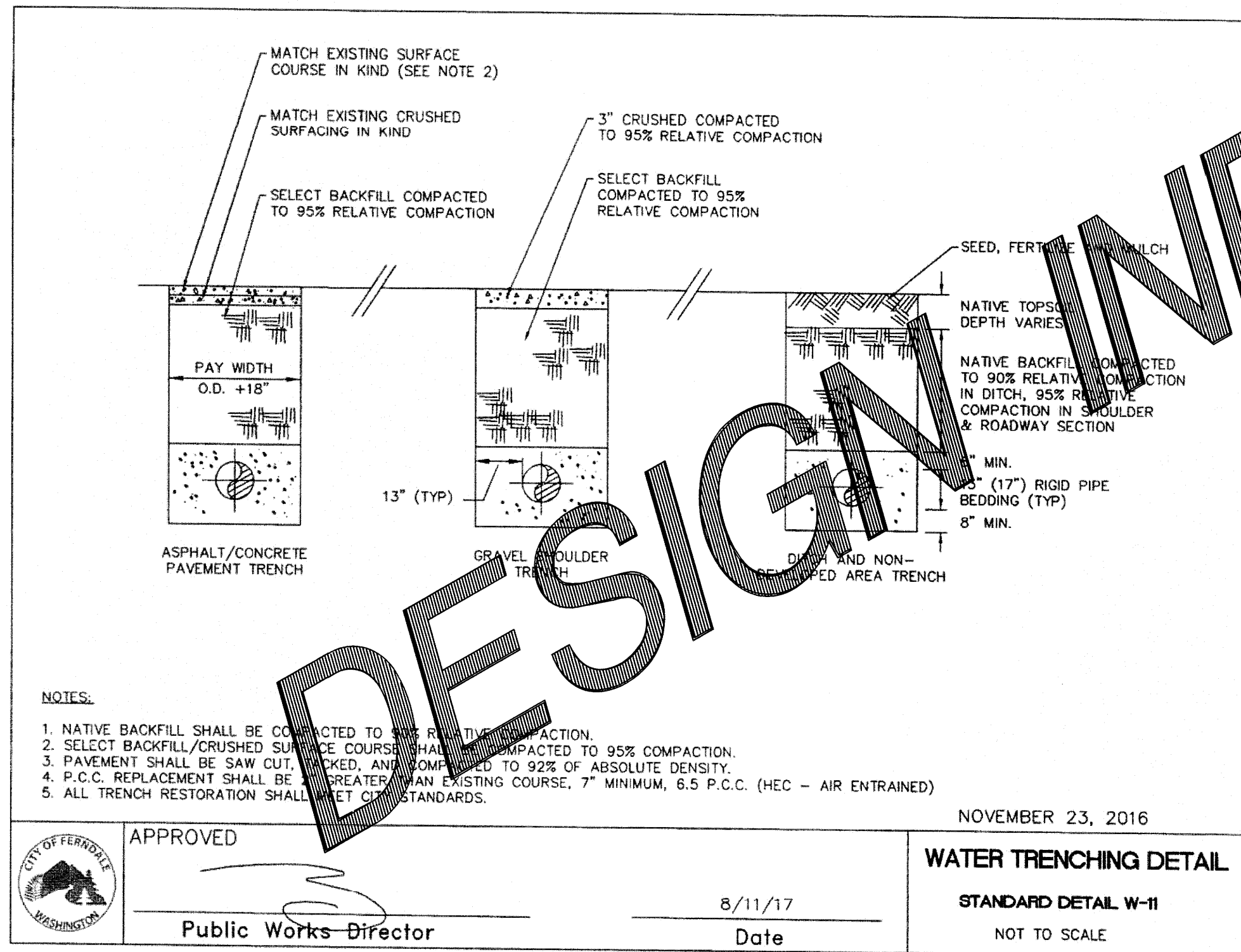
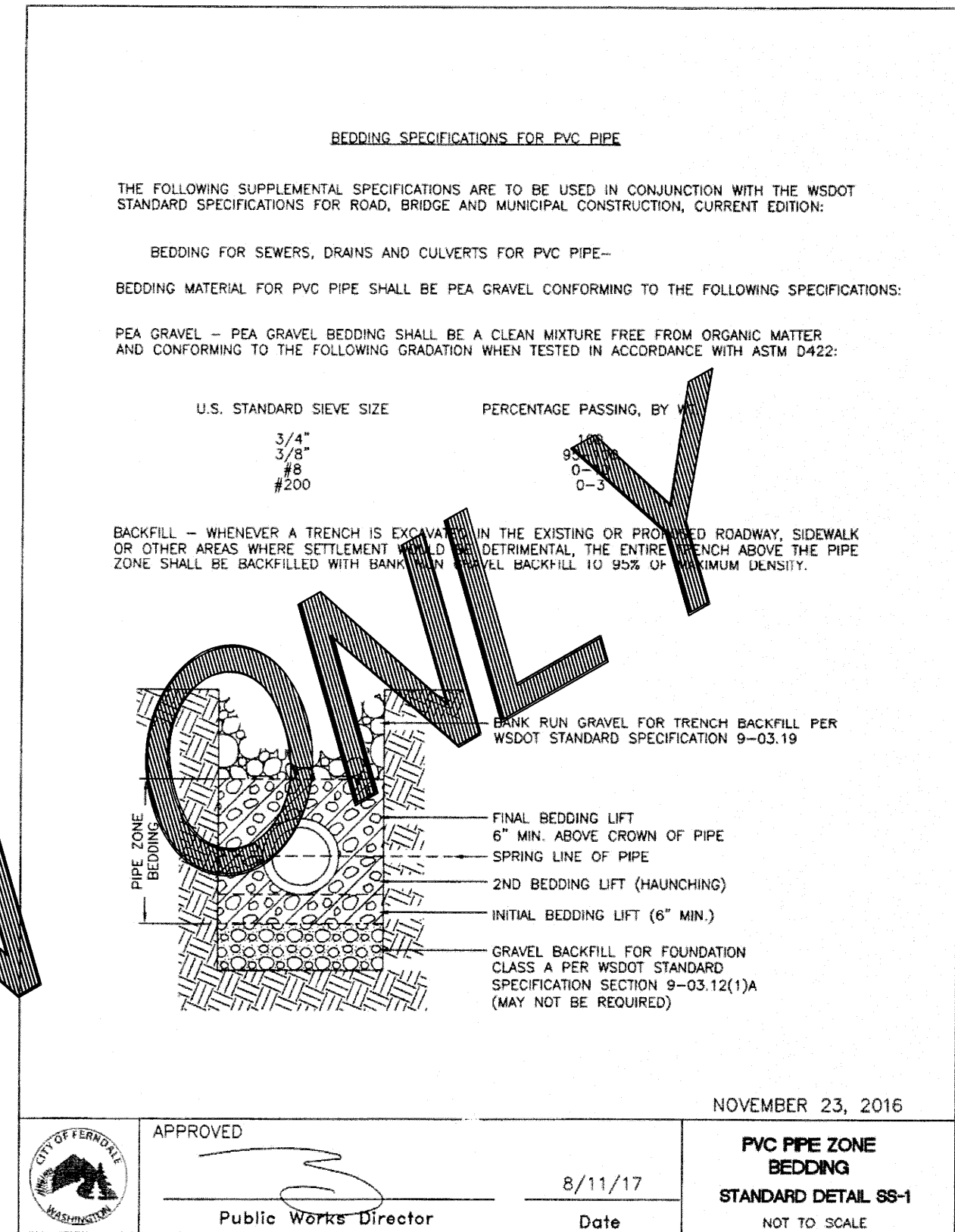
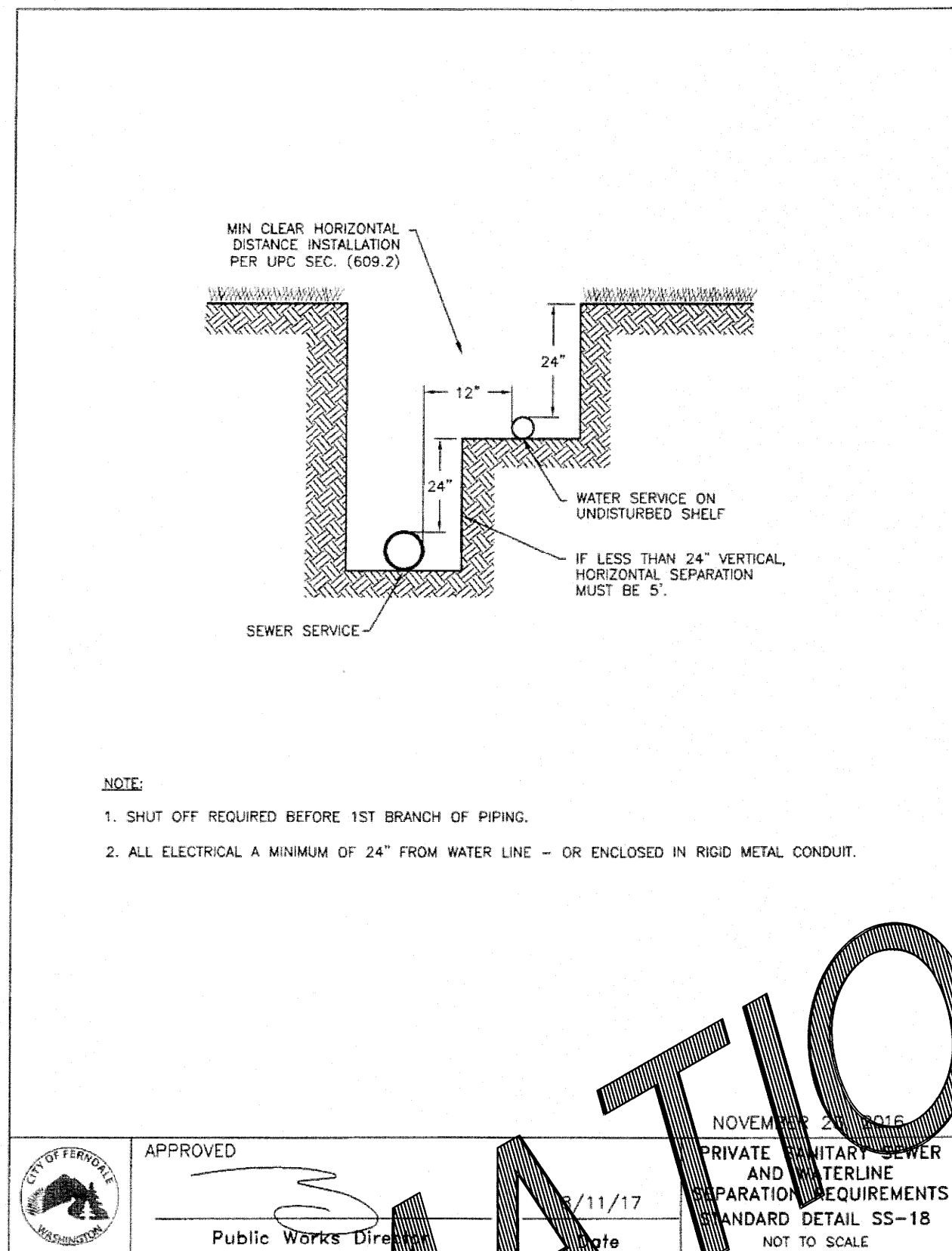
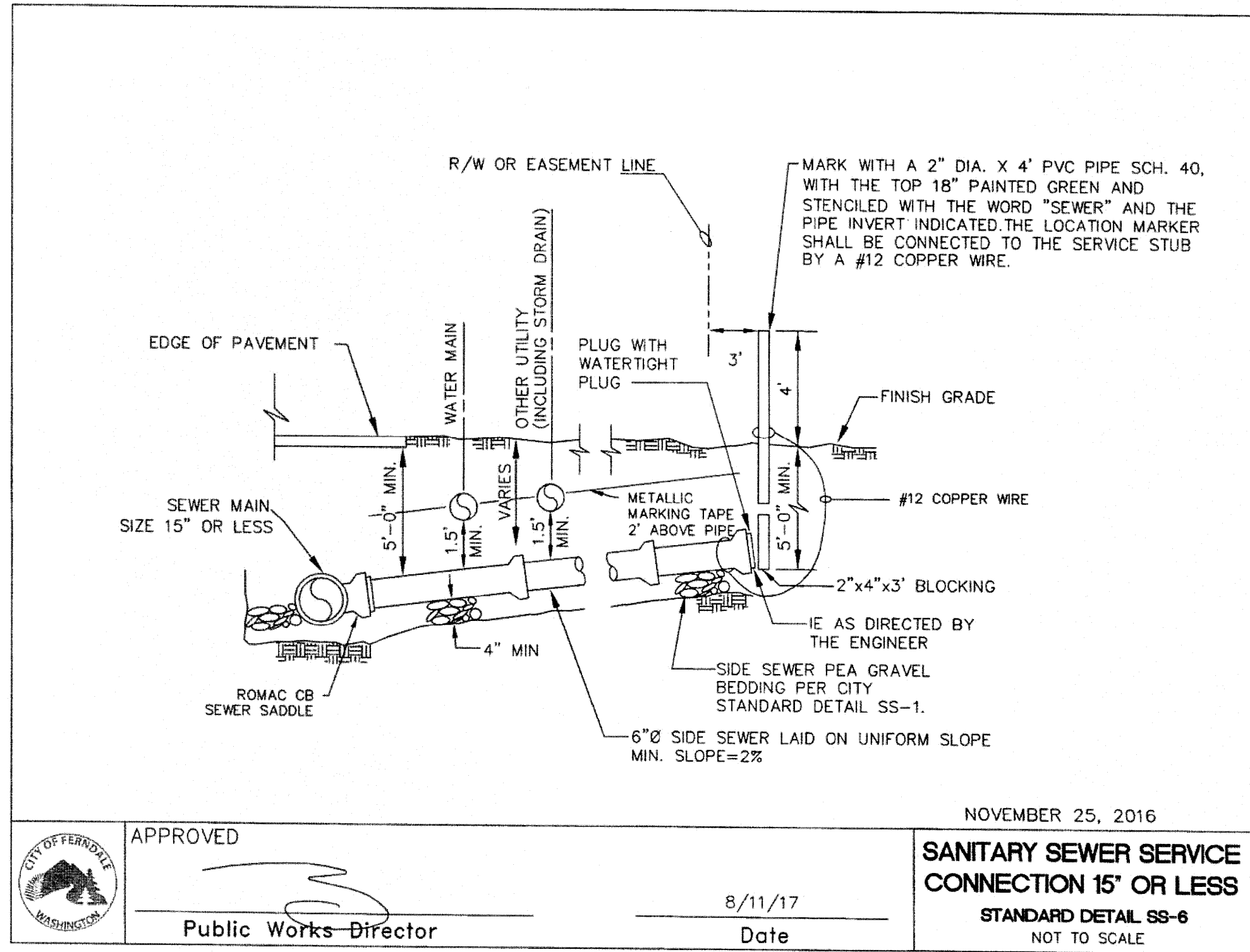
**APPROVED**  
MAY 15 2019  
BY: [Signature]  
CITY OF FERNDAL  
PUBLIC WORKS DEPARTMENT

**CITY OF FERNDAL DETAILS**  
**LYNCH SHORT PLAT**  
6240 CHURCH ROAD, FERNDAL WA 98248  
WITHIN SECTION 18, TOWNSHIP 39N, RANGE 2E, W.M.

SHEET  
**11**  
OF  
**12**

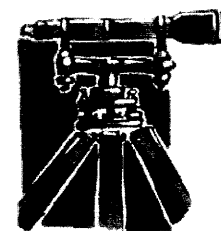
RECORD DRAWING





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△	SUBMITTAL 1	RS	5-06-2019
△	SUBMITTAL 2	RS	5-06-2019
△			
△			
△			
NO.	REVISION	BY	DATE



**LDES, INC.**  
5160 INDUSTRIAL PL. #108  
FERNDAL, WA 98248  
PHONE 360-383-0620  
FAX 360-383-0639

JOB NO.:	1755
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**RUBICON HOMES**  
6240 CHURCH ROAD  
FERNDAL, WA 98248

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**12**  
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12

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